

ADDENDUM NUMBER1

April 22, 2025 Request for Proposal (RFP) Clybourn & Larrabee Redevelopment Event Number 3277 Proposal Due Date: Tuesday, May 27, 2025, at 1:00 p.m. Central Time Chicago Housing Authority Department of Procurement and Contracts 60 East Van Buren, 8th Floor Chicago, IL 60605

Receipt of this Addendum is to be acknowledged by the Contractor by signing, dating and submitting with the Proposal. Failure to do so may render the Proposal non-responsive.

The following revisions, clarifications, additions and/or deletions are included in this Addendum to Solicitation No. 3277 and are to be fully incorporated into Respondent's Response therein.

Respondent acknowledges receipt of Addendum:

Respondent's Signature

Date

Item Number 1: UPDATE TO ATTACHMENT B

Attachment B has been updated to include HUD Form 5370C.

Item Number 2: ADDITION OF EXHIBIT VII AND EXHIBIT VIII

The following documents have been added as exhibits to the RFP:

- Exhibit VII As-Built Drawings
- Exhibit VIII Survey

Item Number 3: <u>ARTICLE V, ITEM P</u>

Article V, Item P on Page 21, list was updated to include Item I. HUD Form 5369.

Item Number 4: QUESTION AND ANSWERS

1. Is Section 3 Applicable?

Answer: Yes, Section 3 participation, is required as outlined.

2. What are the requirements for participating as a contractor?



Answer: All respondents must meet the requirements outlined in the RFP.

3. Can we encrypt the financial documents with a passcode?

Answer: Yes. The password must be emailed upon CHA request.

4. Where can I find details about the partnership with the community group?

Answer: More details about the community groups and their engagement can be found by visiting:

Near North Unity Program - https://nnup.org/ Local Advisory Council - https://www.mycac.org/ Near North Working TIF https://www.chicago.gov/city/en/depts/dcd/supp_info/tif/near_north_tif_.html

5. Do we need to upload the financials for everyone, or just the Developer?

Answer: Financials for the entity entering into the agreement must be provided.

6. Who is included in the working group?

Answer: This information is not publicly available at this time.

7. Please provide a copy of the consent decree and agreed order

Answer: Please reference Exhibits IV Consent Decree 2000 and Exhibit V Agreed Order 2015 in the solicitation.

8. Can not-for-profit agencies submit a proposal? What are the requirements?

Answer: Yes, not-for-profit agencies can submit proposals, provided the response meets the solicitation requirements outlined in the RFP.

9. Article V Section P-D the Submittal Requirement Checklist is not provided on the website, confirm if this is Attachment B or if a difference checklist should be used

Answer: Yes, the submittal requirement checklist is the Attachment B Vendor Submission Checklist.

10. Article V Section P. Exhibits G and H are not listed under Attachment B will the attachment B be updated to include them?

Answer: Please see item 1 of this addendum. Exhibit G-Economic Disclosure



Statement/Affidavit is the 15th item on Attachment B. Attachment B has been updated to include HUD Forms 5370C.

11. "Attachment B

Diversity Goals states to respond to (3) questions in Article V Section Q. Section Q doesn't appear within Article V. Please provide section Q."

Answer: Please see item 1 of this addendum. Attachment B has been updated to remove this requirement.

12. Attachment D has a note to 'Refer to Microsoft Excel' please provide copy of the excel file being reference.

Answer: Attachment D Utilization Plan must be downloaded from https://www.thecha.org/contracting-opportunities/forms-and-documents.

13. Can CHA provide the full scope or drawings related to the demolition of the school? Were there any parts of the school left in place (utilities, foundations)?

Answer: Please see item 2 of this addendum.

14. Is there a digital plat of survey of the site and surrounding streets that is available?

Answer: Please see item 2 of this addendum.

**** END OF ADDENDUM NO. 1*****

Chicago Housing Authority

Steila Ophnoon Sheila Johnson Deputy Chief of Procurement

Department of Development

ATTACHMENT B

VENDOR SUBMISSION CHECKLIST

INITIAL NEXT TO EACH DOCUMENT BEFORE SUBMITTING.

INITIAL	RFP SUBMISSION REQUIREMENTS
	Electronic Format
	Cover letter
	Executive Summary
	Letter of Intent to Submit Proposal
	Qualifications & Experience
	Approach /Work Plan
	Past Performance (min of 3, max of 5)
	References (3 current) (Attachment C)
	Organization Structure & Key Personnel
	Certificate of Insurance Requirements
	Joint Venture Agreement
	Liens, Suits, & Judgements
	Audit Findings & Other Compliance Reports/Evaluations
	Debarment Statement
	Economic Disclosure Statement & Affidavit
	Vendor Submission Checklist
	Contractor's Affidavit
	Statement of Bidders Qualification
	HUD Form 5370 or 5370C
	Contract Compliance Certification
	Utilization Plan (UP) M/W/DBE and Section 3 Businesses (Attachment D)
	Letter of Intent - MWDBE and Section 3 Subs
	Waiver Request – M/W/DBE Participation Commitments (if applicable)
	HUD Form 5369-A
INITIAL	MISCELLANEOUS DOCUMENTS/CORRESPONDENCE

VENDOR SIGNATURE:		DATE:	
SIGNATURE OF RECEIPT:		DATE:	
	[For CHA Only]		

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EXHBIT VIII PLAT OF SURVEY



CITY OF CHICAGO BENCHMARK NUMBER 1494 Mark cut on corner of W. end of iron plate doorstep at Northeast corner of 3—story and basement brick building. Elevation = 14.517

CITY OF CHICAGO BENCHMARK NUMBER 1490 Mark cut on corner of stone water table at the S.E. corner of 4 story building on the N. side of Wendell St. at the W side of the alley E. of Orleans St.

Elevation = 14.574

Site Benchmark **#**1 Chain bolt of fire hydrant located at the Southeast corner of N. Larrabee Street and W. Blackhawk Street.

TETUE

MH-1207

MH-12092

Elevation = 14.917

-1 TBOURNE

Site Benchmark #2 Chain bolt of fire hydrant located on the Northeast side of N. Clybourn Avenue and approximately 385' Northwest from the Northwest corner of N. Clybourn Avenue and N. Larrabee Street.

Elevation = 15.172

I FURTHER STATE that the accompanying plat is a scaled representation of the physical situation which I found in the field and shows the location of visible evidence of utilities which I found at the time of my survey of these premises, and underground based on supplied plans. No attempt has been made as part of this survey to excavate, uncover or expose those facilities to field check the existence, size, depth, condition, capacity or exact location of those facilities. For more information concerning those utilities, please contact the appropriate public agencies or utility company.

PLAT OF SURVEY





Note: Fire Alarm & Police Telegraph Cable System Utility located adjacent to this property. See Drawing No. 35126 from City of Chicago—Department of Streets and Sanitation—Division of Electrical Engineering.

				•
	#	Date	Description	
	1	6-29-18	Issued	
	2	12-13-18	Issued	
g				
d		-		
to				4th Floor
				Chicago, IL 6

Note: Use extreme caution near ComEd facilities. Hand dig while crossing all 69/138/345 kV transmission line. ComE transmission shall be notifield two(2) business days prior the start of work. To schedule an onsite inspector during construction, contact Leslie Paschal at (630)437-4767.

BLACKHAWK

GRAPHIC SCALE (IN FEET) 1 inch = 20 ft.

LEGEND AND ABBREVIATIONS:

BUILDING

PROPERTY LINE

CONCRETE

ASPHALT

GRAVEL

635666666

_____ X-____ X-____

_____ E _____

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<u>مــــه مـــه</u>

DEPRESSED CURB CHAIN LINK FENCE IRON FENCE WOOD FENCE GUARDRAIL FOUND PK NAIL FOUND REBAR SET IRON ROD/PIPE SET MAG NAIL SET/FOUND CUT CROSS COMBINATION SEWER SANITARY SEWER STORM SEWER WATER LINE GAS LINE COMMUNICATION LINE ------ SBC ------- SBC COMMUNICATION LINE TELEPHONE LINE OVERHEAD WIRE LINE UNDERGROUND ELECTRIC LINE MANHOLE WATER MANHOLE ELECTRIC MANHOLE TELEPHONE MANHOL CURB INLET CATCH BASIN AREA DRAIN UTILITY POLE POWER POLE W/LIGHT POWER POLE W/TRANSFORMER LIGHT POLE FIRE HYDRANT GAS VALVE GAS METER ELECTRIC METER BUFFALO BOX WATER VALVE TREE-DECIDUOUS TREE-EVERGREEN BUSH POST SIGN BOLLARD SPRINKLER CLEANOUT

LEGAL DESCRIPTION

That part of Lots 137, 139, 141, 143, 144 and 145 (except Parts taken for streets), in Butterfields addition to Chicago, being a subdivision in the Northwest ¼ of Section 4, Township 39, Range 14 East of the Third Principal Meridian according to the plat recorded May 17, 1845 (Anti-Fire), AND ALSO, Lots 5–17, both inclusive, (except Parts taken for streets and alleys), in Hinsche's Subdivision of Lots 146 & 148 & Sublot 1 of Lot 149 in subdivision of Butterfield's Addition to Chicago, aforementioned, Recorded August 23, 1865 (Anti-Fire) and rerecorded Sept. 2, 1875 per Doc.47043 AND ALSO, Lots 1- 4, both inclusive, (except Parts taken for street), in Owner's Resub. of original Lot 142 in subdivision of Butterfield's Addition to Chicago, aforementioned, Recorded July 5, 1888 per Doc. 977666, AND ALSO, Lots 5-7, both inclusive, (except Parts taken for streets), in County Clerk's Division of Lots 140 & 142 in subdivision of Butterfield's Addition to Chicago, aforementioned Recorded April 30, 1878 per Doc. 178414, AND ALSO, Lots 1-4, both inclusive, (except Parts taken for streets), in W.S. Johnson's Subdivision of Lot 138 in subdivision of Butterfield's Addition to Chicago, aforementioned (Anti-Fire), AND ALSO, Lots 1-9, both inclusive, in Eich's Subdivision of Lot 147 in subdivision of Butterfield's Addition to Chicago, aforementioned (Anti-Fire), AND ALSO, Lots 1-3, both inclusive, (except Parts taken for streets), in Subdivision of Lots 7, 10 & 11 in Subdivision of Lots 133 to 136 subdivision of Butterfield's Addition to Chicago, aforementioned (Anti-Fire), AND ALSO, Lots 1-5, both inclusive, lots 8, 9 and 12, (except Parts taken for streets and alleys), in Subdivision of Lots 133, 134, 135 & 136 in Butterfield's Addition to Chicago, aforementioned (Anti-Fire) AND ALSO alley's between the above described lots Vacated by Ordinance passed July 7, 1977 as Doc. Number 24129310 (76—372), AND ALSO Vacated North Ogden Avenue being more particularly described as follows:

Beginning at the Northeast corner of said lot 9 in Eich's Subdivision of Lot 147 in subdivision of Butterfield's Addition to Chicago, also being the intersection of the South line of West Blackhawk Street and the West Right of Way line of North Larrabee Avenue; thence South 01 degrees, 41 minutes, 43 seconds East, along said West Right of Way line, a distance of 782.97 feet to the Southeast corner of said Lot 1 in the Subdivision of Lots 133, 134, 135 & 136 in Butterfield's Southeast corner of said Lot 1 in the Subdivision of Lots 133, 134, 135 & 136 in Butterfield's Addition; thence South 88 degrees 18 minutes 17 seconds West along the South line of said Lot 1, a distance of 37.10 feet to the Southwest corner of said Lot 2; thence South 43 degrees 24 minutes 06 seconds West along the Easterly line of said Lot 2 in the Subdivision of Lots 133, 134, 135 & 136 in Butterfield's Addition 42.90 feet to the Northeast Right of Way line of North Clybourne Avenue, said point also being the Southeast corner of said Lot 2; thence North 46 degrees, 35 minutes, 54 seconds West, along said Northeast Right of way line, a distance of 713.59 feet to the Southwest corner of Orchard Park Subdivision, being a subdivision in the West ½ of the Northwest ¼ of Section 4, Township 39, Range 14, East of the Third Principal Meridian, according to the plat thereof recorded October 7, 1998 per Document No. 98901233; thence, South 76 degrees, 35 minutes, 59 seconds East, along the Southwesterly line of said Orchard Park Subdivision, a distance of 37.65 feet to the Southeast corner of said Orchard Park Subdivision, also being the Northwesterly line of vacated North Ogden Avenue, a distance of 364.39 feet to the Northeast corner of said Orchard Park Subdivision, and the South line of Blackhawk Street; thence North 88 degrees, 30 minutes, 42 seconds East, along said South line of Blackhawk Street; a distance of 358.61 feet to the Point of Beginning, all in the City of Chicago, Cook County, Illinois. Said Parcel containing 6.810 acres (296,645 sq. ft.), more or less.

STATE OF ILLINOIS COUNTY OF COOK

This is to certify that I, Thomas E. Baumgartner, a Illinois Professional Land Surveyor, have surveyed the property described in the caption above, and that this Professional service conforms to the current Illinois Minimum Standards for a boundary survey.

Given under my hand and seal in Chicago, Illinois, this 13th day of December, 2018.

THOMAS E. BAUMGARTNER, ILLINOIS LAND SURVEYOR NO. 3142 LICENSE EXPIRATION 11-30-2020 Field work completed June 14, 2018.

Project Information

DRAWN BY: KR

CHECKED BY: TB

APPROVED BY: TB







Cabrini Green Redevelopment Plan PROJECT #: 18-186 Clybourn and Larrabee, Chicago

NOTE: TERRA ENGINEERING does not guarantee the accuracy of this survey unless it contains an original seal and signature.



CITY OF CHICAGO BENCHMARK NUMBER 1494 Mark cut on corner of W. end of iron plate doorstep at Northeast corner of 3—story and basement brick building. Elevation = 14.517

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while crossing all 69/138/345 kV transmission line. ComEd
transmission shall be notifield two(2) business days prior to
the start of work. To schedule an onsite inspector during
construction, contact Leslie Paschal at (630)437-4767.

Date Description ſ 1 6-29-18 Issued 2 12-13-18 Reissued 225 W. Ohio Street 4th Floor Chicago, IL 60654

GRAPHIC SCALE 10 20 (IN FEET) 1 inch = 20 ft. LEGEND AND ABBREVIATIONS: PROPERTY LINE BUILDING CONCRETE ASPHALT INDONDONDONDO GRAVEL DEPRESSED CURB IRON FENCE GUARDRAIL FOUND PK NAIL FOUND REBAR SET IRON ROD/PIPE SET MAG NAIL SET/FOUND CUT CROSS SANITARY SEWER ____) _____) ____ STORM SEWER ___>____ ------ WATER LINE GAS LINE _____ TELEPHONE LINE OVERHEAD WIRE LINE UGE UNDERGROUND ELECTRIC LINE BACK OF CURB ELEVATION x BC17.09 FLOW LINE ELEVATION x FL17.68 x EP17.23 EDGE OF PAVEMENT ELEVATION FINISH FLOOR ELEVATION x FF17.38 MANHOLE WATER MANHOLE ELECTRIC MANHOLE (E) TELEPHONE MANHOLE \bigcirc CURB INLET CATCH BASIN AREA DRAIN UTILITY POLE \rightarrow POWER POLE W/LIGHT Оф POWER POLE W/TRANSFORMER LIGHT POLE FIRE HYDRANT V GAS VALVE GAS METER ELECTRIC METER BUFFALO BOX -®-WATER VALVE TREE-DECIDUOUS TREE-EVERGREEN BUSH POST 0 SIGN BOLLARD • SPRINKLER * CLEANOUT

ENGINEERING LTD. TEL: (312) 467-0123 FAX: (312) 467-0220 www.terraengineering.com

Project Information PROJECT #: 18-186 DRAWN BY: KR CHECKED BY: TB APPROVED BY: TB

Cabrini Green Redevelopment Plan Clybourn and Larrabee, Chicago

		Type of	Type of
Number	Utility	Lid	Structure
1001	Storm	Open Open	CatchBasin
1002	Storm	Open	CatchBasin
1004	Storm	Open	CatchBasin
1006	Sanitary	Closed	Manhole
1007	Storm	Open Closed	Manhole
1268	Storm	Open	CatchBasin
1292	Sanitary	Closed	Manhole
1375	Sanitary	Closed	Manhole
1460	Vvater Sanitary	Closed	Manhole/Vault
1609	Storm	Open	CatchBasin
1666	Sanitary	Closed	Manhole
1671	Water	Closed	Manhole/Vault
1907	Storm	Curb Grates	Curb Inlet
2026	Sanitary	Closed	Manhole
2027	Storm	Open	CatchBasin
2028	Storm	Open	CatchBasin
2029	Storm	Open	CatchBasin
2150	Storm	Open	CatchBasin
2165	Storm	Open	CatchBasin
2204	Sanitary	Closed	Manhole
2205	Storm	Open	CatchBasin
2270	Sanitary	Closed	Manhole
2395	Water	Closed	Manhole/Vault
2396	Sanitary	Closed	Manhole
2405	Sanitary	Closed	Manhole
2400 2410	Water	Closed	Manhole/\/ault
2467	Storm	Open	CatchBasin
2555	Storm	Open	CatchBasin
2558	Water	Closed	Manhole/Vault
2559	Sanitary	Closed	Manhole/Vault
2607	Water	Closed	Manhole/Vault
2652	Storm	Open	CatchBasin
2696	Storm	Open	CatchBasin
2709	Sanitary	Closed	Manhole
2806	Sanitary	Closed	Manhole
2857	Storm	Open	CatchBasin
3055	Storm	Open	CatchBasin
3094	Storm	Closed	Manhole
3204	Storm	Open	CatchBasin
3205	Sanitary	Closed	Manhole
3372	Storm	Open	CatchBasin
3878	Unknown	Closed	Unknown
3898	Storm	Open	CatchBasin
3946	Sanitary	Closed	Manhole
4140	Storm	Open Curb Grates	CatchBasin
10026	Storm	Open	CatchBasin
10085	Sanitary	Open	Manhole
10160	Sanitary	Closed	Manhole
10162	Sanitary	Closed	N de velo e la
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MANHOLE INFORMATION

of					Inv	vert 1	[Inver	rt 2			Inver	rt 3		Invert	: 4	Invert 5		Invert 6			Invert 7	,		
	Rim				Top of Pipe	Top of Key	Top of Water	Top of Debris	Invert				Invert				Invert		Invert		Invert		Invert			Inv	vert	
ure Ele	evation [Direction	Diamete	r Type	Elevation	Elevation E	levation	Elevation	Elevation	Direction	Diamete	r Type	Elevation	Direction	Diamete	r Type E	levation	Direction Diameter	Type Elevation Direction	n Diameter Type	e Elevation Direction	Diameter Type	Elevation	Direction Dia	meter T	ype Eleva	ation	Notes
asın asin	13.25 12.86	E	15"	VCP			8.64		3.53		15"	VCP	3.31															
asin asin	12.74	NW	8" 15"				8.04	7.25	7.79		15"	VCP	3.86															
	14.05	NE	8"	VCP					8.95	NE	10"	VCP	4.05	SE	12"	VCP	4.05	SE 10"	VCP 4.04 SW	8" VCP	P 8.31 NW	12" VCP	4.00	NW	6" ^١	/CP 6.	.55	
asin ble	13.32 14.10	E	24"	VCP			9.88	7.68	3.75	W	24"	VCP	3.85															No pipes visible
asin	13.31	N	24"				10.50	9.11	4 50		24"		4.25	10/	10"		4 20											No pipes visible
ble	13.78	N	24 24"	VCP					4.59 3.96	S S	24	VCP	4.25 3.87	VV	12	VCP	4.20											
Vault de	10.75	F	8"	VCP		7.15	9.50		4 83	S	8"	VCP	5 14	W	8"	VCP	4 93											Full of Water - No pipes visible
asin	9.48	W	8"	VCP			6.87		4.80		0		0.00		0								0.54					
ole Vault	13.64 14.02	N N-S	12" 6"	DI	7.53	8.88		7.27	4.84	SE	8"	VCP	8.22	SE	8"	VCP	8.29	S 12"	VCP 4.73 SW	8" VCP	9 8.59 NVV	8" VCP	8.54					
Vault	12.64		6"		7.59	8.44		7.40	7 10																			Pipes not visible
	13.83	E	8"	VCP				7.49	8.68	S	8"	RCP	8.73															
asin asin	12.61 12.78	N E	8" 8"	VCP VCP			7.97	7.21	8.69 8.73																			
asin	12.65	N	8"	VCP			8.04	7.43	8.86	· '																		
asın asin	13.17						8.17	8.12 10.93																				Full of Debris - No pipes visible
asin	12.71	S N	8" 90"	VCP RCP			7.29	6.31	8.77	9	Q0"	RCP	-3 30															
asin	12.92	E	90 8"	VCP					-3.02 5.37		90		-3.30															
asin ble	12.31	SW N	8" 10"	VCP VCP					7.47	NF	8"	VCP	7 12	S	10"	VCP	7 18											
Vault	13.21					10.36		9.81									7.10											
ole ole	13.49 13.98	E N	90" 24"	RCP VCP					-3.46 2.78	S W	90" 24"	RCP VCP	-3.50 2.63	SW	24"	VCP	2.83											
	13.92		24"	VCP	9.04	0.46		6.91	2.66	S	24"	VCP	2.62															
vault asin	13.26	E-VV	8		8.04	9.46	6.43	6.81 5.87																				No pipes visible - pipe under debris
asin Vault	12.91				7 26	8 71		6.34																				Car parked over manhole lid
Vault	13.70				1.20	9.95		9.70																				No pipes visible - pipe under debris
ole Vault	14.03	N F-W	10" 8"		7 85	8 99		7 44	6.74	<u> </u>	8"	VCP	6.59	S	10"	VCP	6.88											
asin	12.94	W	8"	VCP		0.00	5.69	5.02	4.94	[]																		
asin ble	10.35 10.80	N	10"	VCP			7.03	7.75	7.77	W	8"	DI	8.39															No pipes visible
asin	10.57	NI	0.011	DOD			7.35	5.82	2.20		0.011		0.00															No pipes visible
asin	13.71	E	90" 8"	VCP			5.65		-3.30 4.96	5	90	RCP	-3.83															
asin	12.97						6.52	5.65																				No pipes visible
	13.59						5.57	4.50 10.54																				Full of debris - No pipes visible
asin 📃	12.98	E	8" 12"	VCP			3.97		6.30		12"	VCP	3 00															
asin	12.84	W	8"	VCP	9.44			10.13	0.00				0.00															Full of Debris
ole wn	13.60 12.63	N	8"	VCP				7.59	7.11	W	8"	VCP	7.12															No pipes visible
asin	11.66	N	8"	VCP			8.24	7.61	7.49																			
ole asin	10.52 10.07	E	8"	VCP			7.28		6.11	SE	8"	VCP	5.92	VV	8"	VCP	5.97											Full of water No pipes visible
	7.40		4.5%					7.70	6.60		4.511		0.74															Full of debris - No pipes visible
asin ble	14.80	NE	15"	VCP				4.63	2.76	500	15"	VCP	2.74															No pipes visible
	14.16	E	15"						0.91	W	15"		0.91															
Vault	13.63		12	VCF		9.78		8.91	2.00				2.00															Full of debris - No pipes visible
asin asin	13.26	NF	8"	VCP			9 71	13.01	9 74	SW	8"	RCP	11 42															Full of debris - No pipes visible
ble	14.00	NW	84"	RCP					-3.85	SE	84"	RCP	-4.86															
asin Vault	13.29 13.87	NVV	8"	VCP		9.22		6.85 8.42	8.14																			
Vault	14.02		0"			6.67	6.82	5.87	10.00																			
asin asin	13.35	SW	8"	DI			8.52	10.55	10.20																			
asin asin	13.55	S	8" 8"				8.90	11 12	11 22																			
Vault	14.01		0			12.31		10.88	11.52																			No pipes visible
Vault Vault	13.81 14.09	NE-SW	8"	DI	7.26	9.19		7.47 9.66		'																		Full of Debris/Concrete - No pipes visible
asin	13.29		40"	1/25			9.94	8.84	0.07		40.	D 27	0.00															No pipes visible
asin	14.29 13.89	NE NE	12" 8"	VCP VCP			9.72		3.25 9.64	SW SW	12' 8"	KCP VCP	3.33 11.20															
asin	13.50	SW	8" o"				10.65	10.50	10.66	'																		
asin asin	13.34	NW	8"	VCP VCP			11.89	11.74	10.14																			
asin asin	13.49	SE	8" 8"	VCP			6.99	10.34	9.79																			
Vault	13.31		0					9.76	10.18																			Full of Debris - No pipes visible
ole Vault	14.28	SE F-W	24" 8"		7 16	8 62		5 99	3.23	W	24"	VCP	2.76															
Vault	14.24							10.04		[]																		No pipes visible
Vault asin	13.76 13.33	W	8"	DI				12.83	11.43																			Full of Debris - no pipes visible
Vault	13.64					9.64		8.40																				
vault asin	13.94 13.45					9.83	8.45	8.05																				No pipes visible
	13.92	N	90"	RCP	9 OF	11 60		7.40	-4.08	S	90"	RCP	-5.18															· · ·
	14.42	NW	24" 24"	VCP	0.90	11.00		1.49	1.62	SE	24"	VCP	1.60															
ole Vault	14.25	N	72" 8"		11.05			Q 17	5.60	S	72"	RCP	5.63															
Vault	13.75	NE-SW	8"	DI	7.53	9.44		7.53																				
asin Vault	13.27 13.62	W N-S	8" 24"			10.62	10.12	10.07	10.32																			
asin	14.06	NE	8"	VCP			9.87	5.01	10.88	S	8"	VCP	9.66															
asin asin	6.41 6.36																											Manhole completely under water Manhole completely under water
nlet	7.63	SW	6"	VCP				7.23	6.71																			Full of debris

#	Date	Description	
1	6-29-18	Issued	
			225 W. Onio Ath Floor
			Chicago, IL 6

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nio Street TEL: (312) 467-0123 FAX: (312) 467-0220 L 60654 www.terraengineering.com

Project Information PROJECT #: 18-186 DRAWN BY: KR CHECKED BY: TB APPROVED BY: TB

Cabrini Green Redevelopment Plan Clybourn and Larrabee, Chicago

PROJECT

1450 N. LARRABEE DEMOLITION

PROJECT ADDRESS

1450 N LARRABEE STREET CHICAGO, IL 60610

DRAWING INDEX

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- C0.3 SITE DEMOLITION PLAN C1.0 C2.0
- EXCAVATION AND BACKFILL PLAN SITE GRADING AND DRAINAGE PLAN C2.1 AS-BUILT TOPOGRAPHY
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Oct 08, 20 M:_2018\ KatherineK

EXHIBIT VII AS BUILD DRAWINGS

SITE MAP

BENCHMARKS

CITY OF CHICAGO BENCHMARK NUMBER 1494 Mark cut on corner of W. end of iron plate doorstep at Northeast corner of 3—story and basement brick building. Elevation = 14.517

CITY OF CHICAGO BENCHMARK NUMBER 1490 Mark cut on corner of stone water table at the S.E. corner of 4 story building on the N. side of Wendell St. at the W side of the alley E. of Orleans St. Elevation = 14.574

Site Benchmark #1 Chain bolt of fire hydrant located at the Southeast corner of N. Larrabee Street and W. Blackhawk Street.

Site Benchmark #2 Chain bolt of fire hydrant located on the Northeast side of N. Clybourn Avenue and approximately 385' Northwest from the Northwest corner of N. Clybourn Avenue and N. Larrabee Street.

Elevation = 15.172

Elevation = 14.917

DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP SAFE HARMLESS THE MUNICIPALITY, OWNER AND ENGINEER, AND THEIR RESPECTIVE BOARD MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: THE ILLINOIS LAWS REGARDING STRUCTURAL WORK [IL REV. STAT. CH 48, PAR. 60 AT SEQ.] AND REGARDING THE PROTECTION OF ADJACENT LANDOWNERS [IL. REV. STAT. CH. 17-1/2 PAR. 51 ET. SEQ.]. IN THE EVENT OF ANY SUCH INJURY [INCLUDING DEATH] OR LOSS OR DAMAGE, OF CLAIMS THEREFORE, OR CLAIMS THEREFORE. THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL **NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN** THESE RECORD DRAWINGS AS A RESULT OF **INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES** IN THE FIELD THAT WERE DIRECTED BY OTHERS.

N VINE ST	64		ere la la	
	N LARF	W BLACKH	AWK ST	
N Larrabee S	PABEE ST			
N.C.L.				
	PAPLE	N MOHAWK ST	N CLEVELAN	
© 2018 Google			DAVE	

1450 N. LARRABEE DEMOLITION 1450 N Larrabee Street Chicago, IL. 60610 Client HUNT COMPANIES 980 N MICHIGAN, SUITE 1150 CHICAGO, IL 60611 Project Team CIVIL ENGINEER TERRA NGINEERING LTD. 225 W Ohio Street - Suite 400; Chicago, IL 60654 (T) 312-467-0123 | (F) 312-467-0220 Revisions Issue Date 10.11.22 DWM Plan Amendment _____ _____ _____ _____ _____ ----------_____ -----_____ _____ _____ _____ _____

Stamp

COVER SHEET

Sheet No. G0.0 TERRA Project No. XX-XXX

GENERAL NOTES:

- ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS.
- 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLAN, THEY MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR 3. ASSUMES FULL RESPONSIBILITIES. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES,
- CONSIDERED TO HAVE PROCEEDED AT THEIR OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- 2. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREIN SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
- A. CITY OF CHICAGO DEPARTMENT OF TRANSPORTATION "RULES AND REGULATIONS FOR CONSTRUCTION IN THE PUBLIC WAY", LATEST EDITION B. ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION AND ALL SUPPLEMENTAL PROVISIONS AND ADDENDA, LATEST EDITION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING THE REQUISITE FEES FOR CONSTRUCTION. THEY SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS 5 NECESSARY TO THE SATISFACTION OF THE ENGINEER.
- CODES. 6. ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATIONS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE 7 CONTRACTOR'S EXPENSE.
- 7. DO NOT SCALE PLANS FOR CONSTRUCTION DIMENSIONS. 8. ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE
- RESTORED BY THE CONTRACTOR TO THE ORIGINAL CONDITION. 9. THE BUREAU OF FORESTRY REQUIRES THAT THE CONTRACTOR OBTAIN A
- PERMIT TO REMOVE, PLANT, OR TRIM TREES IN THE PUBLIC WAY. FURTHERMORE, THE BUREAU REQUIRES THAT PROTECTIVE DEVICES BE . SHOULD THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES 10. IN LOCATIONS WHERE THE MAIN SEWER IS NOT BEING REPLACED AND UTILIZED AROUND EXISTING PARKWAY TREES DURING DEMOLITION AND OF STORMWATER RUNOFF TEMPORARILY INCREASE DURING EXISTING DRAINAGE FACILITIES ARE DISTURBED OR DAMAGED DUI CONSTRUCTION. ANY CONFLICTS WITH PARKWAY TREES SHOULD BE CONSTRUCTION, THEN ADDITIONAL MEASURES TO PROTECT ADJACENT CONSTRUCTION BY THE CONTRACTOR, IT WILL BE THE CONTRACT REPORTED IMMEDIATELY. PROPERTIES SHALL BE UNDERTAKEN. RESPONSIBILITY TO RESTORE AND REPLACE THE DAMAGED FACILITIES HIS/HER EXPENSE TO THE SATISFACTION OF THE DWM. 11. THE TEMPORARY EROSION MEASURES SHALL REMAIN IN PLACE UNTIL ALL
- 10. IN ORDER TO PROTECT CITY'S BENCH MONUMENTS, ALL BENCH MONUMENT LOCATIONS WITHIN THE LIMITS OF THE PROJECT MUST BE THE PERMANENT EROSION CONTROL ITEMS ARE FULLY FUNCTIONAL. 11. IN CASE OF ANY DAMAGE TO THE CITY'S SEWER SYSTEM, PRIVATE LISTED ON THE PLAN SHEETS. IF NOT FOUND OR DAMAGE TO THE BENCH PUBLIC DRAIN CONNECTIONS, AND/OR BENCH MONUMENTS, MONUMENTS IS ENCOUNTERED, PLEASE CONTACT THE SEWER UNIT OF . GRAVELED ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT CONTRACTOR MUST CONTACT THE SEWER UNIT OF THE DOB IMMEDIAT THE DOB IMMEDIATELY AT (312) 744-3351. WIDTH AND LENGTH, AND VEHICLES WASHDOWN FACILITIES, SHALL BE AT PHONE NUMBER (312) 744-3351. THE CONTRACTOR MUST, AT HIS/ PROVIDED TO PREVENT THE DEPOSIT OF SOIL FROM BEING TRACKED **DEMOLITION NOTES:** COST, REPLACE THE AFFECTED SEWERS, DRAIN CONNECTIONS, SEV ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR STRUCTURES AND/OR BENCH MONUMENTS AS NECESSARY. THE SEV PRIVATE ROADWAY SHALL BE REMOVED CONTINUOUSLY. FLOWS MUST BE MAINTAINED AT ALL TIMES. 1. THE EXTENT OF DEMOLITION WORK IS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN AND INCLUDES, BUT IS NOT LIMITED TO THE REMOVAL 13. DUST SCREENING SHALL BE PROVIDED ON ALL CONSTRUCTION FENCING.
- OF ALL UTILITIES, OVERHEAD LINES AND POLES, PAVING, VEGETATION, BUILDING FOUNDATIONS AND OTHER SITE FEATURES WHICH CONFLICT WITH THE CONSTRUCTION OF THE NEW FACILITIES. OR ARE DESIGNATED TO BE REMOVED. 2. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS AND
- SPOILS TO ENSURE MINIMAL INTERFERENCE WITH FACILITY OPERATIONS. 3. ENSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION.
- RESULTING FROM DEMOLITION AND LAWFULLY DISPOSE OF SAME. 4. NOTIFY OWNER 48 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
- 5. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER/ARCHITECT ALL ITEMS DESIGNATED TO BE REMOVED OR RELOCATED.
- 6. IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON
- THE PLAN WHICH REQUIRE DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. A. CITY OF CHICAGO DEPARTMENT OF WATER MANAGEMENT "DESIGN GUIDELINES FOR WATER MAIN INSTALLATIONS", LATEST EDITION. 7. THE CONTRACTOR WILL PROTECT ALL UTILITIES DESIGNATED TO REMAIN. B. CITY OF CHICAGO DEPARTMENT OF WATER MANAGEMENT FOR REVIEW AND APPROVAL AS FOLLOWS: ANY DAMAGE BY THE CONTRACTOR TO UTILITIES, ALLEYWAYS, STREETS "REGULATIONS FOR SEWER CONSTRUCTION AND STORMWATER OR ADJACENT PROPERTIES WILL BE REPLACED/REPAIRED AT THE MANAGEMENT", LATEST EDITION.
- CONTRACTOR'S EXPENSE. 8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXISTING SERVICES AND APPURTENANCES TO DEMOLISHED SITE FEATURES AND
- CAP/TERMINATE AS REQUIRED BY THE UTILITY COMPANY. CONTRACTOR SHOULD CONTACT ARCHITECT/ENGINEER IF ANY QUESTION ARISES REGARDING THE VIABILITY OF A UTILITY STRUCTURE.

- FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE
- 5. THE CONTRACTOR MUST COMPLY WITH ALL FEDERAL, STATE AND LOCAL
- REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS

GRADING NOTES

- THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES 1. CONTRACTOR TO ADJUST RIMS OF ALL EXISTING STRUCTURES TO MEET NEW GRADES. FOR CHICAGO PUBLIC SIDEWALKS THE MAXIMUM CROSS-SLOPE SHALL
 - NOT EXCEED 1.56%, THE MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 4.16% OR THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET, WHICH EVER IS HIGHER. FOR PRIVATE SIDEWALKS. THE MAXIMUM CROSS-SLOPE SHALL NOT
- EXCEED 2.0%, THE MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5.0%. AND/OR SPECIAL DETAIL, THE CONTRACTOR SHALL SECURE WRITTEN 4. ELEVATIONS SHOWN ARE PER CITY OF CHICAGO DATUM (CCD).
 - **EROSION CONTROL NOTES**
 - THE SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL AND SEDIMENTATION CONTROL OF LOCAL GOVERNMENT AGENCIES, PROCEDURES AND STANDARDS FOR URBAN SOIL AND SEDIMENTATION CONTROL IN ILLINOIS, AND IEPA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.
 - 2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO,
 - ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT
 - EROSION AND SEDIMENTATION AS DETERMINED BY THE ENGINEER. DURING DEWATERING OPERATIONS. WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO THE FIELD
 - TILES OR STORMSEWER IS PROHIBITED. PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED WITHIN 15 CALENDAR DAYS OF THE END OF ACTIVE SOIL DISTURBANCE.
 - FILTER BASKETS SHALL BE INSTALLED AND MAINTAINED AROUND THE INLET AND OUTLET STRUCTURES AS SPECIFIED. 8. SEDIMENTATION BASINS, BARRIERS, AND ALL APPROPRIATE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SORT OF SITE
 - DISTURBING. 9. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER ANY STORM EVENT IN EXCESS OF 1/2".
 - UTILITY NOTES:
 - THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES SHALL BE OBTAINED FROM ALL UTILITY COMPANIES, INVESTIGATED AND VERIFIED IN AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LO THE FIELD BY THE CONTRACTOR BEFORE STARTING WORK IN THE AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OL CONSTRUCTION AREA. EXCAVATION IN THE VICINITY OF EXISTING OR INCIDENTAL TO THE PERFORMANCE OF WORK UNDER THE CONTRAC STRUCTURES SHALL BE PERFORMED BY HAND. THE CONTRACTOR SHALL THE CONTRACTOR OR ITS SUBCONTRACTORS TO THE FULL EXTEN BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING ALLOWED BY THE LAWS OF THE STATE OF ILLINOIS AND NOT BEYOND FACILITIES, MAINTENANCE AND PROTECTION OF EXISTING UTILITIES AND EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID STRUCTURES.
 - 2. THE CONTRACTOR IS TO UNCOVER ALL LINES BEING TIED INTO AND VERIFY GRADES BEFORE ANY CONSTRUCTION. 3. EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL UTILITY
 - WORK PROPOSED HEREIN SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 - C. ILLINOIS SOCIETY OF PROFESSIONAL ENGINEERS "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION.
 - 4. CALL DIGGER (312) 744-7000 PRIOR TO DIGGING FOR ANY UTILITY CONSTRUCTION.
 - 5. A WATER MAIN SHALL BE SEPARATED FROM A SEWER SO THAT ITS INVERT IS A MINIMUM OF 18 INCHES ABOVE THE CROWN OF THE SEWER. WHENEVER WATER MAINS CROSS STORM SEWERS, SANITARY SEWERS OR SEWER SERVICE CONNECTIONS, THIS VERTICAL SEPARATION SHALL BE MAINTAINED. A LENGTH OF WATER MAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN. A TEN FOOT HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER PIPES SHALL BE MAINTAINED.
 - 6. WHEN IT IS IMPOSSIBLE TO OBTAIN THE PROPER SEPARATION AS DESCRIBED ABOVE, OR THE WATER MAIN PASSES UNDER A SEWER OR DRAIN, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON PIPE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION.

CDWM NOTES:

- 1. A PERMIT IS REQUIRED FROM THE SEWER UNIT OF THE DEPARTMEN BUILDINGS (DOB) PRIOR TO THE CONSTRUCTION OF, OR REPAIRS UNDERGROUND SEWERS, DRAIN CONNECTIONS OR SEWER STRUCT INCLUDING THE ADJUSTMENT OF SEWER STRUCTURES REMOVAL/REPLACEMENT OF FRAMES AND LIDS. THE PERMIT MUS OBTAINED BY A DRAINLAYER CURRENTLY LICENSED FROM THE SEWER OF THE DOB.
- 2. THE SEWER UNIT OF THE DOB MUST BE NOTIFIED AT LEAST 48 HOUR ADVANCE OF CONSTRUCTION, WITH THE NAME AND TELEPHONE NUM OF THE RESIDENT ENGINEER WHO COULD BE CONTACTED FOR ANY SE EMERGENCY.
- 3. MANHOLES, CATCH BASINS AND INLETS MUST BE PROTECTED FROM ENTRY OF ASPHALT/DEBRIS INTO THE SEWER SYSTEM DU CONSTRUCTION. THE CONTRACTOR MUST MARK LOCATIONS OF ALL SE STRUCTURES ON THE SIDEWALK BEFORE STARTING PAVEN REMOVAL/REPLACEMENT. ADJUSTMENT OF FRAMES AND LIDS OF SE STRUCTURES MUST BE COMPLETED PRIOR TO STREET RESURFACING.
- 4. EXISTING SEWERS TO BE ABANDONED MUST BE REMOVED OR FILLED \ FLOWABLE FILL. SEWERS SMALLER THAN 2'-0" DIAMETER ARE CLOSED A PLUG WHILE 2'- 0" DIAMETER AND LARGER ARE CLOSED WITI BULKHEAD. WITHIN THE CENTRAL BUSINESS DISTRICT, ALL ABANDO SEWERS MUST BE INJECTED WITH FLOWABLE FILL.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR THE ADEQUATE PROTECTION THE EXISTING SEWERS, DRAIN CONNECTIONS, SEWER STRUCTURES, BENCH MONUMENTS DURING CONSTRUCTION OPERATIONS AND USE HEAVY EQUIPMENT IN THE LIMITS OF THE PROJECT.
- 6. EXISTING CATCH BASIN LATERALS TO BE REUSED MUST BE RODDED FLUSHED IN THE PRESENCE OF THE SEWER UNIT OF THE DWM INSPEC A NEW CONNECTION TO THE MAIN SEWER IS REQUIRED IF THE EXIS CATCH BASIN LATERAL IS NOT APPROVED BY THE SEWER INSPECTOR.
- WHEN A SEWER STRUCTURE IS ABANDONED, ALL PIPE OPENINGS MUS PLUGGED, STRUCTURES FILLED WITH TRENCH BACK-FILL, AND LIDS FRAMES REMOVED PER THE SEWER UNIT OF THE DWM STANDARDS SPECIFICATIONS.
- 8. THE CONTRACTOR IS REQUIRED TO REPLACE ANY BROKEN FRAMES LIDS OF SEWER STRUCTURES WITH STANDARD FRAMES AND LIDS OF DWM. IN ADJUSTMENT OR RECONSTRUCTION OF SEWER STRUCTURES. NON-STANDARD FRAMES AND LIDS MUST BE REPLACED WITH STAND FRAMES AND LIDS. IN ADJUSTMENT OR RECONSTRUCTION OF INLETS, NON-STANDARD INLETS (GUTTER BOXES) MUST BE REPLACED WITH STANDARD INLETS.
- 9. THE FRAMES AND LIDS OF SEWER STRUCTURES TO BE ABANDO REMOVED, OR FILLED MUST BE SALVAGED AND THE DWM NOTIFIED PICK UP.
- DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP SAFE HARMLESS MUNICIPALITY, OWNER AND ENGINEER, AND THEIR RESPECTIVE BO MEMBERS, REPRESENTATIVES, AGENTS AND EMPLOYEES, IN BOTH INDIV UNENFORCEABLE. THIS OBLIGATION INCLUDES BUT IS NOT LIMITED TO: ILLINOIS LAWS REGARDING STRUCTURAL WORK [IL REV. STAT. CH 48, PAR AT SEQ.1 AND REGARDING THE PROTECTION OF ADJACENT LANDOWNER REV. STAT. CH. 17-1/2 PAR. 51 ET. SEQ.]. IN THE EVENT OF ANY SUCH INJ [INCLUDING DEATH] OR LOSS OR DAMAGE, OF CLAIMS THEREFORE, OR CL THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWN

AS-BUILT DRAWINGS

A. CONTRACTOR TO SUBMIT AS-BUILT DRAWINGS TO ENGINEER OF RECOR WITHIN ONE WEEK OF INSTALLATION OF STORM, SANITARY AND WA INFRASTRUCTURE AND PRIOR TO ROUGH GRADING ACTIVITIES

- WITHIN TWO WEEKS OF INSTALLATION OF FINAL GRADING/PAVING. B. AS-BUILT DRAWINGS MUST INCLUDE THE FOLLOWING INFORMATION:
- i. CONFIRMATION THE STORMWATER RESTRICTOR(S) IS(ARE) INSTAL VIA A PHOTOGRAPH.
- iii. LOCATION OF STORM, SANITARY, AND WATER STRUCTURES, VAUL MANHOLES, ETC. iv. STRUCTURE RIM AND PIPE INVERT ELEVATIONS, INCLUDING INVERT
- AT CAPPED (BURIED) ENDS. TOP/BOTTOM OF WATER PIPE ELEVATIONS AT SEWER/STORM
- CROSSINGS AND AT STRUCTURES. vii. LOCATION, SIZE, LENGTH AND MATERIAL OF SANITARY, STORM AND WATER PIPING, INCLUDING LOCATION OF BENDS.
- viii. GRADING DETAIL AT THE LEVEL OF DETAIL AND AT THE SCALE(S) SHOWN IN THE CIVIL PLANS, INCLUDING DETAIL ENLARGEMENTS A SCALE ix. SPOT ELEVATIONS AND CONTOURS.
- C. AS-BUILT DRAWINGS MUST BE:
- x. GENERATED BY A SURVEYOR LICENSED IN THE STATE THE PROJEC
- LOCATED. ii. MANUFACTURED AS A MARK-UP OF CIVIL ENGINEERING PLANS. IF SURVEY DEVIATES FROM DESIGN, A LINE SHALL BE STRUCK THROU THE DESIGN TEXT AND AS-BUILT INFORMATION WRITTEN NEXT TO IT. IF SURVEY MATCHES DESIGN, THE DESIGN TEXT SHALL BE CIRC INDICATING FULL COMPLIANCE.

 METERS 312-32-3878 RON WESLOW, CTA, PERGET DUNDERTANDE AND WURK IN THE WORKT A DUB SHELTER, 312-361-321 MILE RASHED, GOOT DEPARTMENT OF ELEGTRICAL OPERATION 312-34-3858 OMTRACTOS SMILL MOTTE UNAVER REQUEST AND THE CHECK ENTRY NETWORK, DEGRET & 312-344-3004 40 HOURS PROCTA ERGNING WORK. GENERAL MOTES FOR WORK IN THE BERNING WORK. GENERAL NOTES FOR WORK IN THE DUBLIC WAY: 1. THE FURINE WAY REQUESTS A PERMIT FROM THE OTHER F MANAGEMENT AND RAYING WORK WORK IN THE DUBLIC WAY: 1. THE LINGUS DEPARTMENT OF TRANSPORTATION SYNAME ALL ADDRIVA MARK AND RAYING WORK WORK IN THE OTHER F MANAGEMENT AND RAYING WORK WORK IN THE PUBLIC WAY SHALL GOVERN IT SAMAWAS DON WORK IN THE PUBLIC WAY SHALL GOVERN IT CONSTRUCTION IN ELEMONS, TAKESE ENTRY SHALL GOVERN IT SAMAWAS DON WORK IN THE INSCIDENT AND SEWER MA CONSTRUCTION IN ELEMONS, TAKESE ENTRY SHALL GOVERN IT HE WITHOUGH AND PAYING WORK WORK IN THE CONTRACT. J. THE 'STANABAGE SPECIFICATIONS FOR WATER AND SEWER MA CONSTRUCTION IN ELEMONS, TAKESE ENTRY SHALL GOVERN IT SAMAWAS AND PAYING WORK WORK IN THE RECOMMENT OF THE CONTRACTORS SHALL NOTE CONDUCTED IN ACCOMANCE WITH OS REQUERNMENTS AND DAYING WORK WORK IN TO RECOMMENT OF THER PACILITIES PROM TO RECEINED AND STANDARD SHALLANDARDS. A.L. WORK SHALL BE CONDUCTED IN ACCOMANCE WITH OS REQUERNMENTS AND DAYING WORK WORK IN THE RECOMMENT OF THE CONTRACTORS SHALL NOTEY ALL UTHITY COMPANIES FOR FEI IOCATIONS OF THER FACILITIES PROM TO RECEIN AND STANDARD SHALLANDARDS. J.L. WORK SHALL BE CONDUCTED IN ACCOMANCE WITH OS REQUERNMENTS AND DITY OF CHECK ON WALTER F VERTION AND READ REGULATIONS. AND REST FOR THE STANDARD SHALLANDARDS. J.L. WORK SHALL BE CONTROL TO AND REST FOR THE PARTMENT OF THE OWTER ON WITHIN THE STREET ROOT OF WITH OS INFORMANCE WITH THE REQUERNMENTS OF THE DEPT. OF TRANSPORTATION. J.L. WITH THE REQUERNMENTS OF THE DEPT. OF TRANSPORTATION. 		METERS, 312-742-6978 RON WESLOW, CTA, PRIOR TO UNDERTAKING ANY WORK IN THE VICINITY (
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 PUBLIC WAY: STECIPCATIONS FOR RADA AND BENDE CONSTRUCTION: LINEST ENTROP AND ALL ADDRA THEERED, AND CITY OF CHICAGO CONSTRUCTO STANAARDS FOR YORK IN THE PUBLIC WAY SHALL GOVERN TO CARTINOTRA. THE 'STANDARD SPECIFICATIONS FOR WATER AND SEVER MA CONSTRUCTION IN LINES: LITEST EDTION, SHALL GOVERN TO VADERGROUND WORK UNDER THIS CONTRACT. ALL WORK, SPALL BE CONDUCTED IN ACCORDANCE WITH OT OF CHICAGO STANAARDS. ALL WORK, SPALL BE CONDUCTED IN ACCORDANCE WITH OT OF AND MERICANTONS. ALL WORK, SPALL BE CONDUCTED IN ACCORDANCE WITH OT AND INFORMATION WORK IN ALL RESPECTS TO ALL STATE AND FEDERAL LAW AND HEGULATIONS. THE CONTRACTOR SHALL BE RESPONSED FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTIL OCATIONS SHOWN OF DEPERTON IN ALL RESPECTS TO ALL STATE AND FEDERAL LAW AND HEGULATIONS. THE CONTRACTOR SHALL BE RESPONSED FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTIL OCATIONS SHOWN OF DEPERTON INC. ON THE RESPONSED FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTIL INC. CONTRACTOR SHOWN OF DEPERTON INC. ON THE RESPONSED FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTIL INC. CONTRACTOR SHOWN OF DEPERTON INC. ON THE RESPONSED FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTIL INC. CONTRACTOR SHOWN OF DEPERTON INC. ON THE RESPONSED FOR THE MAINTENANCE AND PRESERVATION OF THE RESPONSED FOR THE DEPERTON INC. CONTRACTOR SHALL CONTRACTOR IN THE LITEL. ALL UTILITY TRENCES UNDER AND WITHIN THE STREET FRICTORY SWALL DOWN ON THE EVENT ACCOMPANED STOKE (GAUGE 5 OR 9), COMPACIED IN PLIFTS ID 595.0 MODIFIED PRESERVATION OF THE DEPERTOR INC. CONTRACTOR SHALL CONTRACTOR IN THE EDUC. ALL UTILITY TRENCES UNDER AND WITHIN THE STREET FRICTORY SWALL DOWN ON THE SHALL BE CONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPERTOR INC. CONTRACTORY SWALL DOWN ON THE SHALL BE CONE IN ACCORDANCE ACCOMPANY AND AND AND AND AND AND AND AND AND AND	G	ENERAL NOTES FOR WORK IN THE
STADARD FOR WORK IN THE PUBLIC WAY SHALL GOVERN TO EXATTHOOR AND PAVING WORK UNDER THE CONTRACT.	רן 1.	UBLIC WAY: THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDAI SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION." LATEST EDITIO
 UNDERROTIONE INAL LINDE: LACEON FRANCES UNDER IN CONFLICT WITH CITY OF CHICAC STANDARDS. ALL WORK, SYALL BE CONDUCTED IN ACCORDANCE WITH CONFLICT TO ALL STATE AND FRANCE AND SHALL TO SHALL NOT PERSISTENT TO ALL STATE AND FRANCE AND AND CONFORM IN ALL RESPECTS TO ALL STATE AND FRANCE AND PRESENVATION OF THESE FACILITIES INDOR TO REGINARINE CONSTRUCTION THE CONTRACTOR SHALL ABLE RECORDES AND ARE DOR SHOWN AND ST BE VERIFIED THE CONTRACTOR IN THE TRUE. AND UTILITY LOCATIONS SHOWN AND ST BE VERIFIED THE CONTRACTOR IN THE FACILITIES INDOR AND ARE TO RECENT AND CARD SHOWN AND ST BE VERIFIED THE CONTRACTOR IN THE FACILITIES AND UTILITY LOCATIONS SHOWN AND ST BE VERIFIED THE CONTRACTOR IN THE FILL. ALL UTILITY TRENCIES UNDER AND WITHIN TWO FEET OF PAVEMENT BOR STORE (TRACTS ON THE EXCENTION OF THE CONTRACT IN THE TO SHOW AND ST BE VERIFIED THE CONTRACTOR IN THE FILL. ALL UTILITY TRENCIES UNDER AND WITHIN TWO THET OF EASY OF THE CONTRACTOR IN THE FILL. ALL UTILITY CONNECTIONS WITHIN THE STREET RIGHT-GRAVER DAY ACCOMPANY AND THE EXCENT ACCOMPANY AND THE EXCENT AND RESTORATION SHALL BE DONE IN ACCOMPANY WITH THE REQUIREMENTS OF THE DEPT. OF TRANSPORTATION. 	2.	STANDARDS FOR WORK IN THE PUBLIC WAY SHALL GOVERN THE EARTHWORK AND PAVING WORK UNDER THIS CONTRACT.
 ALL WORK SHALL BE CONJUCTED IN ACCORDANCE WITH OSE REQURRENTS AND CITY OF CHCAGO REQUATIONS AND TREDERIOL MAD REGULATIONS. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FILE LOCATIONS OF THEIR ACIUTES PHOR TO BEGINNING CONSTRUCTION INE CONTRACTOR SHALL PERSPECTION ALL UTILITY COMPANIES FOR FILE DESCRIPTION ONLY. ALL UTILITY LOCATIONS SHOWN MUST BE VERIFIED D THE CONTRACTOR IN THE FILE. ALL UTILITY TERNCHES UNDER AND WITHIN TWO TEET OF PAVEMENT DIRECTION TONLY. ALL UTILITY LOCATIONS SHOWN MUST BE VERIFIED D THE CONTRACTOR IN THE FILE. ALL UTILITY TERNCHES UNDER AND WITHIN TWO TEET OF PAVEMENT DIRECTION TONLY. ALL UTILITY COMPACITED IN S' LIFTS TO \$63 C MODIFIED PROCTOR. UTILITY CONNECTIONS WITHIN THE STREET REAT-GRAVING SHALL ACCOMPLIED RECTOR. UTILITY CONNECTIONS WITHIN THE STREET REAT-GRAVING SHALL ACCOMPLIED FOR SOME CONTRACTOR SHALL BE DONE IN ACCORDANC WITH THE REQUIREMENTS OF THE DEPT. OF TRANSPORTATION. 		CONSTRUCTION IN ILLINOIS," LATEST EDITION, SHALL GOVERN II UNDERGROUND WORK UNDER THIS CONTRACT EXCEPT AS MODIFIED I THESE SPECIFICATIONS, OR WHERE IN CONFLICT WITH CITY OF CHICAG STANDARDS.
 THE CONTRACTORS SHALL NOTIFY ALL UTLITY COMPANIES FOR FILE LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNIE CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE. PURS ARE BASED ON AVAILABLE RECORDS AND ARE FOR GENER DIRECTION ONLY. ALL UTLITY LOCATIONS SHOWN MUST BE VERIFIED E THE CONTRACTOR IN THE FILE. ALL UTLITY TRENCHES UNDER AND WITHIN TWO TEET OF PAYEMEN OBUBIED STONE (GROETER, ETC. SHALL BE BACEFUED IN STUTIED OF THE CONTRACTOR ON THE TIER, ETC. SHALL BE BACEFUED ON THE CONTRACTOR ON THE TIER, ETC. SHALL BE BACEFUED ON THE OCUMPATION OF SAME OF SIGNATION SHALL BE BACEFUED TO SKS. MODIFIED PROCTOR. UTLITY CONNECTIONS WITHIN THE STREET RICHT-OF-WAY SHALL B ACCOMPLISHED BY SAWE CUTTING AND REMOVING THE EXSTIT ACCOMPLISHED BY SAVE CUTTING AND REMOVING THE EXSTIT ACCOMPLISHED BY SAVE CUTTING AND REMOVING THE EXSTIT ACCOMPLISHED BY SAVE CUTING AND REMOVING THE DIST. 	3.	ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSI REQUIREMENTS AND CITY OF CHICAGO REGULATIONS AND STANDARI AND SHALL CONFORM IN ALL RESPECTS TO ALL STATE AND FEDERAL LAV AND REGULATIONS.
THE CONTRACTOR IN THE FIELD. 5. ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMEN SDEWALK (URB AND CUTTRE, ETC. SHALL BE BACKBLED WITH CA CRUSHED STONE (GRADE 8 OR 9), COMPACTED IN 9° LIFTS TO 99% OF MODIFIED PROCTOR. 6. UTILITY CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL E ACCOMPLISHED BY SAW CUTTING AND REMOVING THE EXIST PAVEMENT BACKFILL AND RESTORATION SHALL BE DOWE IN ACCORDANC WITH THE REQUIREMENTS OF THE DEPT. OF TRANSPORTATION.	4.	THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIE LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ANY UTILITY LOCATIONS SHOWN (PLANS ARE BASED ON AVAILABLE RECORDS AND ARE FOR GENER DIRECTION ONLY ALL UTILITY LOCATIONS SHOWN MUST BE VERIFIED.
MODIFIED PROCTOR.	5.	ALL UTILITY TRENCHES UNDER AND WITHIN TWO FEET OF PAVEMEN SIDEWALK, CURB AND GUTTER, ETC. SHALL BE BACKFILLED WITH CA CRUSHED STONE (GRADE 8 OR 9), COMPACTED IN 9" LIFTS TO 95%
PAVEMENT. BACKFILL AND RESTORATION SHALL BE DONE IN ACCORDANC WITH THE REQUIREMENTS OF THE DEPT. OF TRANSPORTATION.	6.	MODIFIED PROCTOR. UTILITY CONNECTIONS WITHIN THE STREET RIGHT-OF-WAY SHALL ACCOMPLISHED BY SAW CUTTING AND REMOVING THE EXISTII
		PAVEMENT. BACKFILL AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DEPT. OF TRANSPORTATION.

1450 N. LARRABEE DEMOLITION

1450 N Larrabee Street Chicago, IL. 60610

Client

HUNT COMPANIES 980 N MICHIGAN, SUITE 1150 CHICAGO, IL 60611

Project Team

Revisions	
Date Issue	
10.11.22 DWM Plan Amendment	
Stamp	

Stamp

GENERAL NOTES

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GRAP: 30 0	HIC SCALE	
(1 1 inc	IN FEET) ch = 30 ft.	
LEGEND AND ABE	BREVIATIONS:	
······································	BUILDING	
	ASPHALT	1450 N. LARRABEE
	GRAVEL	DEMOLITION
XX	DEPRESSED CURB CHAIN LINK FENCE IRON FENCE	IL. 60610
	WOOD FENCE GUARDRAIL FOUND PK NAIL	
	FOUND REBAR SET IRON ROD/PIPE SET MAG NAIL	Client
+)))	SET/FOUND CUT CROSS COMBINATION SEWER SANITARY SEWER	HUNT COMPANIES
>	STORM SEWER WATER LINE GAS LINE	980 N MICHIGAN, SUITE 1150
	COMMUNICATION LINE SBC COMMUNICATION LINE TELEPHONE LINE	CHICAGO, IL 60611
× BC17.09	UNDERGROUND ELECTRIC LINE BACK OF CURB ELEVATION ELOW LINE ELEVATION	
× EP17.23 × FF17.38	EDGE OF PAVEMENT ELEVATION FINISH FLOOR ELEVATION MANHOLE	
	WATER MANHOLE ELECTRIC MANHOLE TELEPHONE MANHOLE	
	CURB INLET CATCH BASIN AREA DRAIN	
	UTILITY POLE POWER POLE W/LIGHT POWER POLE W/TRANSFORMER	
d M X	LIGHT POLE FIRE HYDRANT GAS VALVE	
© © -® - v	GAS METER ELECTRIC METER BUFFALO BOX	
\odot		
• •	BUSH POST	
•	SIGN BOLLARD SPRINKLER CLEANOUT	
CO	CLEANUUI	
		Project Team
		CIVIL ENGINEER
		TERRA
		ENGINEERING LTD. 225 W Ohio Street - Suite 400; Chicago, IL 60654
		(T) 312-467-0123 (F) 312-467-0220
		Date Issue
		10.11.22 DWM Plan Amendment
		Stamp
		Title

	EXIS	STING
CONDITI	ONS	PLAN

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Manhole Ty	be of	Type of	Type of						Invert 1				 	Invert	2		Inv	ert 3		Inve	rt 4		Invert 5	····		Invert	t 6		Inver	rt 7
										Top of	Top of													· · ·						
		1:4	Churchter	Rim		Diamatan	T	Top of Pipe	e Top of Key	Water	Debris	Invert		Diamatan		vert			rt ion Dino			Divention	D:	Invert	Divertien					
1001 St	torm		CatchBasin	Elevati	on Directio	n Diameter		Elevation	Elevation	Elevation	Elevation	2 53		Diameter 15"	VCP 3	ation Dir	rection Diamet	er Type Elevatio	ion Direc	ection Diameter	r Type Elevation	Direction	Diameter Type	e Elevation	Direction Di	lameter	Type El	evation Dir	ection Diameter	r Type Elevat
1001 St	torm	Open	CatchBasin	12.86	6					8.64		0.00																		
1003 St	torm	Open	CatchBasin	12.74	4 NW	8"	VCP			8.04	7.25	7.79																		
1004 St	torm	Open	CatchBasin	13.71	1 S	15"	VCP					3.95	W	15"	VCP 3.	.86														
1006 Sai	nitary	Closed	Manhole	14.0	5 NE	8"				0.00	7 69	8.95	NE	10"	VCP 4.	.05	SE 12"	VCP 4.05	5 <u>S</u>	SE 10"	VCP 4.04	SVV		8.31	NVV	12"		4.00	NVV 6''	VCP 6.58
1262 Sa	nitarv	Closed	Manhole	13.32	2 0 E	24"	VCP			9.00	1.00	3.75	W	24"	VCP 3	.85														
1268 St	torm	Open	CatchBasin	13.3	1					10.50	9.11	0.10																		
1292 Sai	nitary	Closed	Manhole	13.91	1 N	24"	VCP					4.59	S	24"	VCP 4.	.25	W 12"	VCP 4.28	3											
1375 Sai	nitary	Closed	Manhole	13.78	8 N	24"	VCP				****	3.96	S	24"	VCP 3.	.87										0746.00.00.00.00.00.00.00.00.00.00.00.00.00				
1460 W		Closed	Manhole/Vault	10.7	5 F F	0"			7.15	9.50		4 0 2	C	0"		1 1	\\\/\ 0"		D											
1461 Sal	torm	Onen	CatchBasin	9 48		<u> </u>	VCP			6.87		4.63	3		VCP 5.		<u> </u>	VCP 4.93	.											
1666 Sai	nitary	Closed	Manhole	13.64	4 N	12"	VCP			0.07		4.84	SE	8"	VCP 8.	.22	SE 8"	VCP 8.29	9 5	S 12"	VCP 4.73	SW	8" VCF	p 8.59	NW	8"	VCP	8.54		
1671 W	/ater	Closed	Manhole/Vault	14.02	2 N-S	6"	DI	7.53	8.88		7.27																			
1673 W	/ater	Closed	Manhole/Vault	: 12.64	4			7.59	8.44		7.40																			
1907 St	torm C	Curb Grates	Curb Inlet	8.04		6"					7.49	7.19				70														
2026 Sal	torm			13.8	3 E 1 N	8"				7 97	7 21	8.68	5	8	RCP 8.	./3														
2027 St	torm	Open	CatchBasin	12.0	8 E	8"	VCP			7.10	1.21	8.73																		
2029 St	torm	Open	CatchBasin	12.65	5 <u>N</u>	8"	VCP	NON YOO UUUUUUUUUUUUUUUUUUUUUUUUUUUUUUUU		8.04	7.43	8.86				115444451117157441171674611674744416747474747474747474										401134435441134446944948894949484949494949494949494949	94 (1156)2010-010-010-010-010-010-010-010-010-010	NIN NI KATALAN AN A		
2149 St	torm	Open	CatchBasin	13.17	7					8.17	8.12																			
2150 St	torm	Open	CatchBasin	13.12	2						10.93			Albert and we do we d					AD ####################################											
2165 St	torm	Open	CatchBasin	12.7	1 S	8"				7.29	6.31	8.77		0.011																
2204 Sal				13.40	8 N 2 F	<u> </u>						-3.02	3	90	KCP -3	3.30														
2203 31 2270 St	torm	Open	CatchBasin	12.32	2 E 1 SW	8"	VCP					7 47							19 m 3 m 2 m 2 m 2 m 2 m 2 m 2 m 2 m 2 m 2											
2271 Sa	nitary	Closed	Manhole	12.60	0 N	10"	VCP					7.10	NE	8"	VCP 7.	.12	S 10"	VCP 7.18	3											
2395 W	/ater	Closed	Manhole/Vault	: 13.2	1				10.36		9.81																			
2396 Sai	nitary	Closed	Manhole	13.49	9 E	90"	RCP					-3.46	W	90"	RCP -3	3.50														
2405 Sai	nitary	Closed	Manhole	13.98	8 N	24"	VCP					2.78	S	24"	VCP 2.	.63	SW 24"	VCP 2.83	3											
2406 Sai	nitary	Open	Manhole	13.92		24"		<u> </u>	0.46		6.91	2.66	<u> </u>	24"	VCP 2.	.62														
2410 VV 2467 St				12.20	0 E-VV 2	0	וע	8.04	9.40	6 4 3	0.01 5.87			####\$#\$#\$#\$###########################		9100040144444460000000000000000000000000														
2555 St	torm	Open	CatchBasin	12.92	1					0.43	5.07			MIN 19																
2558 W	/ater	Closed	Manhole/Vault	13.7	1			7.26	8.71		6.34																			
2559 W	/ater	Closed	Manhole/Vault	13.70	0				9.95		9.70																			
2606 Sai	nitary	Closed	Manhole	14.03	3 N	10"	VCP					6.74	E	8"	VCP 6.	.59	S 10"	VCP 6.88	3											
2607 W	/ater	Closed	Manhole/Vault	13.99	9 E-W	8"		7.85	8.99		7.44	4.04		09411141744114176411417641141764114111111411111111					********					******		84477418478418488478184884784184848781848484884848484	***			
2652 St	torm	Open	CatchBasin	12.94	4 VV	8"				5.69	5.02	4.94																		
2090 Si	nitary	Closed	Manhole	10.3	o N	10"	VCP				7 75	7 77	W	8"	8 10	39										10000000000000000000000000000000000000				
2733 St	torm	Open	CatchBasin	10.57	7	10				7.35	5.82															****	NT TRANSMONTONIONIONIONIONIONIONIONIONIONIONIONIONIO			
2806 Sai	nitary	Closed	Manhole	13.7	1 N	90"	RCP					-3.30	S	90"	RCP -3	3.83														
2857 St	torm	Open	CatchBasin	12.96	6 E	8"	VCP			5.65		4.96																		
3055 St	torm	Open	CatchBasin	12.97	7					6.52	5.65																			
3094 St	torm	Open	CatchBasin	13.0	/ 0					5.57	4.50			******		*****														
3204 St	torm	Onen	CatchBasin	12.98	9 8 F	8"	VCP			3 97	10.34	6.30																		
3205 Sa	nitary	Closed	Manhole	13.70	0 E	12"	VCP	ANN 900-07-07-07-07-07-07-07-07-07-07-07-07-0		0.01		3.95	W	12"	VCP 3.	.99												10%1=010+02%1=14000=0000000000000000000000000000000		
3372 St	torm	Open	CatchBasin	12.84	4 W	8"	VCP	9.44			10.13					****														
3439 Sai	nitary	Closed	Manhole	13.60	0 N	8"	VCP					7.11	W	8"	VCP 7.	.12														
3878 Unk	nown	Closed	Unknown	12.63	3	~ ~ ~					7.59	7 40																		
3898 St	torm	Open	CatchBasin	11.66	6 N	8"				8.24	7.61	/.49 e 11		0"		00	\\\/ 0"		7											
3946 Sal	torm			10.52	2 E 7	0	VCP			7.20		0.11	<u> </u>	0	VCP 5.	.92	<u>vv</u> o	VCP 5.97	/											
4154 St	torm C	Curb Grates	Curb Inlet	7.40							7.70	6.60														Un milining Université and Andrea Stan Gandian de Martin a Canada and a state da da				
10026 St	torm	Open	CatchBasin	14.80	0 NE	15"	VCP					2.76	SW	15"	VCP 2.	.74														
10085 Sai	nitary	Open	Manhole	14.30							4.63															ndaallaattaallaatta				
10160 Sai	nitary	Closed	Manhole	14.16		15"						0.91	W	15"	VCP 0.	.91											and AntiDasilizational Designational Designational Designation of the Anti-			
10162 Sai	nitary /ator	Closed	Manhole	14.20	U E	12"			0.78		8 01	2.80		12"	VCP 2.	.80														
10251 VV	torm	Open	CatchBasin	13.26	5 6				3.70		13.01																			
10292 St	torm	Open	CatchBasin	14.1	5 NE	8"	VCP			9.71		9.74	SW	8"	RCP 11	1.42														
10311 Sai	nitary	Closed	Manhole	14.00	0 NW	84"	RCP					-3.85	SE	84"	RCP -4	1.86														
10372 St	torm	Open	CatchBasin	13.29	9 NW	8"	VCP				6.85	8.14																		
10389 VV	ater	Closed	Manhole/Vault		/ >				9.22	6 00	8.42 5.97																			
10705 St	torm	Onen	CatchBasin	13.95	z 5 NF	8"	VCP		0.07	8.52	5.07 7.45	10.20	Constanting and a second se			*****														
10735 St	torm	Open	CatchBasin	13.38	B SW	8"	DI				10.55	10.74																		
10817 St	torm	Open	CatchBasin	13.5	5 S	8"	VCP			8.90																				
10855 St	torm	Open	CatchBasin	13.17	7 NE	8"	VCP				11.12	11.32																		
10868 W	ater	Closed	Manhole/Vault					7.00	12.31		10.88															00000000000000000000000000000000000000				
100/9 VV	ater	Closed	Manhole/Vault	13.8 11 00	<u>1 INE-5V</u> 9	<u>v ŏ</u>		1.20	୬. ୮୨		1.41 9.66																			
10914 St	torm	Open	CatchBasin	13.29	9					9.94	8.84			len det mit en		niensennen senere senere senere in der die sein der die die der einen			******											
10928 Sai	nitary	Closed	Manhole	14.29	9 NE	12"	VCP					3.25	SW	12'	RCP 3.	.33			***							an a	an denominantenon den la facel e la construction de construction de la construction de la construction de la co			
10945 St	torm	Open	CatchBasin	13.89	9 NE	8"	VCP			9.72		9.64	SW	8"	VCP 11	1.20										NALLINA MD-10-200				
11080 St	torm	Open	CatchBasin	13.50	0 SW	8"				10.65	10.50	10.66		******												~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~				
11211 St	torm	Open	CatchBasin	13.34	$\frac{4}{2} \qquad SE$	8"				11.89	11./4	11.74	Senanusananananananananananananananananana																	
11212 SI	torm	Open		13.40		<u> </u>	VCP			6 99		9 79														*********************************				
11271 St	torm	Open	CatchBasin	13.19	9 NW	8"	VCP			0.00	10.34	13.19																		
11279 W	/ater	Closed	Manhole/Vault	13.3	1						9.76	********														*****				
11363 Sai	nitary	Closed	Manhole	14.28	8 SE	24"	VCP					3.23	W	24"	VCP 2.	.76														
11364 W	/ater	Closed	Manhole/Vault	14.27	7 E-W	8"	DI	7.16	8.62		5.99																			
11365 W	ater	Closed	Nanhole/Vault		4 S						10.04																			
ା 1410 VV 11527 ଦ୍ୟ			CatchRosin	12.76	υ 3 \\\/	Q"	יח				ו∠.୪ <i>୪</i> 11 1ହ	11 / 2																		
11532 \	ater	Closed	Manhole//ault	13.50	~ vv 4			1999 1997 1997 1997 1997 1997 1997 1997	9 64		8.40	II.4J	l												-					
11533 W	/ater	Closed	Manhole/Vault	13.94	4				9.83		8.49																			
11557 St	torm	Open	CatchBasin	13.4	5					8.45	8.05																			
11626 Sai	nitary	Closed	Manhole	13.92	2 N	90"	RCP					-4.08	S	90"	RCP -5	5.18														
11677 W	/ater	Closed	Manhole/Vault	14.22	2 N-S	24"		8.95	11.68		7.49	1		• • • • •																
11683 Sai	nitary	Closed	Manhole		∠ <u>NW</u>	24"						1.62	SE	24"		.60						_								
11745 \\/	nnary /ater	Closed	Manhole//ault	14.2	5 IN 7 QE	<u> 12</u> <u> 8</u> "		11 05			<u>9</u> 17	ປ໘.ຬ	0	12	<u>по</u> г 5.	.00									-					
11773 W	/ater	Closed	Manhole/Vault	13.7	5 NE-SV	V 8"		7.53	9.44		7.53																			
11825 St	torm	Open	CatchBasin	13.27	7 W	8"	VCP			10.12	10.07	10.32																		
11843 W	/ater	Open	Manhole/Vault	13.62	2 N-S	24"	DI		10.62		9.57																			
11897 St	torm	Open	CatchBasin	14.00	6 NE	8"	VCP			9.87		10.88	S	8"	VCP 9.	.66														
12079 St		Open	CatchBasin	6.41																										
12092 SI		Upen		6.36	CIVI	6 "					7 7 2	<u>ç</u> 71																		
				1.00		y					r.20	V. (1	<u>I</u>			l		<u> </u>	<u> </u>	I	<u> </u>		I	l	1		<u> </u>			<u> </u>

2022 - 1:36am 8\18-186 CHA Cabrini Site 1\Design\Site\Drawings\C0.2 Existing Conditions Plan.dwg

ARRABEE MOLITION ee Street Chicago, IL. 60610	1450 N. L DE 1450 N Larrab	Notes	Invert Elevation	7 Type	Invert Diameter	on
Client						
OMPANIES			6.55	VCP	6"	
HICAGO, IL 60611	960 N MICH	No pipes visible				
		NO PIPES VISIBLE				
		Full of Water - No pipes visible				
		Pipes not visible				
		No pipes visible Full of Debris - No pipes visible				
		No pipes visible - pipe under debris				
		Car parked over manhole lid				
	.	No pipes visible - pipe under debris				
ENGINEERING LTD. eet - Suite 400; Chicago, IL 60654 312-467-0123 (F) 312-467-0220	225 W Ohio Str (T)	No pipes visible				
		No pipes visible				
		No pipes visible				
		No pipes visible Full of debris - No pipes visible				
		Full of Debris				
		No pipes visible				
		Full of water				
		Full of debris - No pipes visible				
		No pipes visible				
		Full of debris - No pipes visible Full of debris - No pipes visible				
		No pipes visible				
		Full of Debris/Concrete - No pipes visible				
Revisions						
Issue DWM Plan Amendmen	Date 10.11.22					
		Full of Debris - No pipes visible				
		No pipes visible Full of Debris - no pipes visible				
		No pipes visible				
		, , , , , , , , , , , , , , , , , , ,				
Stamp		No valve				
		Manhole completely under water				
		Manhole completely under water Full of debris				

EXISTING MANHOLE INFORMATION

Oct 08, 2022 — 1:56am M:_2018\18—186 CHA Cabrini Site 1\Design\Site\Drawings\C1.0 Site Demolition Plan.dwg KatherineK

 Date
 Issue

 10.11.22
 DWM Plan Amendment

 10.11.21
 DWM Plan Amendment

 10.11.22
 DWM Plan Amendment

 10.11.21
 DWM Plan Amendment

 10.11.22
 DWM Plan Amendment

 10.11.21
 DWM Plan Amendment

 10.11.22
 DWM Plan Amendment

 10.11.21
 DWM Plan Amendment

Sheet No.

PROPERTY LINE

 \downarrow excavate as required to remove existing pavement base and clear \langle AND GRUB LANDSCAPE AREAS. BACKFILL WITH COMPACTED ENGINEERED FILL AS REQUIRED TO MEET NEW GRADES. PROVIDE 8" MIN TOP SOIL TO FINISH GRADE

EXCAVATE TO REMOVE ALL BELOW GRADE IMPROVEMENTS INCLUDING ALL FOUNDATIONS, SLABS AND UTILITIES WITHIN THE BUILDING FOOTPRINT. COMPACT AND PROOFROLL SUBGRADE PER THE GEOTECHNICAL REPORT. BACKFILL WITH ENGINEERED FILL AS REQUIRED TO MEET NEW GRADES. PROVIDE 8" MIN TOPSOIL TO FINISH GRADE

SITE GRADING AND BACKFILL NOTES:

 CONTRACTOR SHALL PROVIDE IMPORTED ENGINEERED FILL AS REQUIRED TO MEET NEW GRADES. PROVIDE ENGINEERED BACKFILL AS REQUIRED TO MEET DESIGN SUBGRADE ELEVATION PRIOR TO BACKFILL. ENGINEERED BACKFILL SHALL CONSIST OF EITHER CA-1, CA-7, OR CA-6. CA-1 BACKFILL MUST BE CAPPED WITH 1' OF CA-7 PRIOR TO PLACEMENT OF TOPSOIL. ALL ENGINEERED FILLS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY. PRIOR TO PLACEMENT OF ENGINEERED FILLS, THE EXISTING SUBGRADE MUST BE COMPACTED AND APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER.

2. ALL EXCAVATIONS SHALL COMPLY WITH OSHA AND THE CITY OF CHICAGO. MAXIMUM SIDE SLOPE FOR OPEN CUT EXCAVATIONS SHALL BE 1.5' HORIZONTAL TO 1.0' VERTICAL.

DEWATER EXCAVATIONS AS REQUIRED. ALL DEWATERING OPERATIONS MUST COMPLY WITH CDWM AND MWRD REQUIREMENTS FOR DISCHARGE.

 NATURAL SOILS MEETING REQUIREMENTS OF RESPECTIVE ON SITE TESTING AGENCIES MAY BE STOCKPILED AND REUSED FOR FUTURE APPLICATIONS. STOCKPILING AND REUSE OF EXCAVATED NATURAL SOILS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CITY OF CHICAGO REQUIREMENTS.

 PROVIDE REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES WHEN STOCKPILING EXISTING SOILS. CONTRACTOR TO PROVIDE PROTECTION FOR ALL RIGHTS-OF-WAY ADJACENT TO THE PROJECT.

8. PER SOIL BORINGS AS PART OF GSG PHASE II ESA, GROUNDWATER WAS NOT ENCOUNTERED AT SOIL BORINGS TO 15' BELOW EXISTING GRADE.

9. COORDINATE EARTHWORK ACTIVITIES WITH ALL SPECIFICATIONS.

1450 N. LARRABEE DEMOLITION

1450 N Larrabee Street Chicago, IL. 60610

Client

HUNT COMPANIES 980 N MICHIGAN, SUITE 1150 CHICAGO, IL 60611

Project Team

Revisions

 Date	Issue
 10.11.22	DWM Plan Amendment
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SITE CROSS SECTIONS

> Sheet No C2.2 TERRA Project No. XX-XXX

1450 N. D 1450 N Larra HUNT C 980 N MIC	LARRABEE DADLIDON abee Street Chicago, IL. 60610 Client COMPANIES HIGAN, SUITE 1150 CHICAGO, IL 60611
Z25 W Ohio	
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Sheet No. C2.3

TERRA Project No. XX-XXX

Oct 08, 2022 – 1:59am M:_2018\18-186 CHA Cabrini Site 1\Design\Site\Drawings\C2.1 Site Grading and Drainage Plan.dwg KatherineK 14.34 14.00

14.36 × 2

TERRA Project No. XX-XXX

DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SCALE: 1" = 20' DATE: OCTOBER 11, 2023 ORDERED BY: OVC Prepared by: PROFESSIONALS ASSOCIATED Construction Layout & Survey Co. Ltd. 7100 N. Tripp Ave. Lincolnwood, IL. 60712 (847) 675-3000 PA@PROFESSIONALSASSOCIATED.COM

LEGEND: POINT × ELEVATION DESCRIPTION

SITE TOPOGRAPHY NEAR NORTH HIGH SCHOOL DEMOLITION 1450 N LARRABEE CHICAGO, ILLINOIS.

BASED OFF: C2.1 Site Grading and Drainage Plan.dwg DATED 2023.08.31 G0.0 DATED 2020.01.20 C0.2 DATED 2020.01.20 NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THESE RECORD DRAWINGS AS A RESULT OF INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES IN THE FIELD THAT WERE DIRECTED BY OTHERS.

CLYBORN BASIN AS-BUILT STORAGE PROVIDED

Clyborn Basin Volume Table									
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)						
6.00	3396	N\A	0						
6.50	12382	3,710	3,710						
7.00	20750	8,193	11,904						
7.50	32,977	13,314	25,218						
7.74	38,510	8,570	<mark>33,788</mark>						

NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THESE RECORD DRAWINGS AS A RESULT OF INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES IN THE FIELD THAT WERE DIRECTED BY OTHERS.

LARRABEE BASIN AS-BUILT STORAGE PROVIDED

Larrabee Basin #1 Volume Table								
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)					
11.27	2.89	N\A	0					
11.50	690	57	57					
12.00	4367	1,132	1,189					
12.11	5,444	539	1,727					

Larrabee Basin #2 Volume Table								
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)					
11.38	2.89	N\A	0					
11.50	249	11	11					
12.00	2459	582	593					
12.11	3,245	313	906					

Larrabee Basin #3 Volume Table									
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)						
11.48	2.89	N\A	0						
11.50	4.07	0	0						
12.00	1529	269	269						
12.11	2,273	208	476						

Larrabee Basin #4 Volume Table									
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)						
11.02	2.89	N\A	0						
11.50	1121	189	189						
12.00	3789	1,162	1,351						
12.11	4,611	461	1,812						

Larrabee Basin #5 Volume Table							
Contour Elevation (ft)	Contour Area (sq. ft)	Conic Incremental Volume (cu. ft)	Conic Cumulative Volume (cu. ft)				
11.32	2.89	N\A	0				
11.50	203	14	14				
12.00	1675	410	424				
12.11	2,202	213	637				

Total Larrabee Basin Volume Provided =	5,558 CF

LARRABEE PIPE & STRUCTURE AS-BUILT STORAGE PROVIDED

Stormwater Pipes				
Length	Diameter	Volume		
(ft)	(in)	(CF)		
72	6	14.13		
328	8	114.47		
Total		128.61		

Stormwater Structures

Structure Label	Diameter (ft)	RIM (CCD)	HWL (CCD)	Bottom of Flat Top (RIM - 18")	Bottom of Conical Section (RIM-2'-10")	Invert	Barrel Volume (CF)	Total Volume (CF)
CB-1	4.0	11.27	12.11	9.77	N/A	9.32	5.65	8.45
CB-2	4.0	11.38	12.11	9.88	N/A	9.73	1.88	4.68
CB-3	4.0	11.48	12.11	9.98	N/A	8.78	15.07	17.87
CB-4	4.0	11.02	12.11	9.52	N/A	8.20	16.58	19.38
CB-5	4.0	11.32	12.11	9.82	N/A	9.05	9.67	12.47
CB-6	4.0	13.35	12.11	N/A	10.52	5.44	63.76	66.56
Total								129.42

Pipe & Structure Volume Provided

258 CF

5,816 CF

TOTAL Larrabee Storage Volume Provided

NOTE: THESE RECORD DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR. TERRA ENGINEERING LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED IN THESE RECORD DRAWINGS AS A RESULT OF INFORMATION SUPPLIED BY OTHERS OR ANY CHANGES IN THE FIELD THAT WERE DIRECTED BY OTHERS.

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395 ── ₩ ── ~MH-2396 ── १º¨	30' 0 Scale	^{15'} ^{30'} ^{60'} e: 1 inch = 30 ft. SILT FENCE CONSTRUCTION FENCE	
BLT FH		FURNISH AND INSTALL INLET/CATCH BASIN FILTER STABILIZED CONSTRUCTION ENTRANCE LANDSCAPE AREA. SEE SPECIFICATIONS, COORDINATE WITH C2.0	1450 N. LARRABEE DEMOLITION 1450 N Larrabee Street Chicago, IL. 60610
			Client HUNT COMPANIES 980 N MICHIGAN, SUITE 1150 CHICAGO, IL 60611
<u>W/ CLSD LID,</u> P, & 4.76" REST. 8.03 6.67 NVn 6.74 NVs 6.88			
3.61 Ve ±6.40 (VIF)			
FURNISH AND INSTALL INLET/CATCH BASIN FILTER (TYP)			Project Team
CONSTRUCTION FENCE (TYP)			TERRAENGINEERING LTD.225 W Ohio Street - Suite 400; Chicago, IL 60654(T) 312-467-0123 (F) 312-467-0220
SILT FENCE (TYP)			
PROVIDE GATED CONSTRUCTION ENTRANCE ,s 4.48			
3 D LID			
4.00 ±4.00			
			Date Issue 10.11.22 DWM Plan Amendment 10.11.21 DWM Plan Amendment
			Stamp
			Title SITE EROSION AND SEDIMENTATION CONTROL PLAN

Sheet No. C2.4 TERRA Project No. XX-XXX

Sheet No. C3.0 TERRA Project No. XX-XXX

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Title

Client

Oct 08, 2022 — 2:01am M:_2018\18—186 CHA Cabrini Site 1\Design\Site\Drawings\C4.0 O&M Plan.dwg KatherineK

OWNER INFORMATION & EMPLOYEE TRAINING:

THE PEOPLE REPRESENTED BELOW ARE INVOLVED WITH AND RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE (O&M) OF THE STORMWATER DETENTION FACILITIES AS OUTLINED HEREIN.

- 1. PROPERTY OWNER LISTED BELOW SHALL BE RESPONSIBLE FOR OVERSEEING AND ENSURING PROPERTY O&M IS CARRIED OUT AND PERFORMED AS DOCUMENTED HEREIN. JAMES L BEBLEY 312.742.8500
- 2. THE HEAD OF FACILITIES LISTED BELOW SHALL BE RESPONSIBLE FOR PERFORMING THE O&M DOCUMENTED HEREIN. HE/SHE SHALL ASSIGN RESPONSIBILITY FOR O&M OF ALL ONSITE BMPS (BEST MANAGEMENT PRACTICES) AND SHALL CONDUCT TRAINING SO THAT THESE INDIVIDUALS ARE AWARE OF PROPER INSPECTION AND O&M. TRAINING SHALL OCCUR WITHIN ONE MONTH OF CONSTRUCTION COMPLETION AND/OR BUILDING OCCUPANCY IN ORDER TO MAKE ALL PERSONNEL FAMILIAR WITH THE COMPONENTS OF THE O&M PLAN AND THEIR PERSONAL LEVEL OF RESPONSIBILITY. <u>WILLIAM LITTLE 312.470.1125</u>

O&M PRACTICES AND IMPLEMENTATION SCHEDULE:

INFORMATION IN THIS SECTION OUTLINES THE SPECIFIC INSPECTION AND MAINTENANCE REGIMEN FOR EACH BMP (BEST MANAGEMENT PRACTICE) AND MUST COMPLY WITH THE FOLLOWING:

- O&M PLAN PROCEDURES AND PRACTICES MUST BE REVIEWED AND ASSESSED ANNUALLY.
 ACCESS ROUTES INCLUDING ROADWAYS AND SIDEWALKS MUST BE REVIEWED AND ASSESSED ANNUALLY.
- DRAINAGE STRUCTURES AND FLOW RESTRICTORS MUST BE INSPECTED AND CLEANED SEMI-ANNUALLY.
 VOLUME CONTROL BMPS SHALL BE INSPECTED SEMI-ANNUALLY AND AFTER SIGNIFICANT RAINFALL EVENTS EXCEEDING 1.5 INCHES.
 THE CITY REQUIRES THAT PROPERTY OWNERS KEEP AN O&M INSPECTION AND MAINTENANCE LOGBOOK. IN GENERAL, THE LOGBOOK SHOULD NOTE ALL INSPECTION DATES, FACILITY COMPONENTS INSPECTED, AND ANY MAINTENANCE PERFORMED AND REPAIRS MADE. ALL INSPECTIONS AND MAINTENANCE, BOTH ROUTINE AND EMERGENCY, SHOULD BE RECORDED IN THE LOGBOOK. EACH BMP-SPECIFIC O&M SHEET SHOULD SERVE AS A CHECKLIST FOR DESIGN ELEMENTS THAT REQUIRE INSPECTION, THE FREQUENCY OF INSPECTIONS, AND CONDITIONS THAT INDICATE MAINTENANCE IS NEEDED. LOG BOOKS MUST BE PRODUCED UPON THE REQUEST OF A CITY INSPECTOR.
- VEGETATION SHALL BE MAINTAINED ON A REGULAR BASIS.
 PEST CONTROL MEASURES SHALL BE IMPLEMENTED TO ADDRESS INSECTS AND RODENTS.

 SIGNAGE AND FENCING SHALL BE INSTALLED AND MAINTAINED WHERE NECESSARY TO PROTECT PROPERTY AND THE PUBLIC
 UNDERGROUND VAULTS MUST INCLUDE DESIGN MEASURES TO FACILITATE CLEANING AND MAINTENANCE. CONFINED SPACE SAFETY PROCEDURES MUST BE FOLLOWED.

DRAINAGE SWALES 1. AS NEEDED/ONGOING

- MOW AND TRIM VEGETATION TO ENSURE SAFETY, AESTHETICS, PROPER SWALE OPERATION, OR TO SUPPRESS WEEDS AND INVASIVE VEGETATION; MOW ONLY WHEN SWALE IS DRY TO AVOID RUTTING.
 RE-SEED BARE AREAS; INSTALL APPROPRIATE EROSION CONTROL MEASURE WHEN NAIVE SOIL IS EXPOSED OR EROSION CHANNELS ARE FORMING.
- PLANT ALTERNATIVE GRASS SPECIES IN THE EVENT OF UNSUCCESSFUL ESTABLISHMENT.
 REMOVE LITTER.
- 1.5. CLEAR OBSTRUCTIONS AND REPAIR ANY CHANNELIZATION NEAR CHECK DAMS (IF APPLICABLE)
- ONCE PER YEAR
 INSPECT AND CORRECT EROSION PROBLEMS, DAMAGE TO VEGETATION, SEDIMENT AND DEBRIS ACCUMULATION, AND POOLS OF STANDING WATER.
 INSPECT FOR UNIFORMITY IN CROSS-SECTION AND LONGITUDINAL SLOPE, CORRECT AS NEEDED.

DETENTION BASINS

- 1. AS NEEDED/ONGOING
- SEDIMENT SHOULD BE REMOVED FROM THE BASIN AS NEEDED (AT LEAST ONCE EVERY 5 TO 10 YEARS)
 QUARTERLY
 INSPECT INLET PIPE(S) AND OUTLET CONTROL STRUCTURE FOR CLOGGING AFTER EVERY STORM GREATER THAN ONE INCH
 - 2.2. REMOVE TRASH AND DEBRIS2.3. REMOVE INVASIVE PLANTS
 - 2.3. REMOVE INVASIVE PLANTS
 2.4. GRASSED AREAS ALSO REQUIRE PERIODIC PRUDENT FERTILIZING, DETHATCHING, AND SOIL CONDITIONING
 2.5. TREES, SHRUBS, AND OTHER VEGETATIVE COVER WILL REQUIRE PERIODIC MAINTENANCE SUCH AS FERTILIZING, PRUNING, AND PEST CONTROL
 2.6. MOM/TRIM DETENTION PASIN VECETATION
- 2.6. MOW/TRIM DETENTION BASIN VEGETATION
 3. ONCE PER YEAR
 - 3.1. INSPECT DETENTION BASIN, POTENTIAL PROBLEMS INCLUDE: SUBSIDENCE, EROSION, CRACKING OR TREE GROWTH ON THE EMBANKMENT; DAMAGE TO THE EMERGENCY SPILLWAY; SEDIMENT ACCUMULATION AROUND THE OUTLET; INADEQUACY OF THE INLET/OUTLET CHANNEL EROSION CONTROL MEASURES; CHANGES IN THE CONDITION OF THE PILOT CHANNEL; AND EROSION WITHIN THE BASINS AND BANKS

OPERATION AND MAINTENANCE PLAN OWNER'S CERTIFICATION STATEMENT:

PROPERTY NAME: XXXX

PROPERTY ADDRESS: 1450 N. LARRABEE AS THE OWNER(S) OF THE SUBJECT PROPERTY, BY SIGNING THIS DOCUMENT, I/WE ACKNOWLEDGE THAT I/WE HAVE RECEIVED AND REVIEWED THE OPERATION AND MAINTENANCE PLAN, DATED DECEMBER 31, 2019, AND UNDERSTAND ITS CONTENTS. (AS REQUIRED BY THE STORMWATER MANAGEMENT ORDINANCE, SECTION 11-18-030).

IN THE EVENT THAT I/WE WERE TO SELL THIS PROPERTY, I/WE AGREE TO GIVE A COPY OF THE PLAN TO THE NEW OWNER(S) AND THIS OWNER'S CERTIFICATION STATEMENT FOR SIGNATURE. THIS SIGNED CERTIFICATION STATEMENT MUST BE SUBMITTED TO THE CITY'S DEPARTMENT OF BUILDINGS UPON TRANSFER OF OWNERSHIP.

I/WE FURTHER AGREE TO ADHERE TO THE MAINTENANCE SCHEDULE OF BEST MANAGEMENT PRACTICES STIPULATED IN THE PLAN. I/WE ALSO ACKNOWLEDGE THAT IF I/WE DON'T MAINTAIN THE MEASURES AS SHOWN IN THE PLAN, UPON CITY INSPECTION, I/WE COULD BE LIABLE FOR A VIOLATION OF THE CITY'S MUNICIPAL CODE (ACCORDING TO STORMWATER MANAGEMENT ORDINANCE SECTION 11-18-130). Chicago Housing Authority

> OFFICIAL SEAL ROSE M ALLEN NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES:05/17/21

INITIAL OWNER(S) PRINTED NAME A10-2020 fore M.alle

hief Executi	ve Officer
DATE	NOTARY PUBLIC
	DATE

3RD OWNER(S) PRINTED NAME

INITIAL OWNER(S) SIGNATURE DATE NOTARY PUBLIC

NOTES:

1. THE SITE MAP HEREIN OUTLINES THE LOCATION OF ALL BMPs (BEST MANAGEMENT PRACTICES), STORMWATER MANAGEMENT FACILITIES, THAT SHALL BE PROPERLY MAINTAINED AS OUTLINED HEREIN.

1450 N. I DE 1450 N Larral	LARRABEE EMOLITION bee Street Chicago, IL. 60610
HUNT C 980 N MICH	Client OMPANIES IIGAN, SUITE 1150 CHICAGO, IL 60611
	Project Team
225 W Ohio S (T	CIVIL ENGINEER TERRA ENGINEERING LTD. treet - Suite 400; Chicago, IL 60654 T) 312-467-0123 (F) 312-467-0220
Date	Revisions
	Stamp

Q. Bribery, Price Fixing, or Fraud

No person or business entity shall be awarded a contract or subcontract for a period of five years from the date of conviction or entry of a plea or admission of guilt, if that person or business entity:

- 1. has been convicted of an act committed of bribery or attempting to bribe an officer or employee of a unit of state or local government or school district in that officer's or employee's official capacity; or
- has been convicted of an act of bid-rigging or attempting to rig bids as defined in the Sherman Anti-Trust Act and Clayton Act (15 U.S.C. §1 <u>et seq</u>.), or under the laws of the State of Illinois; or has been convicted of an act of price-fixing or attempting to fix prices as defined by the Sherman Anti-Trust Act (15 U.S.C. §1 <u>et seq</u>.) or under the laws of the State of Illinois; or
- 3. has been convicted of defrauding or attempting to defraud any unit of state or local government or school district; or
- 4. has made an admission of guilt of such conduct as set forth in subparagraph 1 through 3 above, which admission is a matter of record, whether or not such person or business entity was subject to prosecution for the offense or offense admitted to; or
- 5. has entered into a plea of nolo contendere to charges of such conduct, as is set forth in subparagraphs 1 through 3 above.

For purpose of the Paragraph, "business entity" means a corporation, partnership, trust, association, unincorporated business or individually owned business. Where an official, agent or employee of a business entity committed the acts as set forth in subparagraphs 1 through 5 above on behalf of such entity and pursuant to the direction or authorization of a responsible official thereof, the business entity shall be chargeable with the conduct and be disqualified.

A business entity shall also be disqualified if it employs as an officer any individual who was an officer of another business entity at the time the latter committed a disqualifying act as set forth in subparagraphs 1 through 5 above.

A business entity shall also be disqualified if any owner directly or indirectly controls 20% or more of the business entity and was an owner who directly or indirectly controlled 20% of another business entity at the time, such business entity committed a disqualifying act as set forth in subparagraphs 1 through 3 above.

Any contract found to have been awarded in violation of this Paragraph may be voided at the discretion of CHA.

ARTICLE V SUBMITTAL REQUIREMENTS

A. Format

Respondents shall present their proposals as a firm offer which, if accepted by CHA in its entirety, shall be binding between the parties. Electronic responses submitted via the CHA Supplier Portal at https://supplier.thecha.org only require one (1) complete proposal. The Respondents must also include an indexed version of each submittal section of the electronic proposal shall be formatted, labeled and separated into a different file.

Note: There is <u>no</u> maximum file capacity size when uploading attachments in the Supplier Portal. *If you receive an error message that states the "Maximum size is: 50" while uploading an attachment in the Supplier Portal, that error message is referring to the file naming size. The name of your file cannot be more that 50 characters.*

Proposals not containing all the submittal requirements (See Attachment B – Vendor Submission Checklist) may be deemed non-responsive to this RFP.

B. <u>Cover Letter and Executive Summary Form</u>

A cover letter shall be submitted on the Respondent's letterhead, signed by a principal and the joint venture partner, if applicable. The cover letter must contain a plan explaining how services will be performed; a commitment to provide the services described in the Scope of Services of this RFP; and indicate that the offer is good for one hundred-eighty (180) days from submittal of proposal. In the cover letter, the Respondent shall also include an acknowledgement that the Respondent has read and understands the requirements of the RFP including, but not limited to, the terms and conditions of the attached Professional Services Agreement (refer to Attachment D), CHA's contract requirements, Insurance and Indemnification requirements, and will comply with these requirements if awarded a contract. Proposers and Bidders shall also include the Executive Summary Form (Article X).

C. <u>Qualifications and Experience</u>

Due to the nature and scope of this development effort, CHA expects that the selected Respondent will have a diverse team with significant experience with projects with similar scale in the following areas:

- 1. Lead Respondent (Developer) has a minimum of five (5) years' experience in planning and implementing mixed-use mixed-income development initiatives that integrate former public housing development sites into the surrounding cultural and urban community fabric while providing both rental and homeownership opportunities.
- 2. Lead Architectural firm has a minimum of five (5) years' experience in large-scale site planning and architectural design services for a variety of building designs/types, and landscape design. The firm should have experience leading large, multi-disciplinary teams including teams that have experience planning, designing, and building mixed-income communities.
- 3. Property Management firm has a minimum of five (5) years' experience servicing all income levels, specifically experience in administering HUD and/or other publicly-funded housing programs managing mixed-income developments, and expert managing the associated compliance and reporting requirements. This experience should also include associated asset management expertise for the long-term operation of the site.

Given the significant importance of this project, the CHA reserves the sole discretion to remove the selected Developer(s), Architect, Property Management Firm, General Contractor, or any other partners in the event of underperformance, failure to meet deadlines, or actions that pose material risks to the project's success.

The Respondent shall submit a narrative outlining its Qualifications and Experience as defined in the evaluation criteria including the following information: (1) the legal name of the firm, (2) a

description of the primary area of expertise of the firm, (3) the names of the firm's principal(s), (4) the address, telephone number and names of individuals to be contacted, (5) the size of the enterprise, (6) all of the firm's registration/license numbers(s) in Illinois, (7) the length of time the firm has worked in its area of expertise generally, and (8) the firm may submit a general brochure of their work.

D. Approach/Work Plan

The Respondent must provide materials and documents including the following:

- 1. A development project narrative description that outlines its development vision with details on its proposed unit count, income mix, number of rental and for-sale housing units, preliminary unit mix, variation of building types, projected phasing, and any other site amenities.
- 2. Schematic site plans with landscape, parking spaces/areas, traffic plans, schematics, renderings, and elevations of the potential architectural design of the various building types, and initial floor plans. A City of Chicago Planned Development Zoning Code Analysis form is highly recommended to be completed and submitted (Exhibit VI).
- 3. The Respondent must provide financing scenarios that include at a minimum the following for the rental and homeownership components:
 - a. development budget detailing proposed deal structuring,
 - b. proposed sources and uses, debt and debt ratio, per unit costs, total development costs (TDC),
 - c. developer compensation structure,
 - d. proposed ownership structure(s),
 - e. permanent and construction budgets
 - f. developer compensation structure
 - g. a timeline for securing the projected funding sources, and 20-year operating Proforma.
- 4. A narrative of the CHA Return on Investment with a completed ROI Form. Responses under this Solicitation will be rated and scored in part upon the strength of a conceptual approach to structuring such a return on investment and revenue sharing, and its consistency with the long-term affordability of the proposed undertaking.
- 5. A Management Plan to demonstrate the strategies to achieve and maintain a mixed-income community and provide a quality living environment, including how it will address leasing, occupancy, grievance procedures, maintenance, and security.
- 6. A Community & Supportive Plan for funding and providing supportive services to support CHA families and promote ongoing participation by residents of all income levels in the new development in community activities.
- 7. Project schedule with high-level milestones regarding the various tasks and timing necessary to complete the entire proposed redevelopment.

8. A description of the information needed to complete the Scope of Work/Statement of Work if selected, the greatest challenges that may be anticipated with the proposed Scope of Work/Statement of Work, and the proposed strategies to address these issues.

E. <u>Work History with CHA and other Local Public Agencies</u>

The Respondent must list and briefly describe any past work history with CHA and other Local Public Agencies, including the specific project worked on or the specific products delivered to CHA. The project descriptions shall include, at a minimum, the scope of work performed, the location, dollar value, and list the Respondent's key personnel on the project. For each project listed, the Respondent shall provide the client's name, the contact person and their title, address and phone number. Indicate **N/A** if Respondent does not have any work history with CHA and other Local Public Agencies.

F. Past Performance

The Respondent must submit between three (3) and five (5) project descriptions that best demonstrate its capability to perform the proposed Scope of Services and corresponding Statement of Work. Each project description should include, at a minimum, the following details:

- Scope of work and date performed
- Location and brief description of the site
- Gross value at project completion and financial structure
- Ownership chart and development partner list (at least, should include the developer, architect, general contractor, lender/funding provider, and other main roles)
- Timeline (at least, should include the solicitation and selection, key financial resources application and award process, building permit process, closing, construction commencement and completion, leasing-up process, and permanent loan closing)
- Brief description of the environmental work
- Identification of the Respondent's key personnel involved in the project
- Lease commencement dates and the dates to achieve 50%, and 95% occupancy; Occupancy Rates, and Rent Collection Rates for the past three years. If the completed projects are less than three years old, provide the data from the lease commencement date to the present
- Summary of the Management Plan & Community Supportive Service Plan
- Client's name, contact person, title, address, phone number, and email address

The Respondent is encouraged to provide comprehensive information about the processes used to complete these projects, as well as evidence of experience in developments using various financial tools such as LIHTC and TIF, Restore-Rebuild (formerly as Faircloth-to-RAD) or RAD PBV transactions, large urban site developments over multiple phases, mixed-income developments, developments based residential/community engagement, including both rental and for-sale units.

G. <u>References</u>

Proposers are required to provide at least three (3) references, excluding CHA, from within the past three (3) years for projects and areas of responsibility similar to those the Respondent desires to provide herein. Please include company name, contact person, mailing address, telephone number and email address. Please include a brief but detailed explanation of services

provided and submit with your proposal. CHA will email any questions to the references included in your submission. Please inform your references that they will be contacted by CHA. (Attachment C)

H. Organization Structure and Key Personnel

- 1. The Respondent must provide an organization/structure chart and include its key technical and consulting personnel who will be assigned to the CHA project team along with their resumes. If a Respondent plans to form a joint venture or subcontract with other companies, the organizational chart must reflect these relationships.
- 2. The Respondent must provide the names and resumes of the principals and program executives from the Developer (s), Architect, Urban Planner, and Property Management Firm who will be accountable for the CHA project. The resumes should detail each individual's education, technical training, and relevant work experience.
- 3. Key Personnel shall not be replaced without the prior written approval of the CHA. In the event that a developer member of the development team or joint venture withdraws or is otherwise no longer involved in the project, the CHA reserves the right to determine if this change constitutes a material alteration to the proposal. If the change is deemed material, CHA may, at its sole discretion, require a new solicitation process or take other actions deemed necessary to ensure the success and integrity of the project.

I. Insurance Requirements

The Respondent must submit a current certificate of insurance in the form required by this RFP. At the time of contract award, the Selected Respondent shall be required to provide an updated certificate of insurance, and all required endorsements adding CHA and any other required party as an additional insured, meeting the CHA's minimum insurance requirements.

J. <u>Joint Venture Agreement</u>

Firms entering into a joint venture must submit a copy of its joint venture agreement and all required submittals must be signed by a principal of each joint venture partner including, but not limited to, subcontractors' information submittals, and MBE/WBE/DBE and Section 3 Utilization Plans. Indicate **N/A** if Respondent will not be part of a joint venture agreement.

K. <u>Liens, Suits, Disputes, Defaults and Judgments</u>

Respondents shall include a detailed description of any disputes they currently are involved in, as well as, a complete list of any lawsuits, disputes, defaults and judgments occurring within the last five (5) years, and all current liens, lawsuits, disputes, defaults, and judgments pending including Fair Housing claims, regulatory or tax credit violations. Indicate N/A if Respondent does not have any disputes, lawsuits, judgments, disputes, defaults or liens described above.

L. <u>Audit Findings and Other Compliance Reports/Evaluations</u>

Respondents shall submit to CHA's Department of Procurement and Contracts any third party reports or evaluations of Respondent's compliance with any applicable laws, rules, regulations, policies procedures, contract provisions, or requirements with respect to Respondent's

performance of services similar in nature to those being solicited by this RFP in the past five years, including, but not limited to, any and all final findings made by an Office of the Inspector General ("OIG") or Internal Auditor (including those conducted by CHA's Inspector General and/or CHA's Internal Auditor) with respect to Respondent's performance of services, compliance with terms of a contract, findings in an Administrative or Internal Investigation, or any findings of failure to cooperate in an OIG inquiry or with Internal Auditors. Indicate **N/A** if Respondent does not have any findings described above.

M. <u>Debarment Statement</u>

Respondent shall submit a statement that the Respondent, its joint venture partner, if applicable, its subcontractors, vendors and staff are not debarred, suspended or otherwise prohibited from conducting business with any Federal, State or local agency.

N. Economic Disclosure Statement

Respondents must complete the economic disclosure statement and affidavit. The economic disclosure forms must be completed by the Respondent and all subcontractors in its entirety and notarized. Privately held firms and not-for-profit organizations must disclose the board of directors/corporate officers. All firms must disclose the percentage of ownership. Failure to provide complete ownership information may cause your response to be deemed non-responsive.

O. <u>Financial Information</u>

The Respondent/Financially Responsible Party shall demonstrate its financial responsibility by submitting the most recent two years of audited, reviewed or compiled financial statements prepared by a third party licensed Certified Public Accountant (CPA). Listed below are the minimum acceptable required documents based upon the amount of the procurement:

The Respondent must provide Financial Statements, which are compiled, reviewed and/or audited as defined below (which may be subject to different levels depending upon the Respondent's proposal and the projected contract value of the award), and which consist of:

- Accountant's Report
- Balance Sheet (last 2 years)
- Income Statement (last 2 years)
- Cash Flow Statement (last 2 years)
- Financial Statement Footnotes (if applicable)

For proposals or contracts awards valued at less than \$500,000, the Respondent must provide the IRS tax transcript.

For proposals or contract awards valued at less than \$1,000,000 the Respondent must provide complied financial statements.

For proposals or contract awards valued at less than \$2,500,000.00, the Respondent must provide reviewed financial statements.

For proposals or contract awards valued in excess of \$2,500,000.00, the Respondent must provide audited financial statements.

CHA will also evaluate the respondents based upon analysis of third-party reporting agencies, regulatory agencies, bureaus, etc., as it deems necessary to determine the financial adequacy of the respondent entity and confirm that the entity is in good financial standing with governmental agencies.

Other considerations in the evaluation of the financial condition of Respondents follow:

- Financial statements must be from a legal business entity (i.e., corporation, partnership, LLC, etc.). The entity name and address listed on the Financial Report should match the address on file with Dun & Bradstreet report in order for CHA to perform financial review.
- If respondent is not able to provide the Financials 6 months after their fiscal year end, respondents should provide the reason for delay or non-completion.
- Newly created entities (partnerships, LLC's, etc.) must provide financial statements from the entity's general partner and/or any other financially responsible entity that collectively can demonstrate the capability to complete the contract.
- Internally prepared business entity financial reports generated by the respondent will not be accepted.
- Personal financial statements or tax returns will not be accepted.
- CHA reserves the right to request Dun & Bradstreet reports in order to make an award determination. Vendors must provide the address on file with Dun & Bradstreet if it differs from the address listed on the proposal.
- CHA reserves the right to request additional information to complete the financial evaluation and review of any respondents.

P. <u>Vendor Submission Checklist</u>

Refer to Attachment B for all required submittal requirements. The following documents are exhibits to this RFP and can be found at <u>www.thecha.org/doing-business</u>:

- A. Contract Compliance Certification
- **B.** Letter of Intent-MWDBE and Section 3 Subs
- C. Waiver Request-M/W/DBE (If Applicable)
- **D.** Submittal Requirements Checklist
- E. Contractor's Affidavit
- F. Statement of Bidder's Qualification
- G. Economic Disclosure Statement
- H. HUD Form 5370 or 5370-C
- I. HUD Form 5369

Proposals not containing all submittal requirements may be deemed Non-Responsive.

ARTICLE VI INSURANCE REQUIREMENTS

Insurance is applicable to All Contracts as approved by CHA Risk Management.

The Contractor shall furnish the Chicago Housing Authority (CHA) with satisfactory evidence (subject to approval from CHA) that it has the following insurance coverage(s). When indicated below, * coverages are required of any vendor delivering equipment, accessing the building, installing/repairing equipment in CHA offices.