

# ID # 10511

**CCD Data:**

Packet Description: N/A (Illinois Number if applicable)

Original Source: ROLL (Black Binders, Grey file, etc)

Property Name: LOOMIS COURTS FAMILY DEVELOPMENT  
GENERAL REHABILITATION

Address: 1342 WEST 15TH STREET

11-30-06

# CHANCE

## CHICAGO HOUSING AUTHORITY

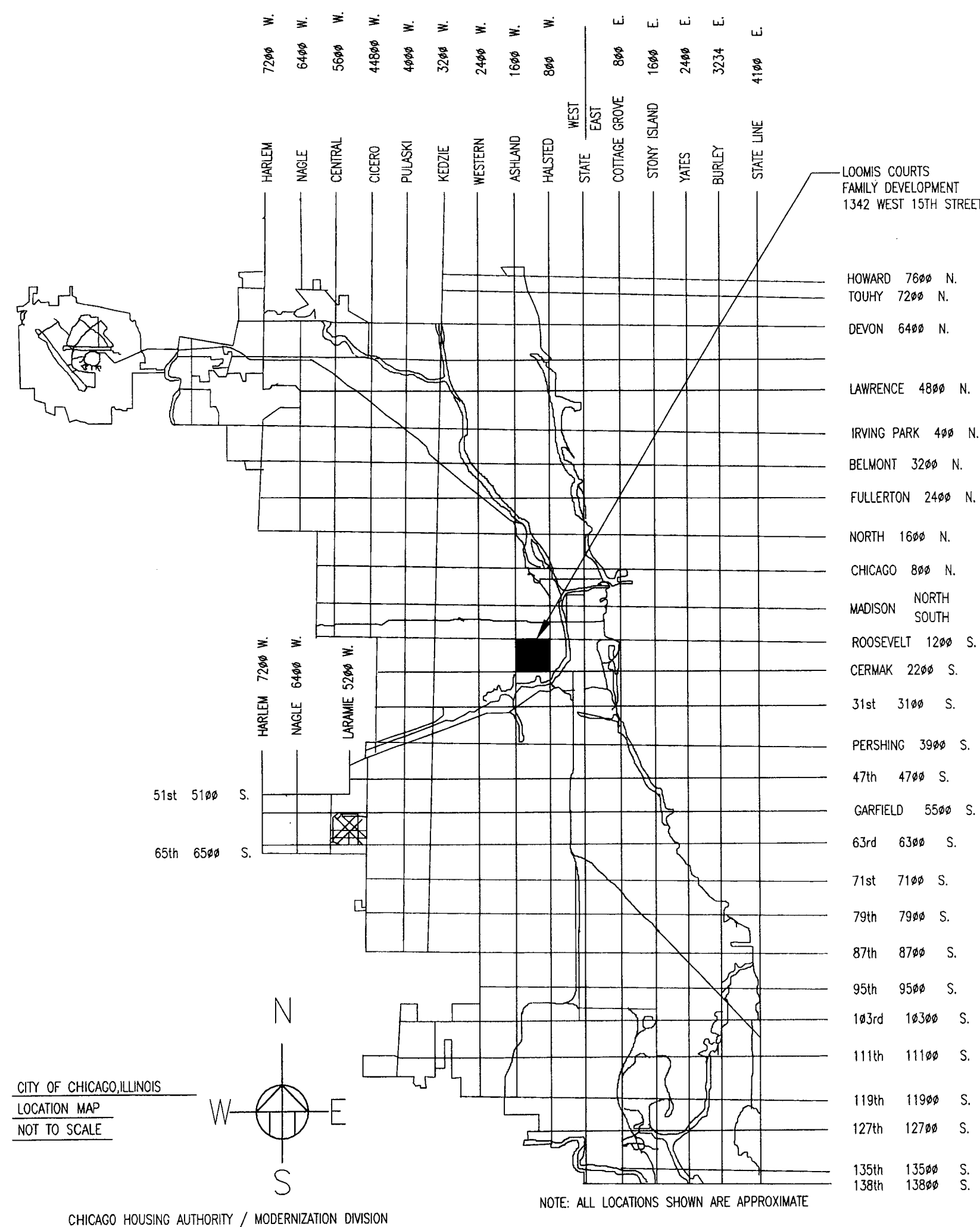
### CAPITAL IMPROVEMENT PROGRAM

### LOOMIS COURTS FAMILY DEVELOPMENT

### GENERAL REHABILITATION

1342 WEST 15TH STREET  
HUD NUMBER RH-7

ISSUED FOR BID  
10.08.04



LOOMIS COURTS FAMILY DEVELOPMENT  
1342 WEST 15TH STREET

#### UNIT TABULATIONS

UNIT TYPE 1 (2-BEDROOM) = 21 UNITS  
UNIT TYPE 2 (1-BEDROOM) = 42 UNITS  
TOTAL UNITS = 63 UNITS

#### NUMBER OF PARKING SPACES

LOT #1 (NW LOT) = 8  
LOT #1 (ADA SPACES) = 1  
LOT #2 (NE LOT) = 8  
LOT #2 (ADA SPACES) = 1  
LOT #3 (SE LOT) = 10  
LOT #3 (ADA SPACES) = 1  
TOTAL = 29

RICHARD M. DALEY  
MAYOR  
SHARON GIST GILLIAM  
CHAIRPERSON  
LORI HEALEY  
VICE - CHAIRPERSON  
TERRY PETERSON  
CHIEF EXECUTIVE OFFICER  
ADRIENNE MINLEY  
CHIEF OF STAFF  
GAIL A. NIEMANN  
GENERAL COUNSEL

BOARD OF COMMISSIONERS  
HALLIE AMEY  
EARNEST GATES  
DR. MILDRED HARRIS  
MICHAEL IVERS  
MARTIN NESBITT  
CARLOS PONCE  
MARY WIGGINS  
SANDRA YOUNG

EXERCISE CONSERVATION CODE  
COMPLIANCE STATEMENT  
I, the undersigned, as a professional engineer, have examined the drawings and specifications for the proposed construction of the Loomis Courts Family Development, and I hereby certify that the same conform to the requirements of the Chicago Building Code, and I am not aware of any violations of the same. I am not responsible for the accuracy of the information furnished to me by others, and I am not responsible for the accuracy of the information furnished to me by others, and I am not responsible for the accuracy of the information furnished to me by others.

SMITH HARDING  
Architecture  
Historic Preservation  
Construction Management

224 South Michigan Avenue  
Suite 245  
Chicago, Illinois 60604

I DO HEREBY CERTIFY THAT THESE  
DRAWINGS WERE PREPARED UNDER  
MY SUPERVISION AND TO THE BEST OF  
MY KNOWLEDGE CONFORMS TO ALL  
APPLICABLE CODES AND ORDINANCES  
CITY OF CHICAGO, ILLINOIS

EBEN C. SMITH  
IL. REG. #001-017942  
EXP. 11/30/04

#### DRAWING INDEX

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#### ARCHITECTURAL

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D-101 GROUND FLOOR DEMOLITION PLAN  
D-102 TYPICAL FLOOR DEMOLITION PLAN  
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A-100 BASEMENT PLAN  
A-101 GROUND FLOOR PLAN  
A-102 TYPICAL (2ND-7TH) FLOOR PLAN  
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M-103A NEW CONSTRUCTION BASEMENT HEATING PLAN  
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P-103A DEMO 1ST FLOOR PLUMBING PLAN  
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P-105A DEMO ROOF PLAN  
P-106A NEW CONSTRUCTION BASEMENT UNDERGROUND PLUMBING PLAN  
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E-102A DEMOLITION 1ST-7TH FLOOR ELECTRICAL FLOOR PLAN  
E-103A NEW CONSTRUCTION BASEMENT ELECTRICAL PLAN  
E-104A NEW CONSTRUCTION 1ST FLOOR ELECTRICAL PLAN  
E-105A NEW CONSTRUCTION 2ND-7TH FLOOR ELECTRICAL PLAN  
E-201A POWER RISERS  
E-202A FIRE ALARM RISERS  
E-301A PANEL SCHEDULES

APPROVED FOR CONSTRUCTION  
DATE: 10/8/04  
BY: RAFAEL HERNANDEZ

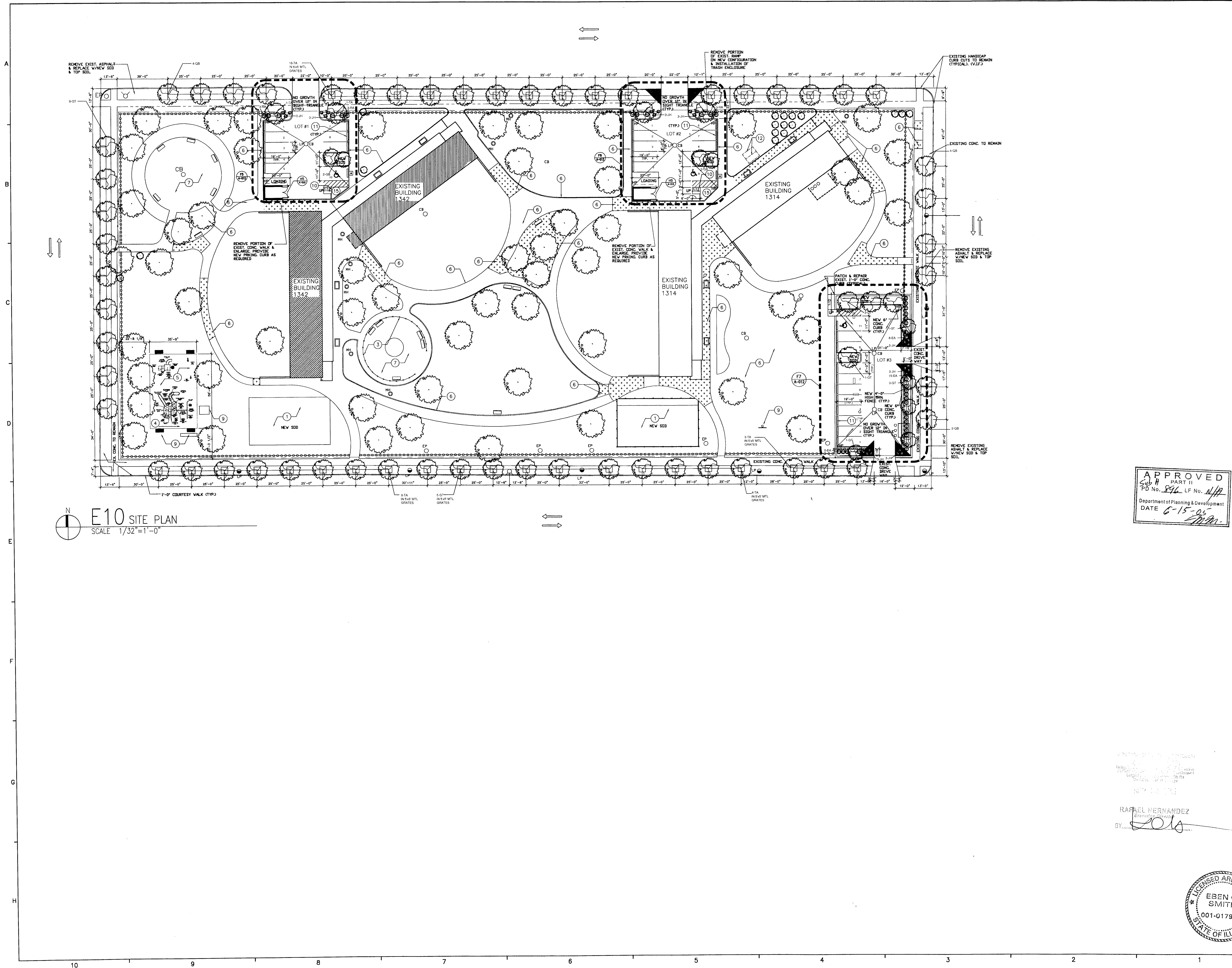
BY: RAFAEL HERNANDEZ



#### APPROVAL SIGNATURES

	FIRM NAME/TITLE	SIGNATURE	DATE
ARCHITECT			
OWNER			
CONTRACTOR			
BONDING CO.			





E10 SITE PLAN  
SCALE 1/32"=1'-0"

APPROVED  
Sub H PART II  
PD No. 896 LF No. 4/4  
Department of Planning & Development  
DATE 6-15-05

RAFAEL HERNANDEZ  
BY: [Signature]



CHA  
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY  
Capital Improvement Program  
626 West Jackson 3rd Floor  
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue  
Historic Preservation Suite 245  
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING  
Willows Springs, Illinois  
MEP Engineers

MATRIX ENGINEERING  
Chicago, Illinois  
Structural Engineers

Bid Documents

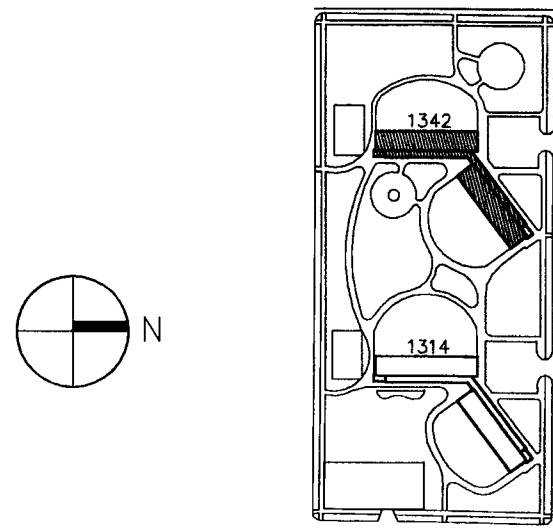
These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

NOTE: FOR REFERENCE ONLY  
SCOPE OF WORK ON  
1314 BUILDING

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



5	10.08.04	ISSUED FOR BID	
4	9.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

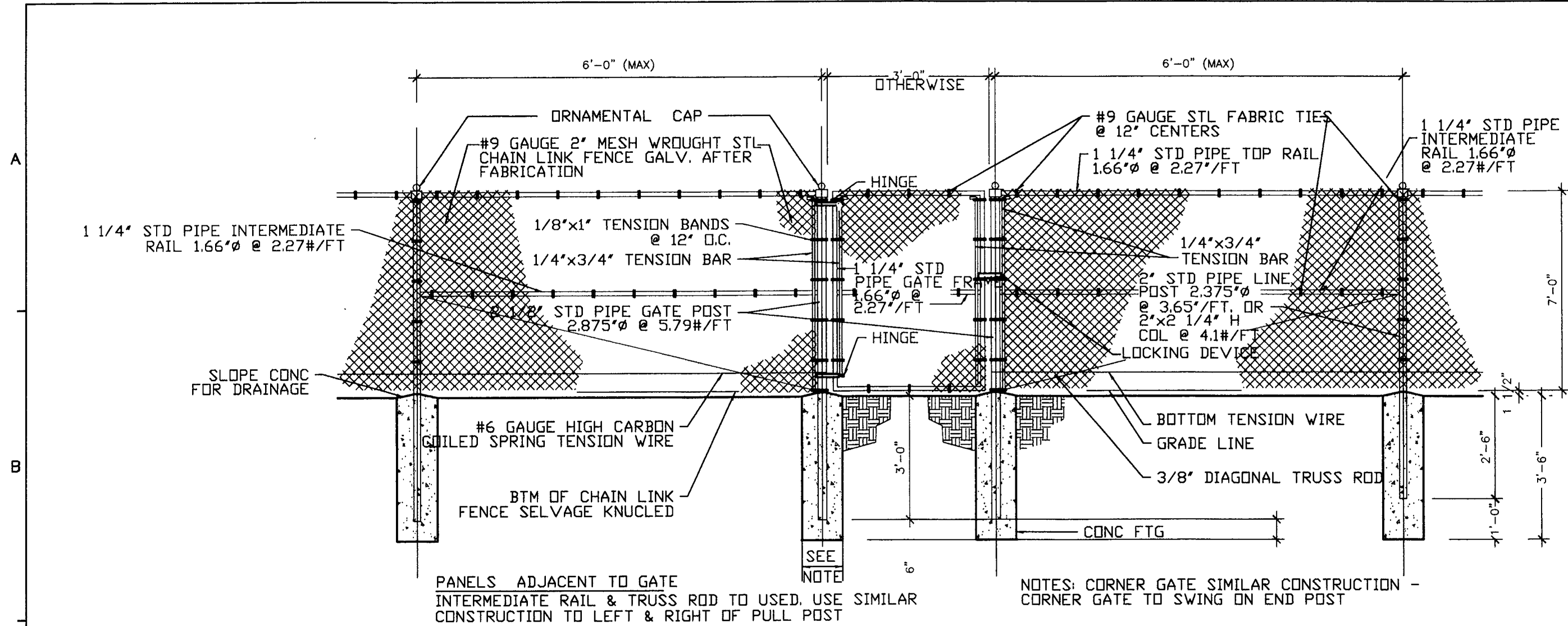
REVISIONS

CHICAGO HOUSING AUTHORITY  
CAPITAL CONSTRUCTION DIVISION  
ARCHITECTURAL/ENGINEERING SERVICES  
626 W. JACKSON  
CHICAGO, IL 60604

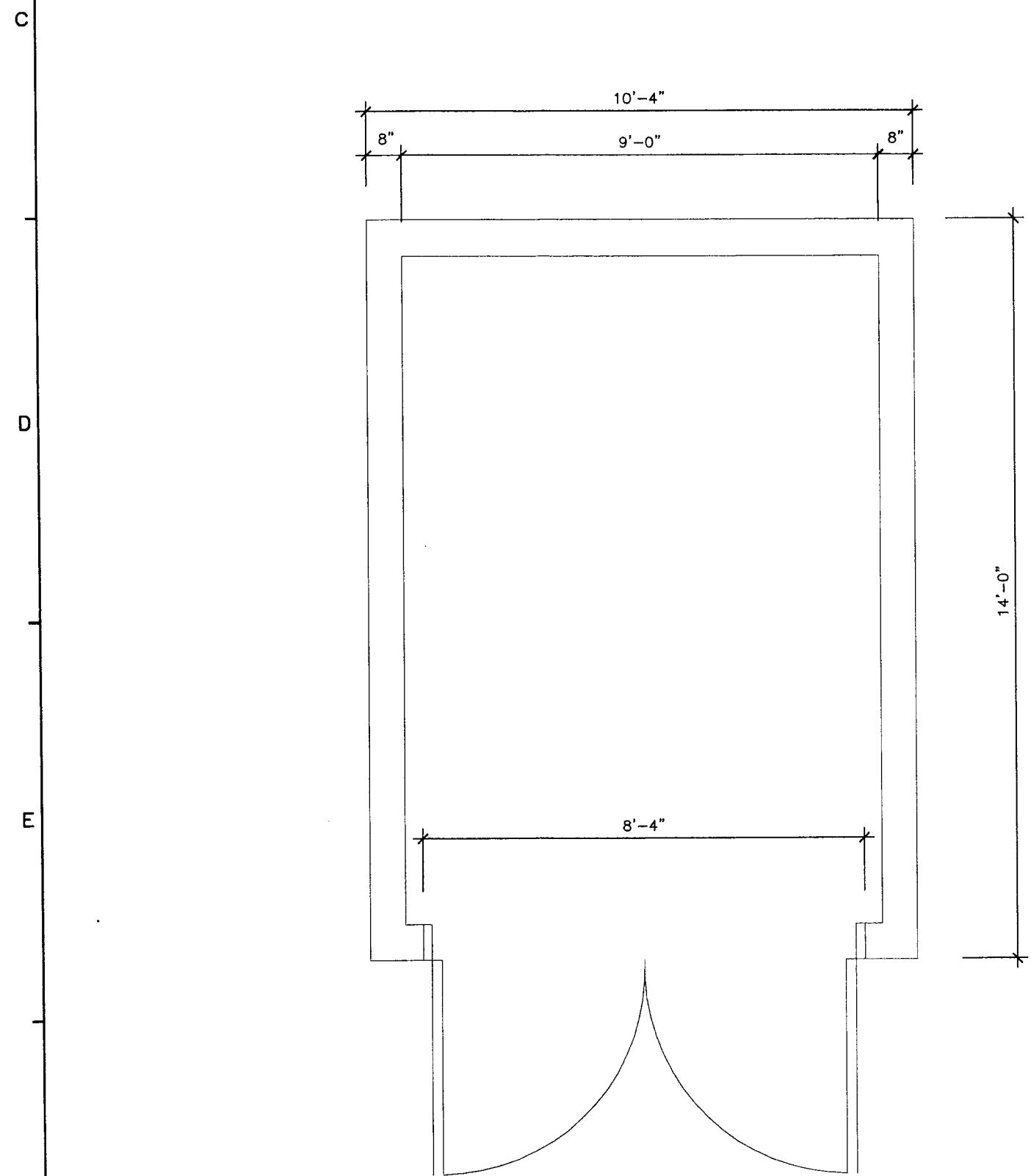
(312) 742 5500 FAX (312) 655-1105

SITE PLAN

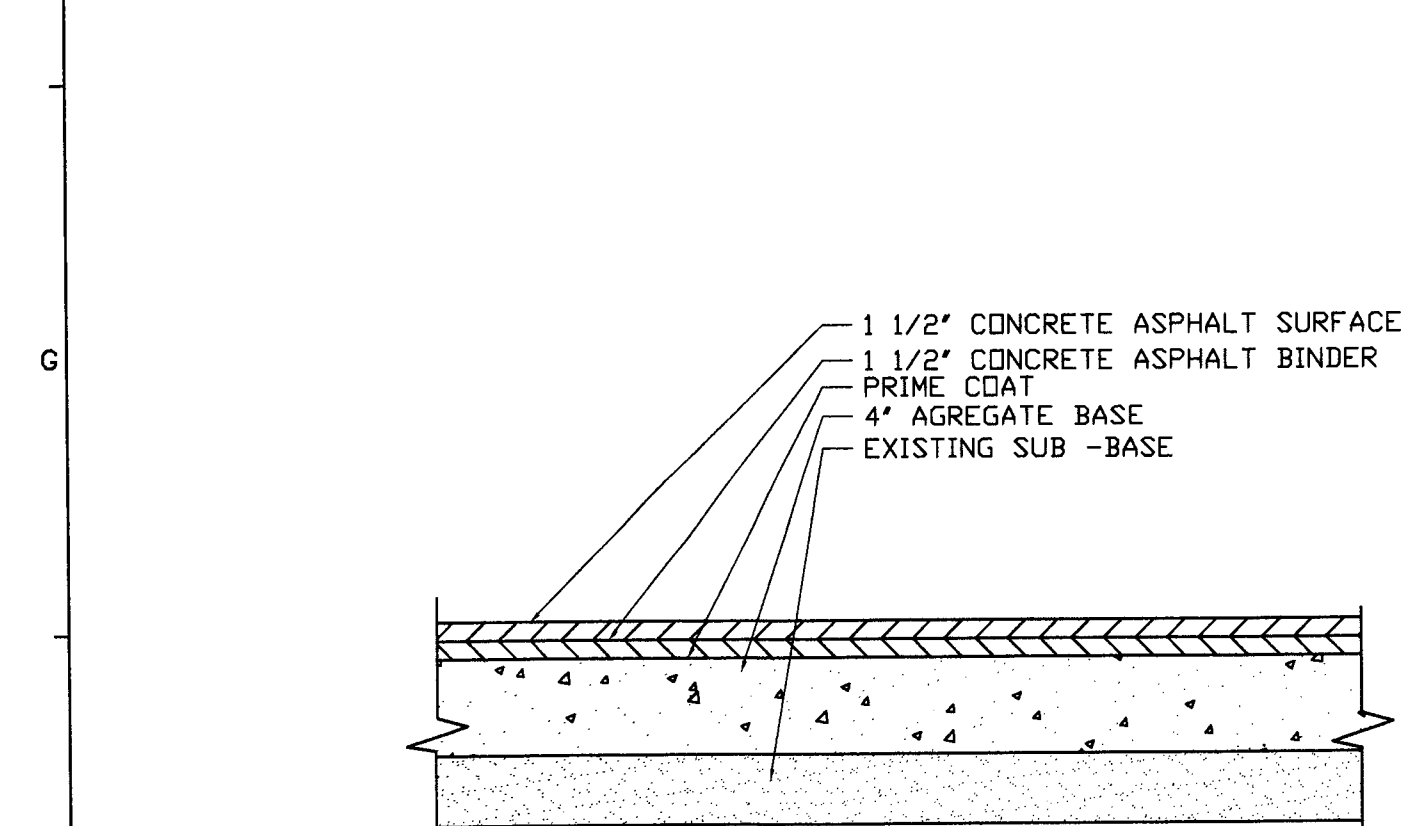
1342 WEST 15TH STREET FAMILY DEVELOPMENT			HUD NUMBER RH-7
DATE 10/08/04	SCALE 1/32"=1'-0"	JOB NO. 2003005.01	SHEET NUMBER A-010
DRAWN KW	CHECKED BWH	APPROVED ECS	



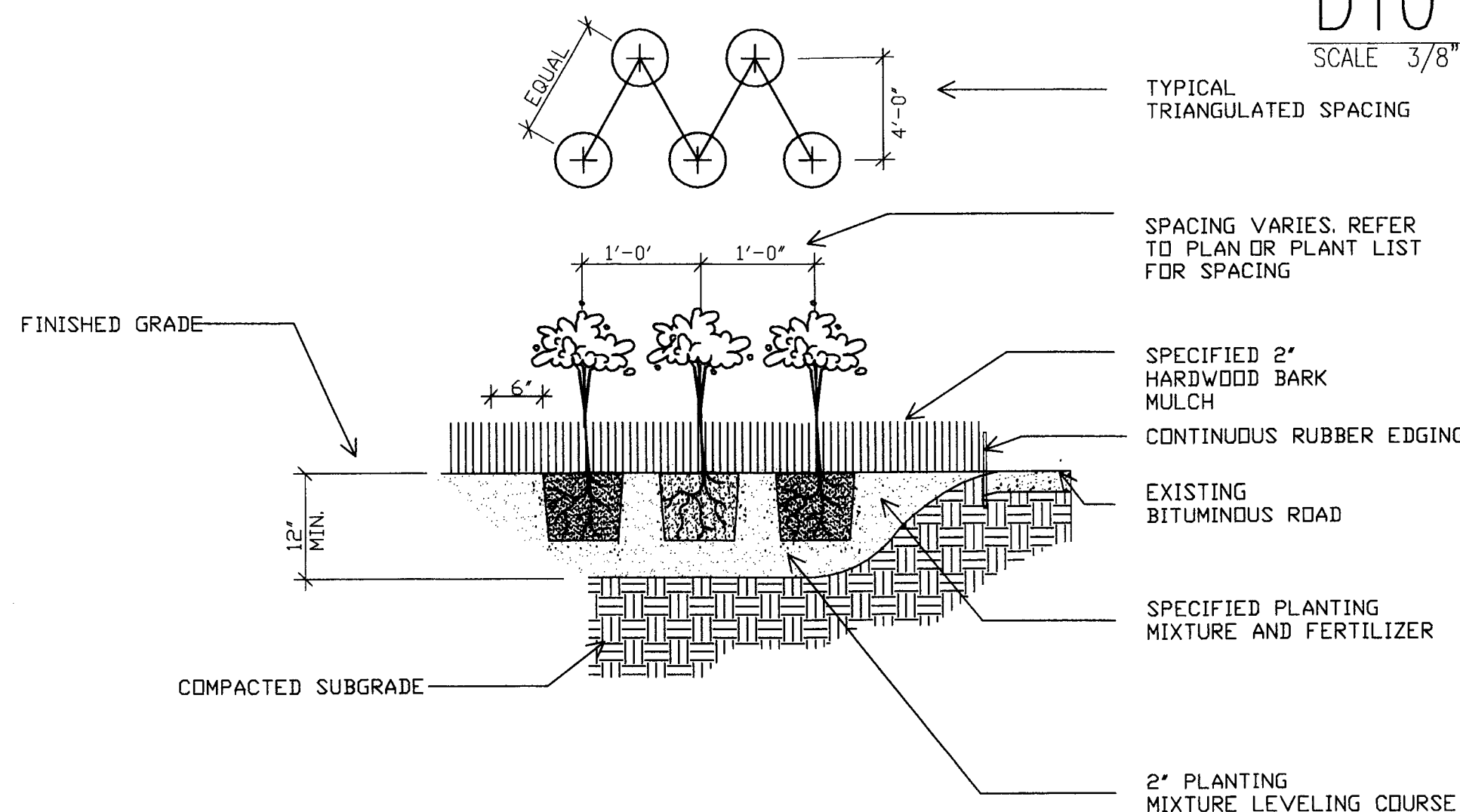
G5 CHAIN LINK FENCE DETAIL AROUND GENERATORS  
SCALE 3/16"=1'-0"



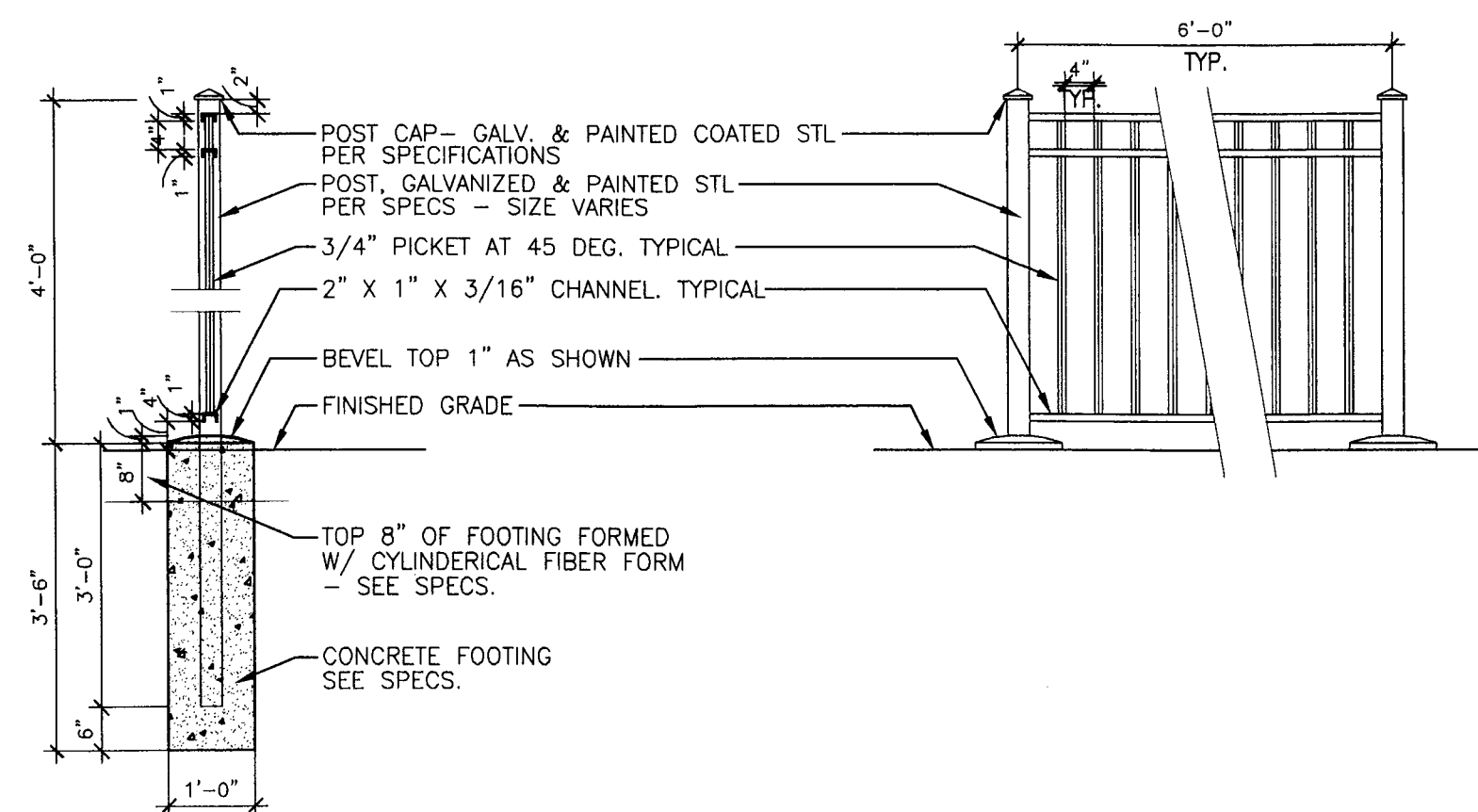
E11 TRASH ENCLOSURE DETAIL  
SCALE 3/16"=1'-0"



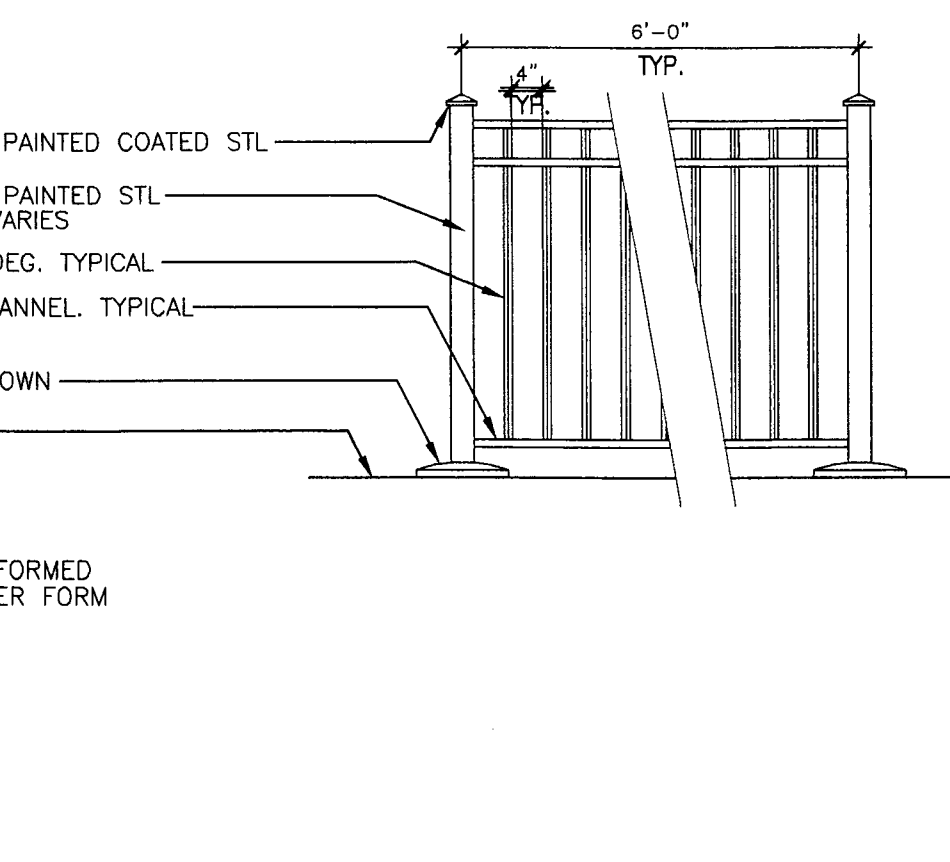
H3 BITUMINOUS PAVEMENT DETAIL  
SCALE NOT TO SCALE



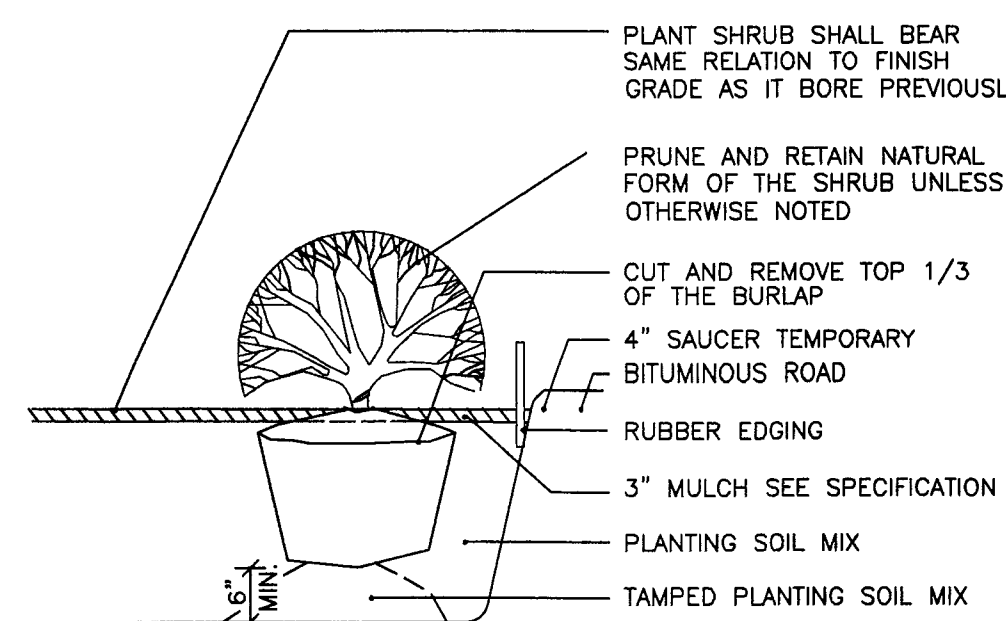
C10 PERENNIAL DETAIL  
SCALE: 3/8"=1'-0"



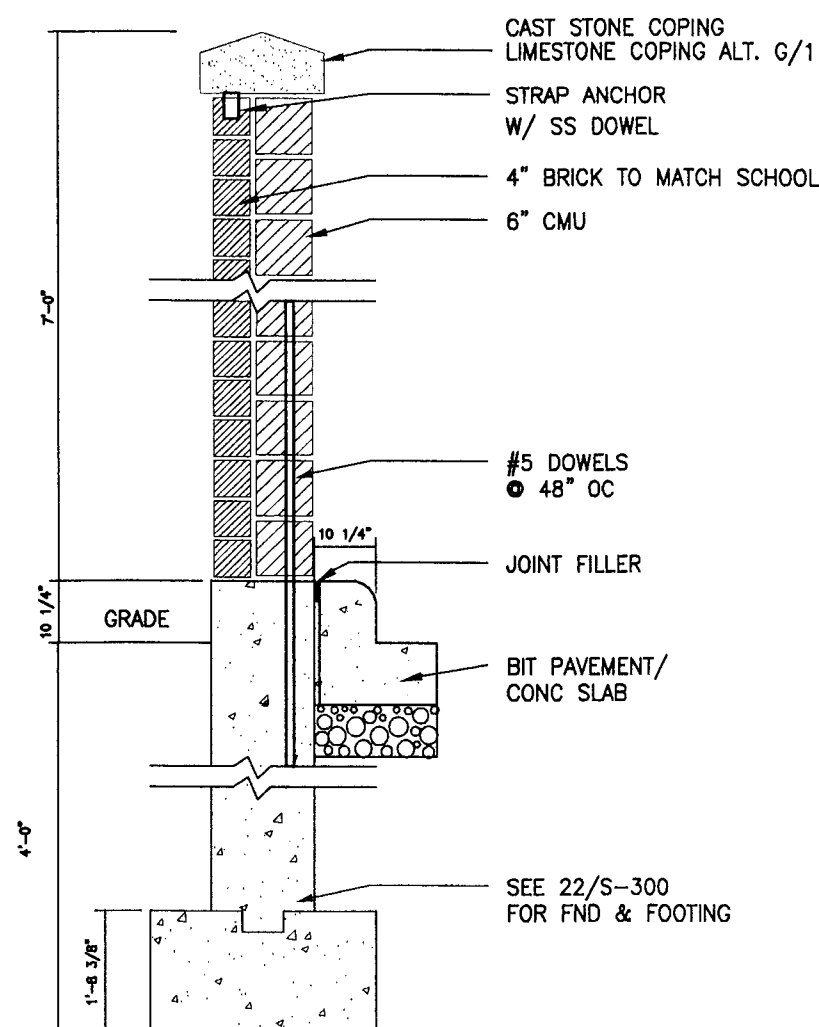
D10 FENCE SECTION  
SCALE 3/8"=1'-0"



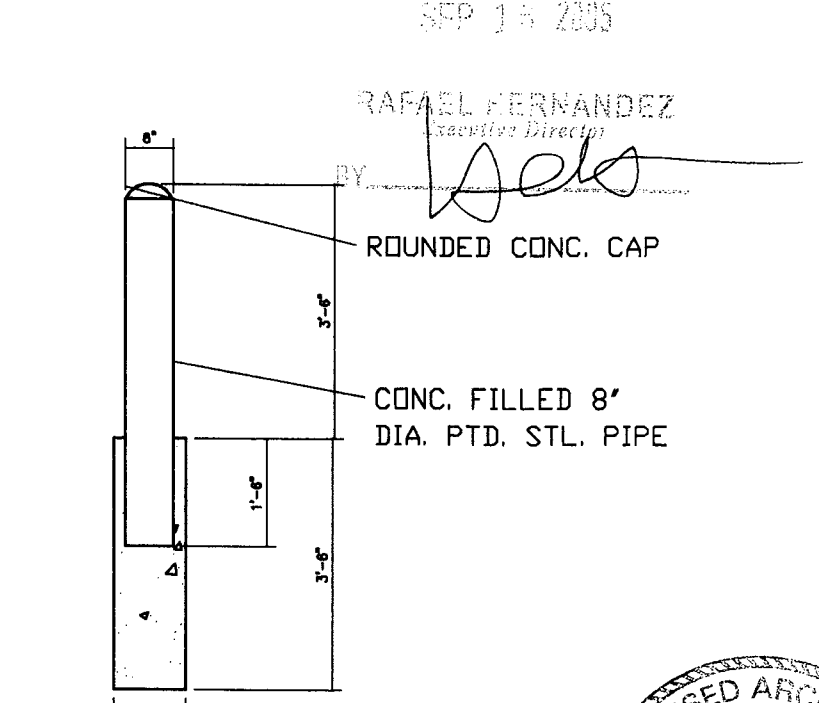
D9 FENCE ELEVATION  
SCALE 3/8"=1'-0"



C7 TYPICAL SHRUB DETAIL  
SCALE: 3/8"=1'-0"



D8 ENCLOSURE WALL SECTION  
SCALE 3/8"=1'-0"



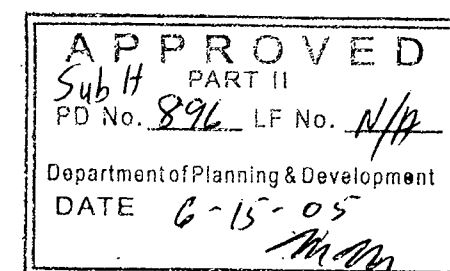
C4 BOLLARD DETAIL  
SCALE: NTS

#### NOTES FOR SIDE WALK RECONSTRUCTION

- RAMPS SHALL BE LOCATED AS SHOWN ON PLANS IN ALIGNMENT WITH NORMAL SIDEWALK AND/OR CROSSWALKS AND SHALL HAVE SUFFICIENT CURB LENGTH AT THE CORNER TO PREVENT VEHICULAR ENCRoACHMENT.
- CURB RAMPS AT MARKED CROSSING SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS EXCLUDING ANY FLARED SIDES.
- THE DESIRABLE MAXIMUM SLOPE OF RAMP SHALL BE 1:12. IN UNUSUAL SITUATIONS, THE ABSOLUTE MAXIMUM SLOPE FOR THE RAMP SHALL BE 1:8. HOWEVER, IF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN 48", THE ABSOLUTE MAXIMUM SLOPE SHALL BE 1:12.
- THE DESIRABLE MAXIMUM SLOPE OF THE SIDE FLARE SHALL BE 1:10 AND THE MINIMUM WIDTH OF THE SIDE FLARE SHALL BE ONE (1) FOOT.
- RAMPS SHALL BE CONSTRUCTED OF P.C. CONCRETE IN ACCORDANCE WITH ARTICLE 624 OF THE STANDARD SPECIFICATION, EXCEPT A TEXTURED MATERIAL FINISH WILL BE REQUIRED IN ACCORDANCE WITH ADA.
- THE THICKNESS OF RAMPS SHALL BE THE SAME AS THE ADJACENT SIDEWALKS WITH A MINIMUM THICKNESS OF 5 INCHES. THE RAMP AREAS WILL BE DETERMINED BY MEASURING THE WIDTH AND LENGTH ON A HORIZONTAL PLANE, THE AVERAGE WIDTHS WILL BE MEASURED TO INCLUDE THE SIDE CURBS OR FLARES (EDGE TREATMENT), AND THE LENGTH WILL BE MEASURED HORIZONTAL FROM THE TOP TO THE BOTTOM OF THE RAMP.
- 3/4" PREFORMED JOINT FILLER (PJF) SHALL BE INSTALLED ON THE SIDES OF RAMPS WHERE THE RAMP ABUTS ADJACENT SIDEWALKS IN ACCORDANCE WITH THE "DETAIL OF PORTLAND CEMENT CONCRETE SIDEWALK CONSTRUCTION".
- RAMP TEXTURING IS TO BE DONE ACCORDING TO THE REQUIREMENT OF THE AMERICAN DISABILITIES ACT. THE TEXTURING WILL CONSIST OF TRUNCATED DOMES IN A PATTERN WHICH IS SHOWN. THE DIAMETER SHALL BE 0.9" NOMINAL, THE HEIGHT SHALL BE 0.2" NOMINAL AND THE SPACING CENTER TO CENTER SHALL BE 2.95" NOMINAL.
- IN NO CASE SHALL EXPANSION JOINTS THAT ARE CONSTRUCTED IN CURBS AND GUTTERS AT OR NEAR CORNER RADIISES, BE LOCATED WITHIN THE HANDICAP RAMP AREAS.

#### NOTES FOR SIDEWALK JOINTS:

- TRANSVERSE JOINTS OF A TYPE SIMILAR TO THAT USED IN THE ADJACENT PAVEMENT SHALL BE INSTALLED IN ALL CURBS AND GUTTERS IN PROLONGATION WITH THE JOINTS IN THE PAVEMENT. IF THE CURB & GUTTER IS CONSTRUCTED ADJACENT TO A FLEXIBLE BASE PAVEMENT, 1" THICK EXPANSION JOINTS COMPOSED OF BITUMINOUS PREFORMED JOINT FILLER SHALL BE INSTALLED AT POINTS OF CURVATURE AND AT CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL ALSO BE PLACED BETWEEN THESE EXPANSION JOINTS AT A DISTANCE NOT TO EXCEED 20'. ALL TIE BARS SHALL BE CORRUGATED. ALL DOWEL BARS SHALL BE SMOOTH.
- EXPANSION JOINTS ARE TO BE 40'-0" O.C. MAX. AND AT THE BACK OF CURBS, CHANGE OF DIRECTION, OTHER WALKS, UTILITY APPURTENANCES OR FACE OF STRUCTURES.



**CHANGE**  
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY  
Capital Improvement Program  
626 West Jackson 3rd Floor  
Chicago, Illinois 60661

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Suite 245  
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MEP Engineers

MATRIX ENGINEERING  
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#### Bid Documents

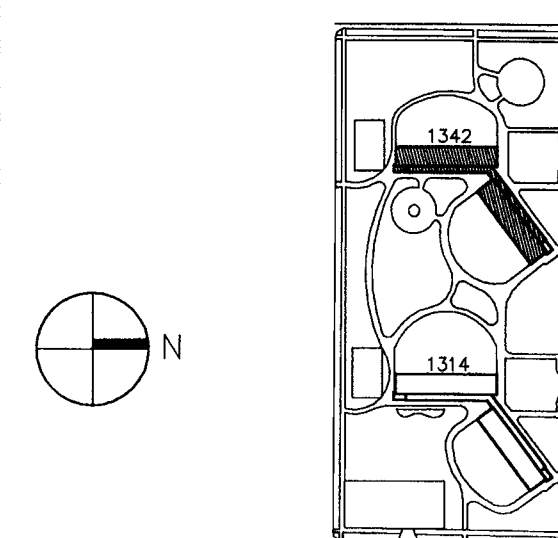
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#### General Notes

NOTE: FOR REFERENCE ONLY  
SCOPE OF WORK ON  
1314 BUILDING

#### Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



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5	10.08.04	ISSUED FOR BID	
4	9.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

#### REVISIONS

CHICAGO HOUSING AUTHORITY  
CAPITAL CONSTRUCTION DIVISION  
ARCHITECTURAL/ENGINEERING SERVICES  
626 W. JACKSON  
CHICAGO, IL 60604

(312) 742 5500

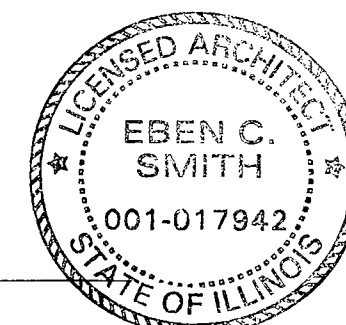
FAX (312) 655-1105

SITE/LANDSCAPE DETAILS

1342 WEST 15TH STREET  
FAMILY DEVELOPMENT

HUD NUMBER  
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
10/08/04	1/32"=1'-0"	2003005.01	A-011
DRAWN	CHECKED	APPROVED	
KW	BWH	ECS	





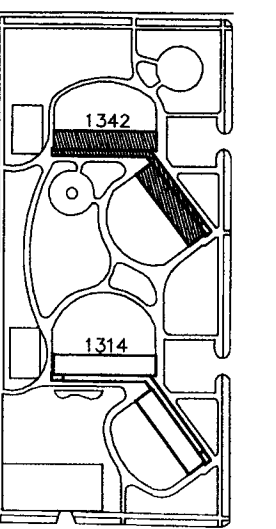
Bid Documents

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General Notes

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



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REVISIONS

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CAPITAL CONSTRUCTION DIVISION  
ARCHITECTURAL/ENGINEERING SERVICES  
626 W. JACKSON  
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

BASEMENT PLAN

1342 WEST 15TH STREET  
FAMILY DEVELOPMENT

HUD NUMBER  
RH-7

DATE 10/08/04	SCALE 1/8"=1'-0"	JOB NO. 2003005.01	SHEET NUMBER A-100
DRAWN GCF	CHECKED BWH	APPROVED ECS	

KEY TO PLANS

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR  
PROVIDE AND INSTALL NEW DOOR, FRAME, AND HARDWARE. SEE DOOR SCHEDULE SHEET A-500.

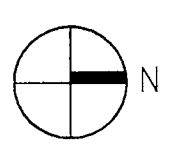
GENERAL NOTES

- REMOVE ALL EXISTING FLOOR TILE AND ABATE 100%. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH-SEE ROOM FINISH SCHEDULE.
- REMOVE ALL DEBRIS AND EQUIPMENT, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES.
- PROVIDE FIRESTOPPING AT ALL PENETRATIONS BETWEEN UNIT FLOORS AND WHERE REQUIRED.
- REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.
- PATCH AND REPAIR INTERIOR WALLS AND CEILINGS, RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ALL WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. SEE SCHEDULE.
- ALL UNITS SHALL RECEIVE NEW VCT FLOORING, COLOR SELECTED BY ARCHITECT THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
- REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.
- GC TO REMOVE KITCHEN APPLIANCES TO BE SALVAGED AND STORED PER THE OWNER'S DISPOSITION. ALL OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.
- ALL EXISTING CEILING AND WALL MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS AND COORDINATE WITH ELECTRICAL DRAWINGS U.N.O.
- REMOVE ALL EXISTING METAL SECURITY DOORS AND HARDWARE. PREPARE SURFACES FOR NEW DOOR AND FENCES.
- EXISTING WALLS AND DOORS TO BE REMOVED FOR INSTALLATION OF NEW LARGER DOORS AND MASONRY OPENINGS. TYPICAL AT ALL ADA UNIT ENTRIES. NON ADA UNITS TO RECEIVE NEW DOOR AND FRAMES ONLY.
- RAILINGS ON ALL STAIRS SHALL COMPLY WITH ADA CODE SEE SHEET A-500 FOR DETAIL.

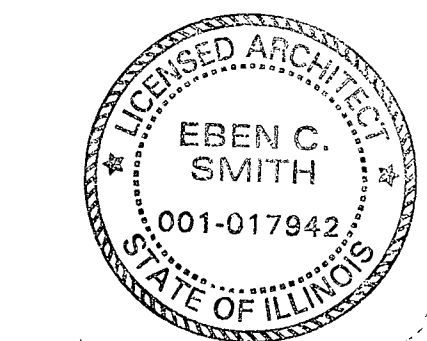
SCOPE OF WORK

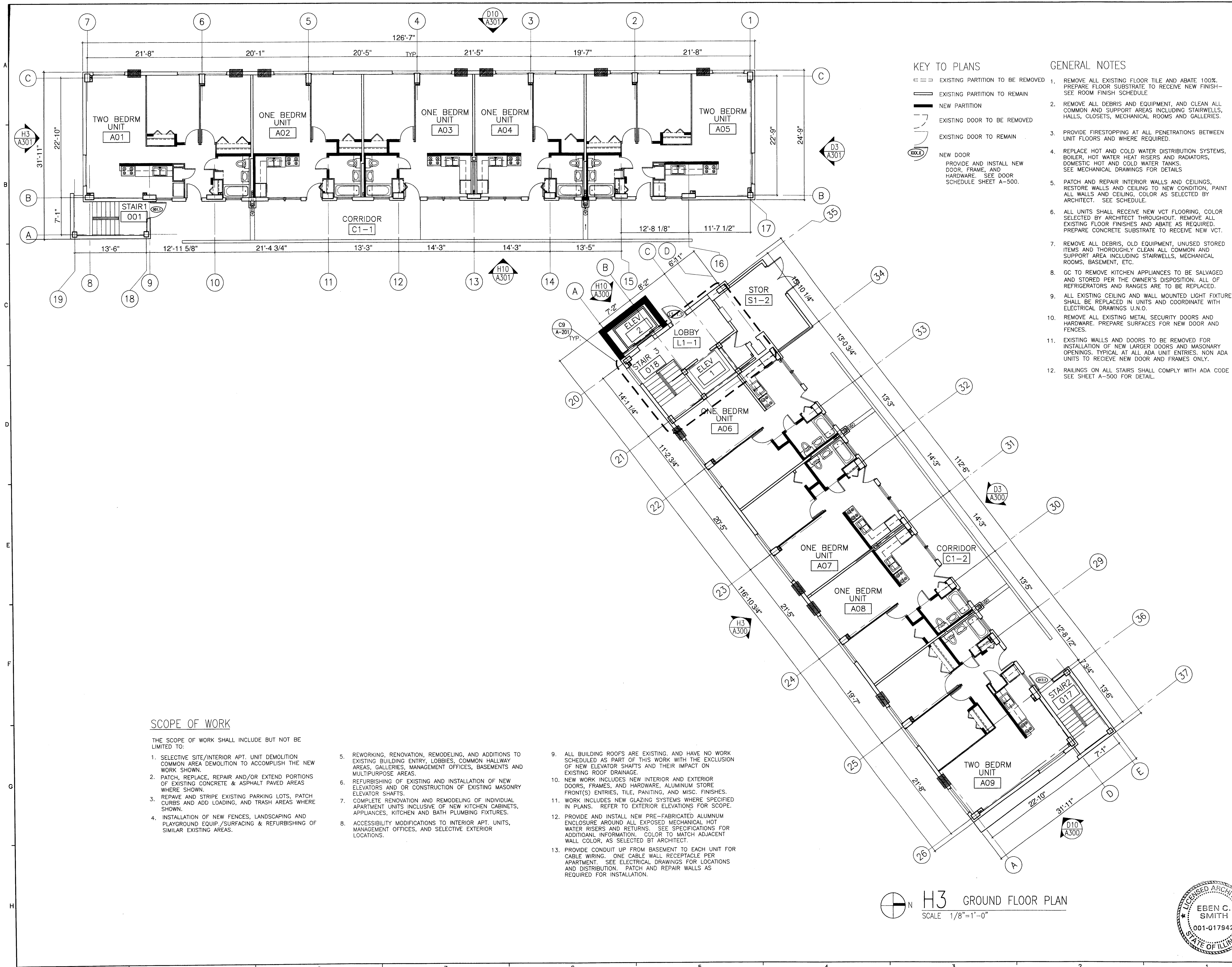
THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

- SELECTIVE SITE/INTERIOR APT. UNIT DEMOLITION COMMON AREA DEMOLITION TO ACCOMPLISH THE NEW WORK SHOWN.
- PATCH, REPLACE, REPAIR AND/OR EXTEND PORTIONS OF EXISTING CONCRETE & ASPHALT PAVED AREAS WHERE SHOWN.
- REPAVE AND STRIPE EXISTING PARKING LOTS, PATCH CURBS AND ADD LOADING, AND TRASH AREAS WHERE SHOWN.
- INSTALLATION OF NEW FENCES, LANDSCAPING AND PLAYGROUND EQUIP./SURFACING & REFURBISHING OF SIMILAR EXISTING AREAS.
- REWORKING, RENOVATION, REMODELING, AND ADDITIONS TO EXISTING BUILDING ENTRY, LOBBIES, COMMON HALLWAY AREAS, GALLERIES, MANAGEMENT OFFICES, BASEMENTS AND MULTIPURPOSE AREAS.
- REFURBISHING OF EXISTING AND INSTALLATION OF NEW ELEVATORS AND OR CONSTRUCTION OF EXISTING MASONRY ELEVATOR SHAFTS.
- COMPLETE RENOVATION AND REMODELING OF INDIVIDUAL APARTMENT UNITS INCLUSIVE OF NEW KITCHEN CABINETS, APPLIANCES, KITCHEN AND BATH PLUMBING FIXTURES.
- ACCESSIBILITY MODIFICATIONS TO INTERIOR APT. UNITS, MANAGEMENT OFFICES, AND SELECTIVE EXTERIOR LOCATIONS.
- ALL BUILDING ROOFS ARE EXISTING, AND HAVE NO WORK SCHEDULED AS PART OF THIS WORK WITH THE EXCLUSION OF NEW ELEVATOR SHAFTS AND THEIR IMPACT ON EXISTING ROOF DRAINAGE.
- NEW WORK INCLUDES NEW INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE, ALUMINUM STORE FRONT(S) ENTRIES, TILE, PAINTING, AND MISC. FINISHES.
- WORK INCLUDES NEW GLAZING SYSTEMS WHERE SPECIFIED IN PLANS. REFER TO EXTERIOR ELEVATIONS FOR SCOPE.
- PROVIDE CONDUIT UP FROM BASEMENT TO EACH UNIT FOR CABLE WIRING. ONE CABLE WALL RECEPTACLE PER APARTMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DISTRIBUTION. PATCH AND REPAIR WALLS AS REQUIRED FOR INSTALLATION.



H3 BASEMENT PLAN  
SCALE 1/8"=1'-0"





KEY TO PLANS

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR  
PROVIDE AND INSTALL NEW DOOR, FRAME, AND HARDWARE. SEE DOOR SCHEDULE SHEET A-500.

GENERAL NOTES

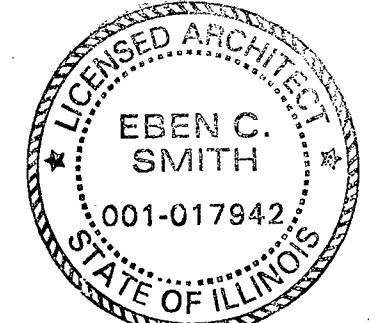
- REMOVE ALL EXISTING FLOOR TILE AND ABATE 100%. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH-SEE ROOM FINISH SCHEDULE.
- REMOVE ALL DEBRIS AND EQUIPMENT, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES.
- PROVIDE FIRESTOPPING AT ALL PENETRATIONS BETWEEN UNIT FLOORS AND WHERE REQUIRED.
- REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.
- PATCH AND REPAIR INTERIOR WALLS AND CEILINGS, RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ALL WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. SEE SCHEDULE.
- ALL UNITS SHALL RECEIVE NEW VCT FLOORING, COLOR SELECTED BY ARCHITECT THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
- REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.
- GC TO REMOVE KITCHEN APPLIANCES TO BE SALVAGED AND STORED PER THE OWNER'S DISPOSITION. ALL OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.
- ALL EXISTING CEILING AND WALL MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS AND COORDINATE WITH ELECTRICAL DRAWINGS U.N.O.
- REMOVE ALL EXISTING METAL SECURITY DOORS AND HARDWARE. PREPARE SURFACES FOR NEW DOOR AND FENCES.
- EXISTING WALLS AND DOORS TO BE REMOVED FOR INSTALLATION OF NEW LARGER DOORS AND MASONRY OPENINGS. TYPICAL AT ALL ADA UNIT ENTRIES. NON ADA UNITS TO RECEIVE NEW DOOR AND FRAMES ONLY.
- RAILINGS ON ALL STAIRS SHALL COMPLY WITH ADA CODE SEE SHEET A-500 FOR DETAIL.

SCOPE OF WORK

THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

- SELECTIVE SITE/INTERIOR APT. UNIT DEMOLITION. COMMON AREA DEMOLITION TO ACCOMPLISH THE NEW WORK SHOWN.
- PATCH, REPLACE, REPAIR AND/OR EXTEND PORTIONS OF EXISTING CONCRETE & ASPHALT PAVED AREAS WHERE SHOWN.
- REPAVE AND STRIPE EXISTING PARKING LOTS, PATCH CURBS AND ADD LOADING, AND TRASH AREAS WHERE SHOWN.
- INSTALLATION OF NEW FENCES, LANDSCAPING AND PLAYGROUND EQUIP./SURFACING & REFURBISHING OF SIMILAR EXISTING AREAS.
- REWORKING, RENOVATION, REMODELING, AND ADDITIONS TO EXISTING BUILDING ENTRY, LOBBIES, COMMON HALLWAY AREAS, GALLERIES, MANAGEMENT OFFICES, BASEMENTS AND MULTIPURPOSE AREAS.
- REFURBISHING OF EXISTING AND INSTALLATION OF NEW ELEVATORS AND OR CONSTRUCTION OF EXISTING MASONRY ELEVATOR SHAFTS.
- COMPLETE RENOVATION AND REMODELING OF INDIVIDUAL APARTMENT UNITS INCLUSIVE OF NEW KITCHEN CABINETS, APPLIANCES, KITCHEN AND BATH PLUMBING FIXTURES.
- ACCESSIBILITY MODIFICATIONS TO INTERIOR APT. UNITS, MANAGEMENT OFFICES, AND SELECTIVE EXTERIOR LOCATIONS.
- ALL BUILDING ROOFS ARE EXISTING. AND HAVE NO WORK SCHEDULED AS PART OF THIS WORK WITH THE EXCLUSION OF NEW ELEVATOR SHAFTS AND THEIR IMPACT ON EXISTING ROOF DRAINAGE.
- NEW WORK INCLUDES NEW INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE, ALUMINUM STORE FRONT(S) ENTRIES, TILE, PAINTING, AND MISC. FINISHES.
- WORK INCLUDES NEW GLAZING SYSTEMS WHERE SPECIFIED IN PLANS. REFER TO EXTERIOR ELEVATIONS FOR SCOPE.
- PROVIDE AND INSTALL NEW PRE-FABRICATED ALUMINUM ENCLOSURE AROUND ALL EXPOSED MECHANICAL HOT WATER RISERS AND RETURNS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COLOR TO MATCH ADJACENT WALL COLOR, AS SELECTED BY ARCHITECT.
- PROVIDE CONDUIT UP FROM BASEMENT TO EACH UNIT FOR CABLE WIRING. ONE CABLE WALL RECEPTACLE PER APARTMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DISTRIBUTION. PATCH AND REPAIR WALLS AS REQUIRED FOR INSTALLATION.

H3 GROUND FLOOR PLAN  
SCALE 1/8"=1'-0"



**CHA**  
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY  
Capital Improvement Program  
626 West Jackson 3rd Floor  
Chicago, Illinois 60661

**SMITH HARDING**

Architecture 224 South Michigan Avenue  
Suite 245  
Chicago, Illinois 60604  
Historic Preservation  
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING  
Willows Springs, Illinois  
MEP Engineers

MATRIX ENGINEERING  
Chicago, Illinois  
Structural Engineers

Bid Documents

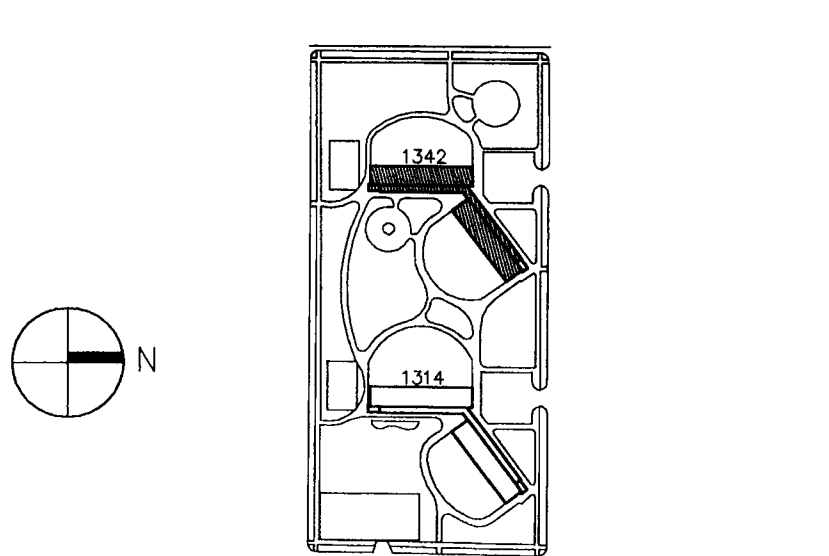
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General Notes

REVISIONS

NO.	DATE	DESCRIPTION	BY
5	10.08.04	ISSUED FOR BID	
4	9.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

Key Plan



NO.	DATE	DESCRIPTION	BY
5	10.08.04	ISSUED FOR BID	
4	9.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
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REVISIONS

CHICAGO HOUSING AUTHORITY  
CAPITAL CONSTRUCTION DIVISION  
ARCHITECTURAL/ENGINEERING SERVICES  
626 W. JACKSON  
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

GROUND FLOOR PLAN

1342 WEST 15TH STREET FAMILY DEVELOPMENT			HUD NUMBER RH-7
DATE 10/08/04	SCALE 1/8"=1'-0"	JOB NO. 2003005.01	SHEET NUMBER A-101
DRAWN BWH	CHECKED BWH	APPROVED ECS	



Bid Documents

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General Notes

GENERAL NOTES

1. REMOVE ALL EXISTING FLOOR TILE AND ABATE 100%. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH-SEE ROOM FINISH SCHEDULE
2. REMOVE ALL DEBRIS AND EQUIPMENT, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES.
3. PROVIDE FIRESTOPPING AT ALL PENETRATIONS BETWEEN UNIT FLOORS AND WHERE REQUIRED.
4. REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS
5. PATCH AND REPAIR INTERIOR WALLS AND CEILINGS. RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ALL WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. SEE SCHEDULE.
6. ALL UNITS SHALL RECEIVE NEW VCT FLOORING, COLOR SELECTED BY ARCHITECT THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
7. REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.
8. GC TO REMOVE KITCHEN APPLIANCES TO BE SALVAGED AND STORED PER THE OWNER'S DISPOSITION. ALL OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.
9. ALL EXISTING CEILING AND WALL MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS AND COORDINATE WITH ELECTRICAL DRAWINGS U.N.O.
10. REMOVE ALL EXISTING METAL SECURITY DOORS AND HARDWARE. PREPARE SURFACES FOR NEW DOOR AND FENCES.
11. EXISTING WALLS AND DOORS TO BE REMOVED FOR INSTALLATION OF NEW LARGER DOORS AND MASONARY OPENINGS. TYPICAL AT ALL ADA UNIT ENTRIES. NON ADA UNITS TO RECIEVE NEW DOOR AND FRAMES ONLY.
12. RAILINGS ON ALL STAIRS SHALL COMPLY WITH ADA CODE SEE SHEET A-500 FOR DETAIL.

KEY TO PLANS

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR  
PROVIDE AND INSTALL NEW DOOR, FRAME, AND HARDWARE. SEE DOOR SCHEDULE SHEET A-500.

FOR ALL OTHER CONDITIONS REFER TO SHEET A-201

TYP. ACCESSIBLE @ 1ST & 4TH FLOOR. ADAPTABLE TYPICAL UNITS @ 2ND, 3RD, 5TH & 6TH FLOORS. ALL OTHER UNITS VISITABLE.

SCOPE OF WORK

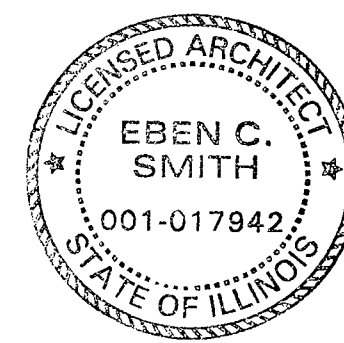
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2. PATCH, REPLACE, REPAIR AND/OR EXTEND PORTIONS OF EXISTING CONCRETE & ASPHALT PAVED AREAS WHERE SHOWN.
3. REPAVE AND STRIPE EXISTING PARKING LOTS, PATCH CURBS AND ADD LOADING, AND TRASH AREAS WHERE SHOWN.
4. INSTALLATION OF NEW FENCES, LANDSCAPING AND PLAYGROUND EQUIP./SURFACING & REFURBISHING OF SIMILAR EXISTING AREAS.

5. REWORKING, RENOVATION, REMODELING, AND ADDITIONS TO EXISTING BUILDING ENTRY, LOBBIES, COMMON HALLWAY AREAS, GALLERIES, MANAGEMENT OFFICES, BASEMENTS AND MULTIPURPOSE AREAS.
6. REFURBISHING OF EXISTING AND INSTALLATION OF NEW ELEVATORS AND OR CONSTRUCTION OF EXISTING MASONRY ELEVATOR SHAFTS.
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11. WORK INCLUDES NEW GLAZING SYSTEMS WHERE SPECIFIED IN PLANS. REFER TO EXTERIOR ELEVATIONS FOR SCOPE.
12. PROVIDE AND INSTALL NEW PRE-FABRICATED ALUMINUM ENCLOSURE AROUND ALL EXPOSED MECHANICAL HOT WATER RISERS AND RETURNS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COLOR TO MATCH ADJACENT WALL COLOR, AS SELECTED BY ARCHITECT.
13. PROVIDE CONDUIT UP FROM BASEMENT TO EACH UNIT FOR CABLE WIRING. ONE CABLE WALL RECEPTACLE PER APARTMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DISTRIBUTION. PATCH AND REPAIR WALLS AS REQUIRED FOR INSTALLATION.

G3 TYPICAL (2ND-7TH) FLOOR PLAN  
SCALE 1/8"=1'-0"



CHICAGO HOUSING AUTHORITY  
CAPITAL CONSTRUCTION DIVISION  
ARCHITECTURAL/ENGINEERING SERVICES  
626 W. JACKSON  
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

TYP. (2nd-7th) FLOOR PLANS

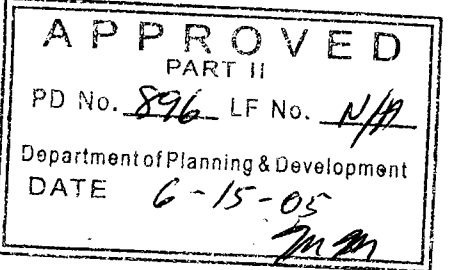
1342 W. 15TH STREET  
FAMILY DEVELOPMENT  
HUD NUMBER  
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
10/08/04	1/8"=1'-0"	2003005.01	A-102
DRAWN	CHECKED	APPROVED	
KEW	BWH	ECS	

Bid Documents

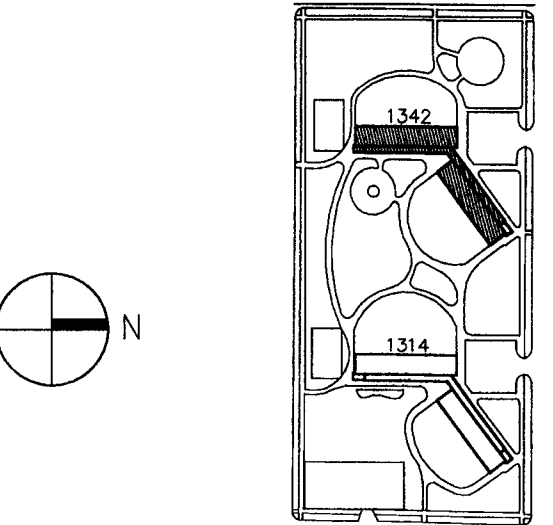
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General Notes



Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
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3	8.10.04	ISSUED FOR 50% CD'S	
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1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

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CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

EAST WING ELEVATIONS

1342 W. 15TH STREET  
FAMILY DEVELOPMENT

HUD NUMBER  
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
10/08/04	1/8"=1'-0"	2003005.01	A-300
DRAWN GCF	CHECKED BWH	APPROVED ECS	

NEW ELEVATOR  
SHAFT  
w/MACHINE  
ROOM. SEE  
SHEET A-400 &  
COORD.  
W/STRUCTURAL

B6  
A-400  
TYP.

NEW 42" HIGH  
GUARD RAIL TO  
BE INSTALLED  
ON ALL TYP.  
FLOORS.

PATCH/REPAIR  
ALL CONC.  
RETAINING WALLS  
TYP.

D10 EAST WING- EAST ELEVATION

SCALE 1/8"=1'-0"

T/ ELEVATOR SHAFT ROOF  
EL: (+) 75'-1"

T/ MACHINE ROOM FLOOR  
EL: (+) 66'-5"

T/ ROOF LINE  
EL: (+) 60'-7"

T/ 7TH FLOOR  
EL: (+) 52'-0"

T/ 6TH FLOOR  
EL: (+) 43'-5"

T/ 5TH FLOOR  
EL: (+) 34'-10"

T/ 4TH FLOOR  
EL: (+) 26'-3"

T/ 3RD FLOOR  
EL: (+) 17'-8"

T/ 2ND FLOOR  
EL: (+) 9'-1"

T/ 1ST FLOOR  
EL: (+) 0'-6"

NEW ELEVATOR  
SHAFT  
w/MACHINE  
ROOM. SEE  
SHEET A-400  
& COORD.  
W/STRUCTURAL

T/ ELEVATOR SHAFT ROOF  
EL: (+) 75'-1"

T/ MACHINE ROOM FLOOR  
EL: (+) 66'-5"

T/ ROOF LINE  
EL: (+) 60'-7"

AIR CONDITIONING  
GRILLE- TYPICAL  
IN NEW OPENING

T/ 7TH FLOOR  
EL: (+) 52'-0"

T/ 6TH FLOOR  
EL: (+) 43'-5"

ALTERNATE BRICK  
COLOR TO  
ACCENT FLOOR  
LINES. TYP.

T/ 5TH FLOOR  
EL: (+) 34'-10"

T/ 4TH FLOOR  
EL: (+) 26'-3"

NEW ELEVATOR  
SHAFT

T/ 3RD FLOOR  
EL: (+) 17'-8"

AIR CONDITIONING  
GRILLE- TYPICAL  
IN NEW OPENING

T/ 2ND FLOOR  
EL: (+) 9'-1"

T/ 1ST FLOOR  
EL: (+) 0'-6"

PATCH/REPAIR  
ALL CONC.  
RETAINING WALLS  
TYP.

REMOVE EXIST.  
LOUVER WINDOW  
AT AREA WAY.  
FILL IN  
CONCRETE OPNG.  
W/8" CMU TYP.  
ALL  
CONDITIONS.

D3 EAST WING- NORTH ELEVATION

SCALE 1/8"=1'-0"

NOTES ON THIS ELEVATION  
APPLY TO ALL ELEVATIONS  
UNLESS NOTED OTHERWISE

RAFAEL HERNANDEZ  
Project Designer  
10/06

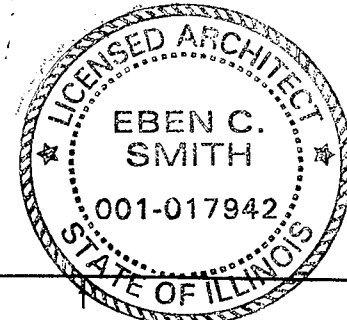
H2  
A-400  
TYP.

EXIST. WINDOWS  
TYP.

EXIST. BRICK  
MASONRY TYP.

H3 EAST WING- SOUTH ELEVATION

SCALE 1/8"=1'-0"



H10 EAST WING- WEST ELEVATION

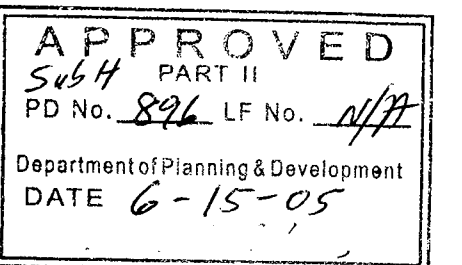
SCALE 1/8"=1'-0"



Bid Documents

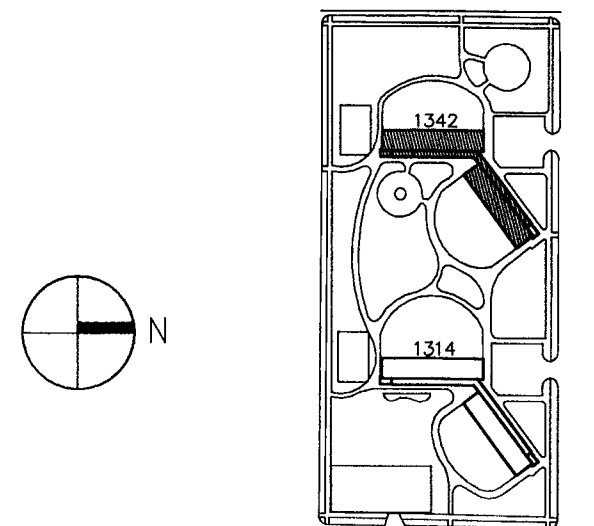
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General Notes



Key Plan

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REVISIONS

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626 W. JACKSON  
CHICAGO, IL 60604

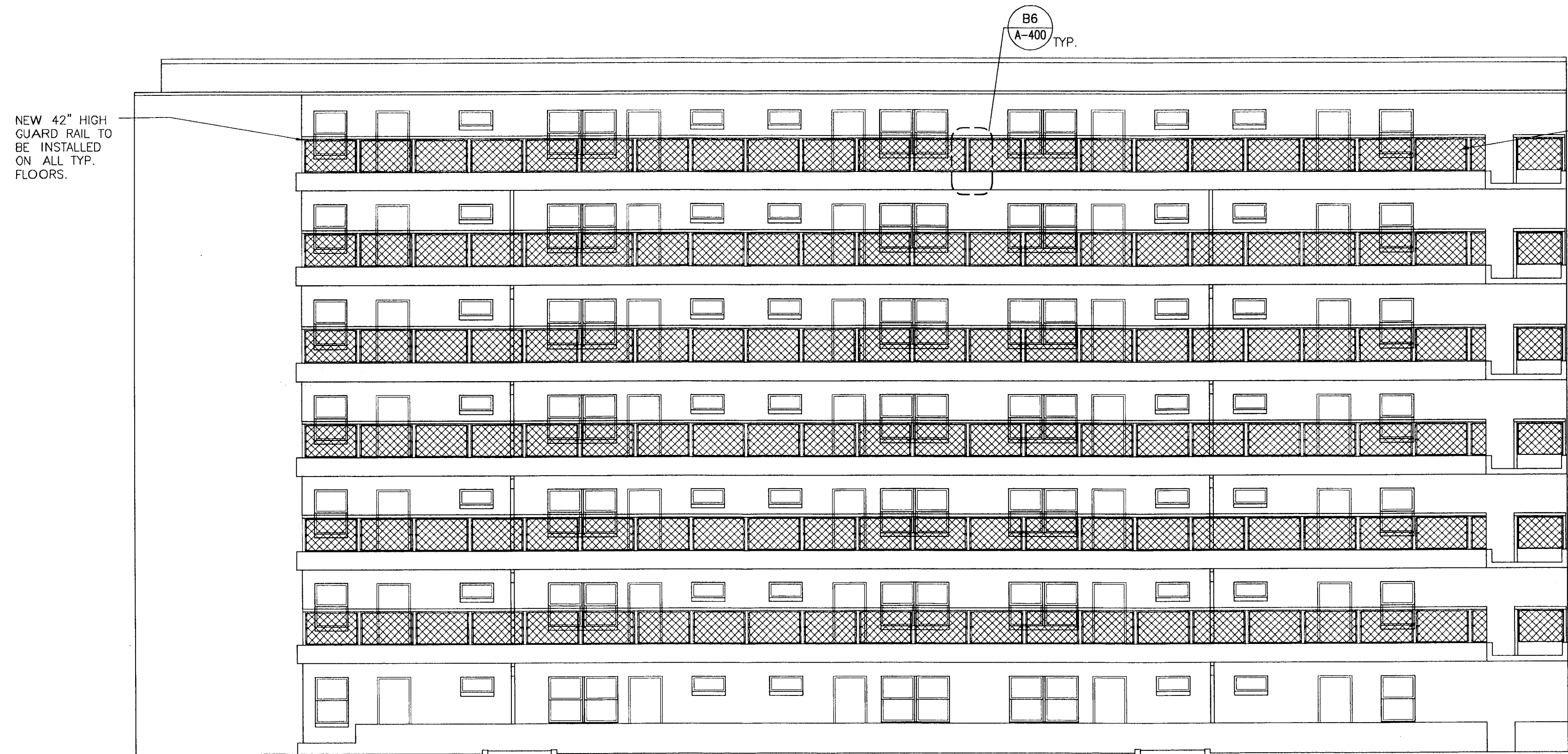
(312) 742 5500 FAX (312) 655-1105

WEST WING ELEVATIONS

1342 W. 15TH STREET  
FAMILY DEVELOPMENT

HUD NUMBER  
RH-7

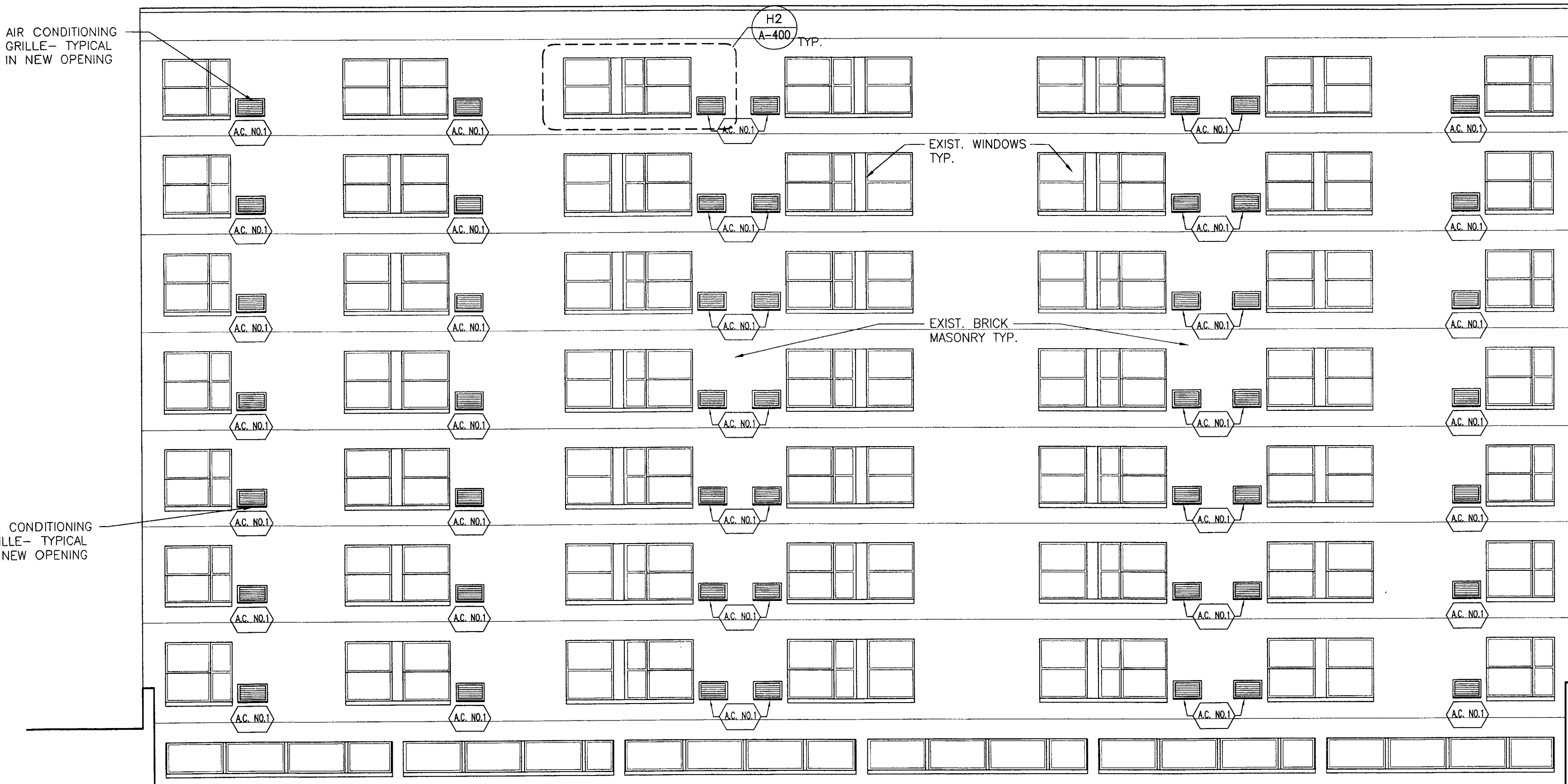
DATE	SCALE	JOB NO.	SHEET NUMBER
10/08/04	1/8"=1'-0"	2003005.01	A-301
DRAWN GCF	CHECKED BWH	APPROVED ECS	



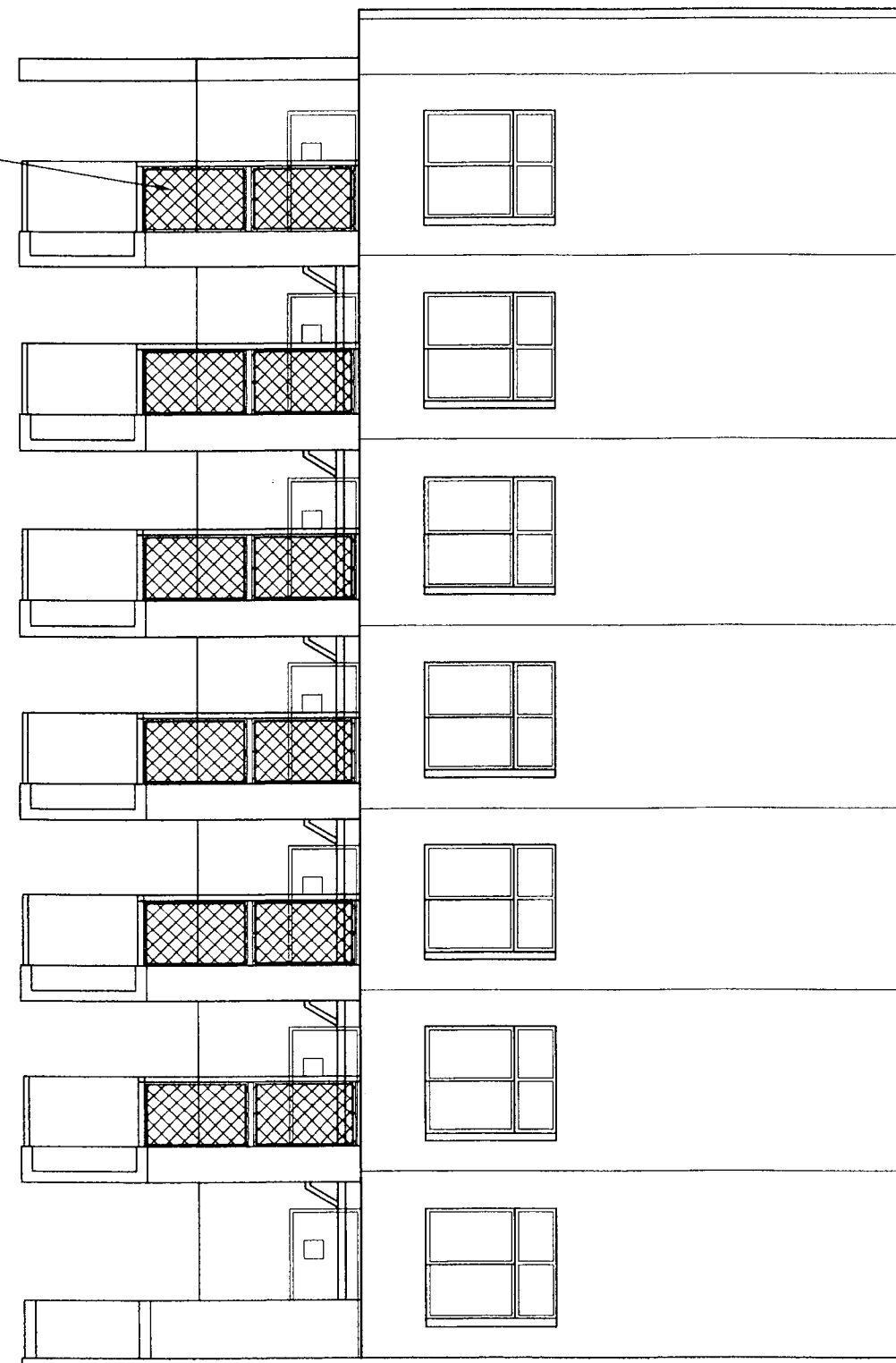
D10 WEST WING- EAST ELEVATION  
SCALE 1/8"=1'-0"

NOTES ON THIS ELEVATION  
APPLY TO ALL ELEVATIONS  
UNLESS NOTED OTHERWISE

REMOVE EXIST.  
LOUVER WINDOW  
AT AREA WAY.  
FILL IN  
CONCRETE OPNG.  
W/8" CMU TYP.  
● ALL  
CONDITIONS.



H10 WEST WING- WEST ELEVATION  
SCALE 1/8"=1'-0"



D3 WEST WING- NORTH ELEVATION  
SCALE 1/8"=1'-0"

PATCH/REPAIR  
ALL CONC.  
RETAINING WALLS  
TYP.

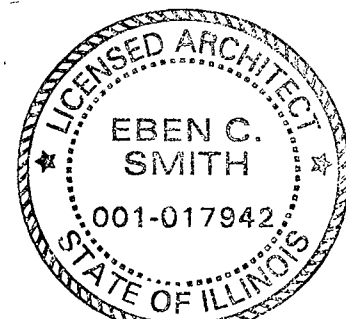
APPROVED  
564 PART II  
PD No. 826 LF No. 111  
Department of Planning & Development  
DATE 6-15-05  
BY: RAFAEL FERNANDEZ  
Director

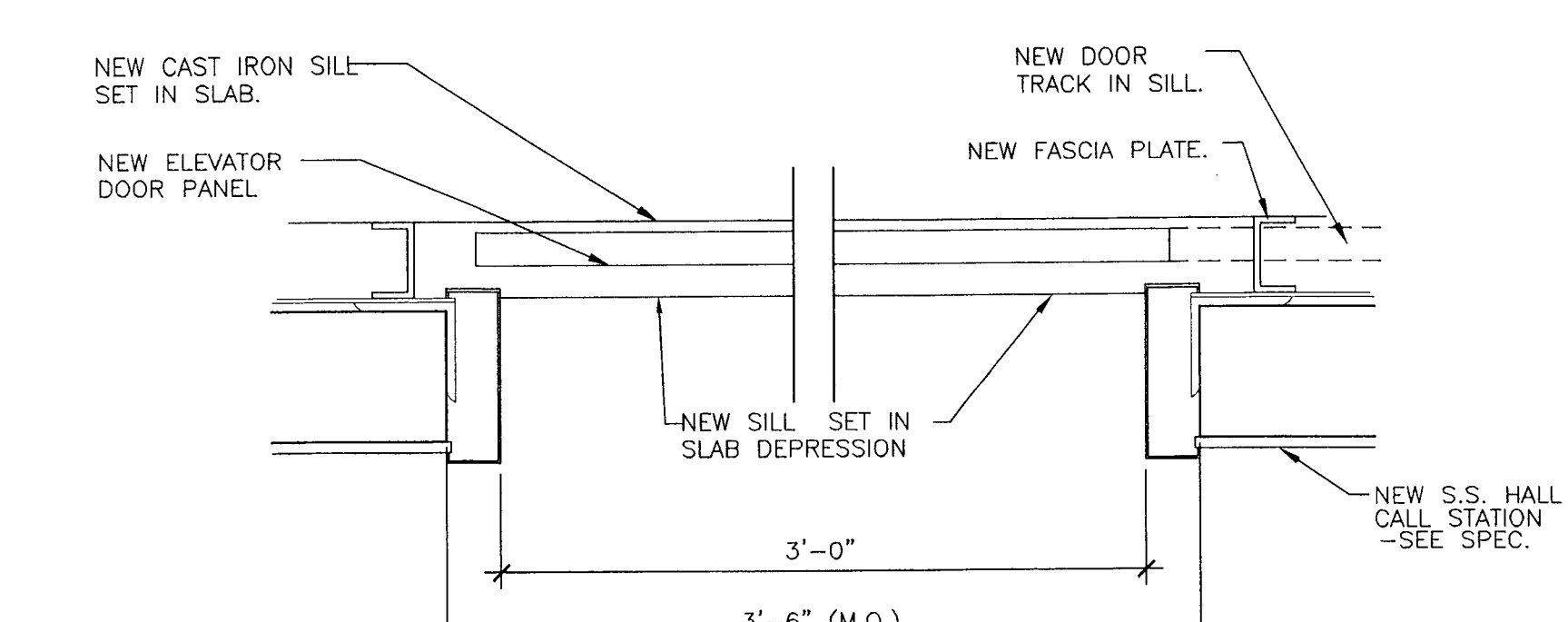
T/ ROOF LINE EL: (+) 60'-7"
T/ 7TH FLOOR EL: (+) 52'-0"
T/ 6TH FLOOR EL: (+) 43'-5"
T/ 5TH FLOOR EL: (+) 34'-10"
T/ 4TH FLOOR EL: (+) 26'-3"
T/ 3RD FLOOR EL: (+) 17'-8"
T/ 2ND FLOOR EL: (+) 9'-1"
T/ 1ST FLOOR EL: (+) 0'-6"

PATCH/REPAIR  
ALL CONC.  
RETAINING WALLS  
TYP.

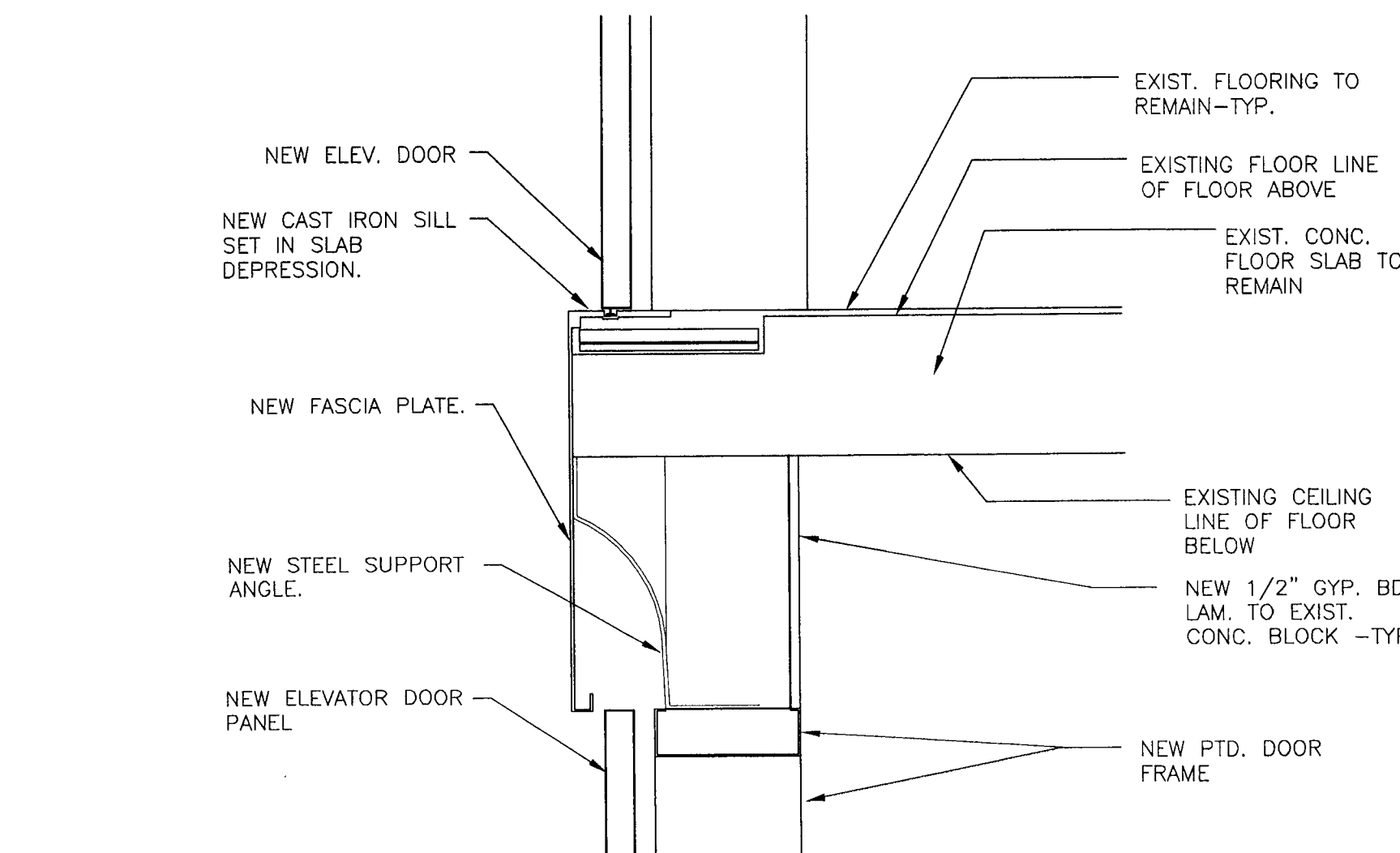
H3 WEST WING- SOUTH ELEVATION  
SCALE 1/8"=1'-0"

T/ ROOF LINE EL: (+) 60'-7"
T/ 7TH FLOOR EL: (+) 52'-0"
T/ 6TH FLOOR EL: (+) 43'-5"
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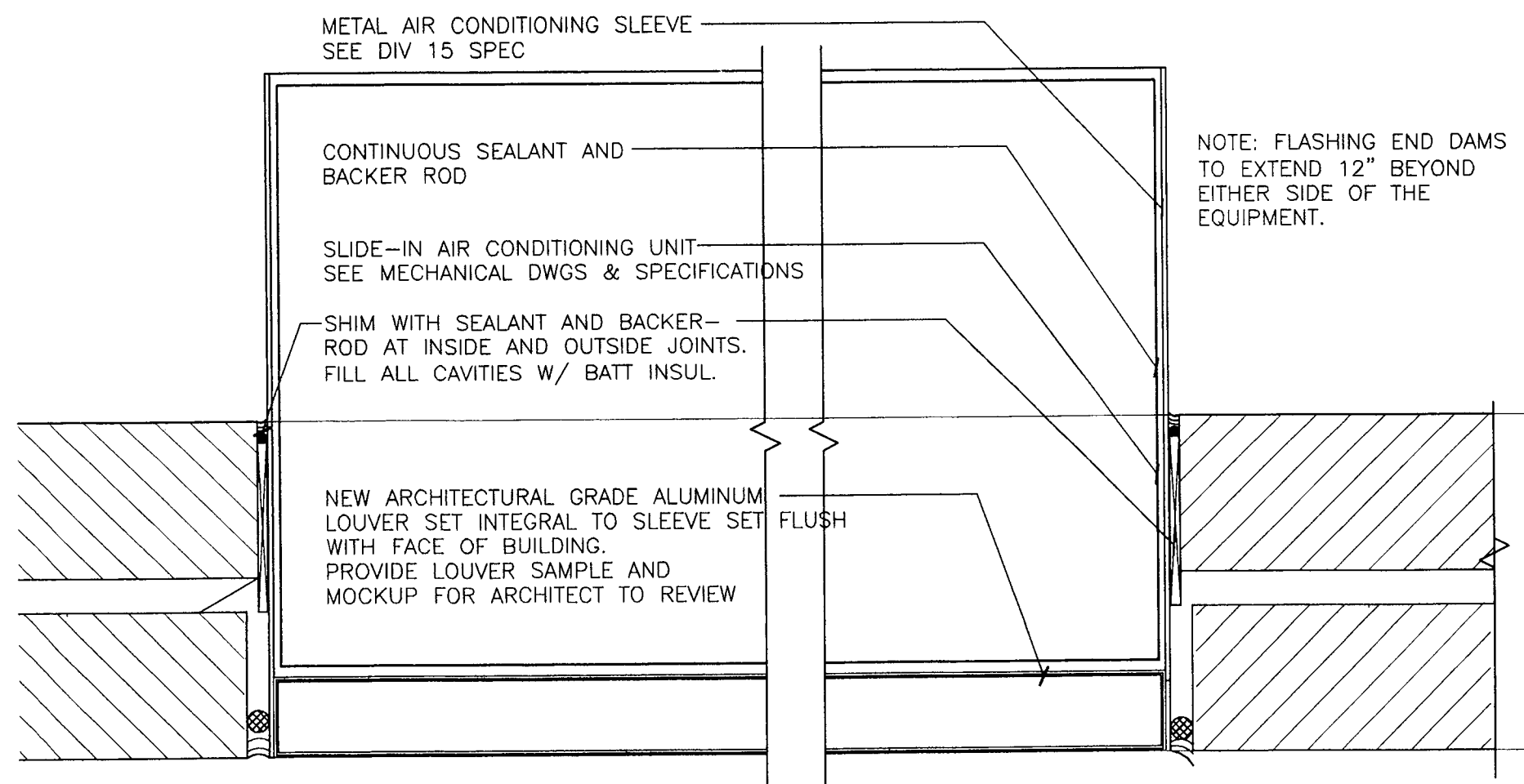




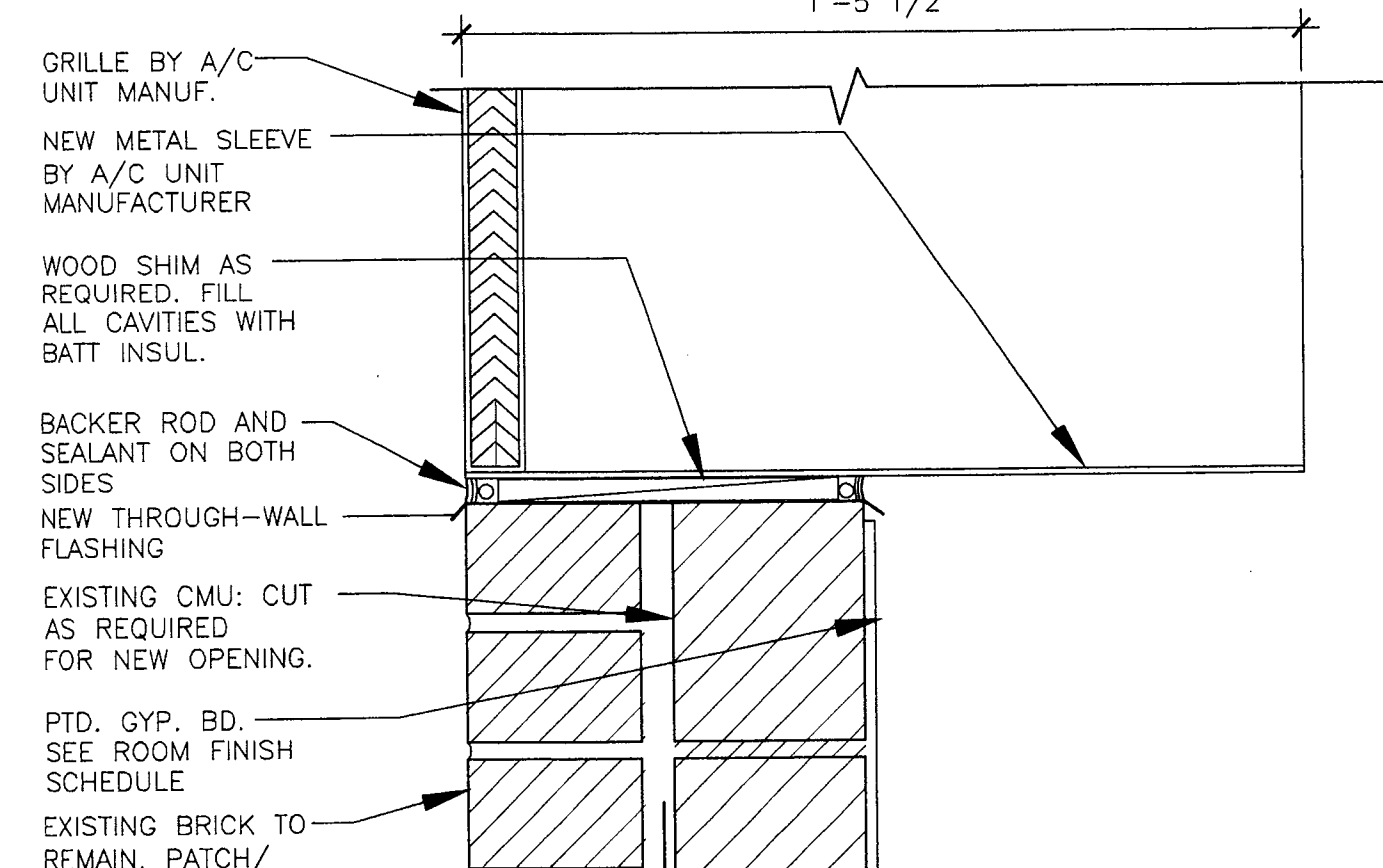
**B10 TYPICAL ELEVATOR DOOR DETAIL**  
SCALE 1 1/2"=1'-0"



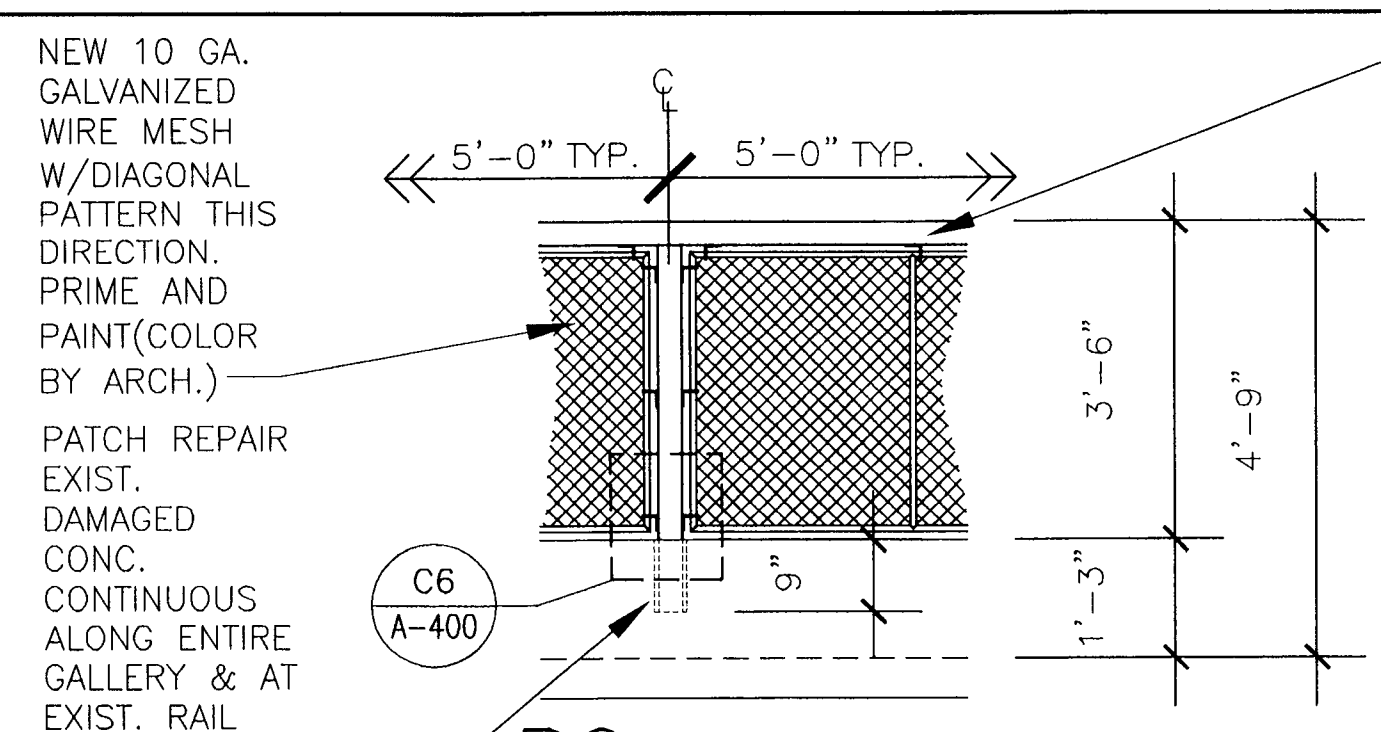
**E10 TYPICAL ELEVATOR HEAD & SILL DETAIL**  
SCALE 1 1/2"=1'-0"



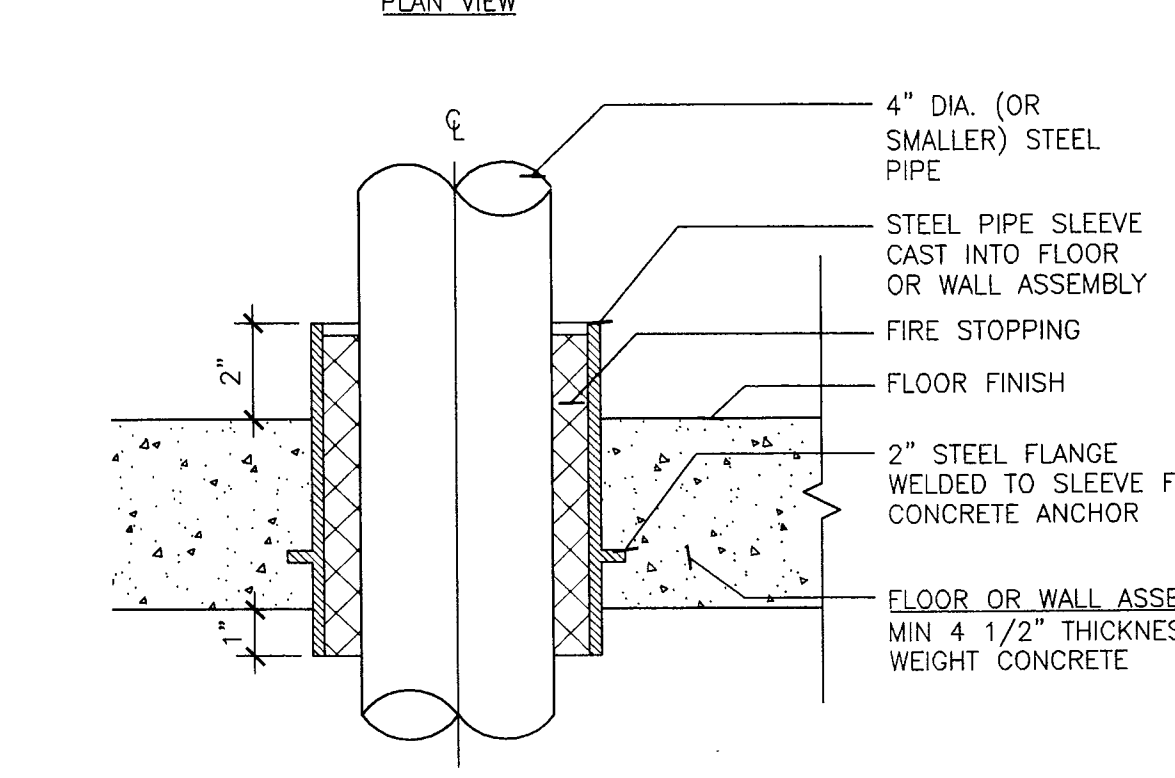
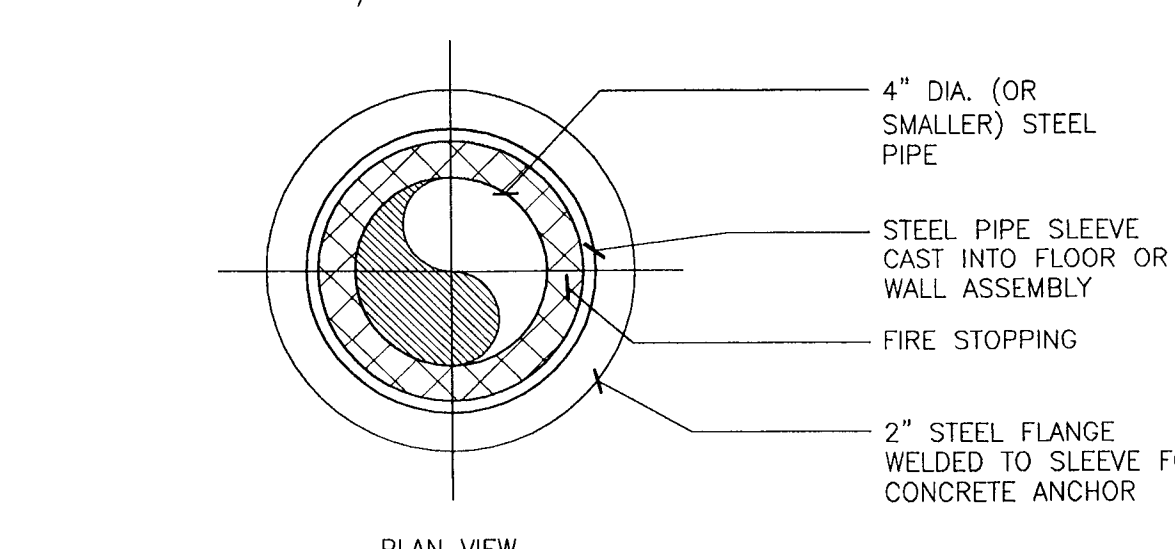
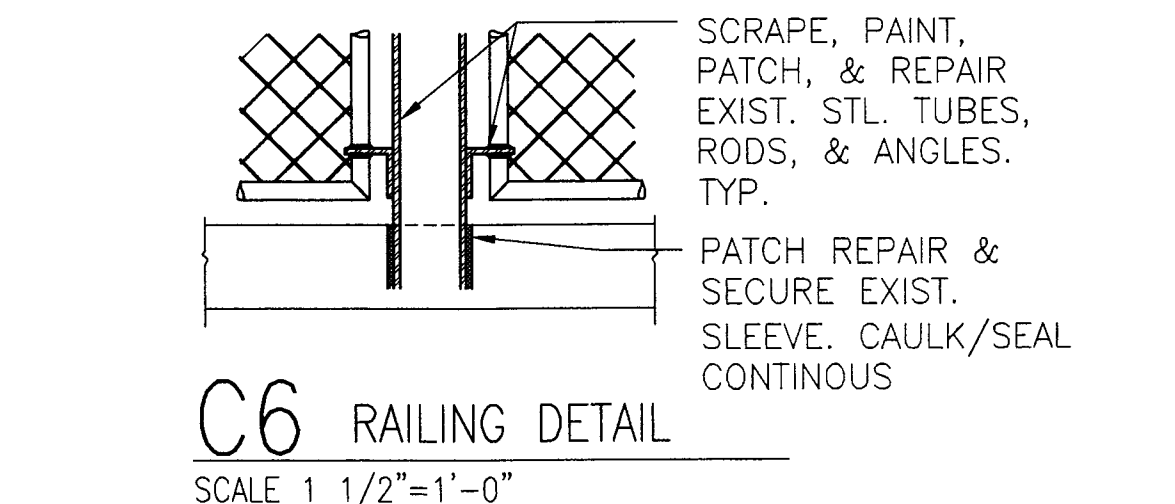
**F10 JAMB @ AIR CONDITIONING UNIT**  
SCALE 3"=1'-0"



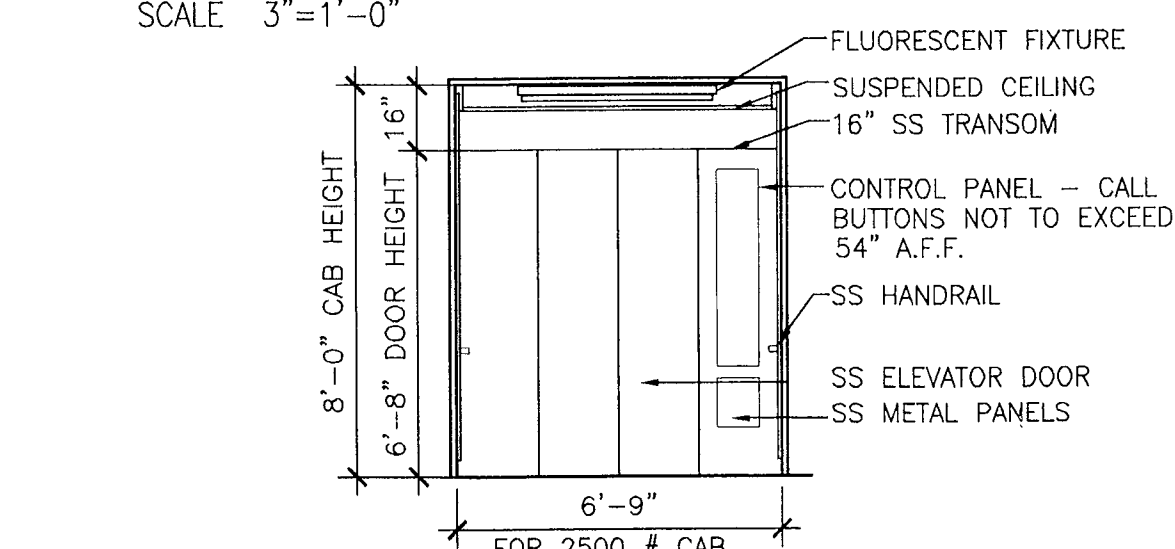
**H10 SILL DETAIL @ LOUVER BASE**  
SCALE 3"=1'-0"



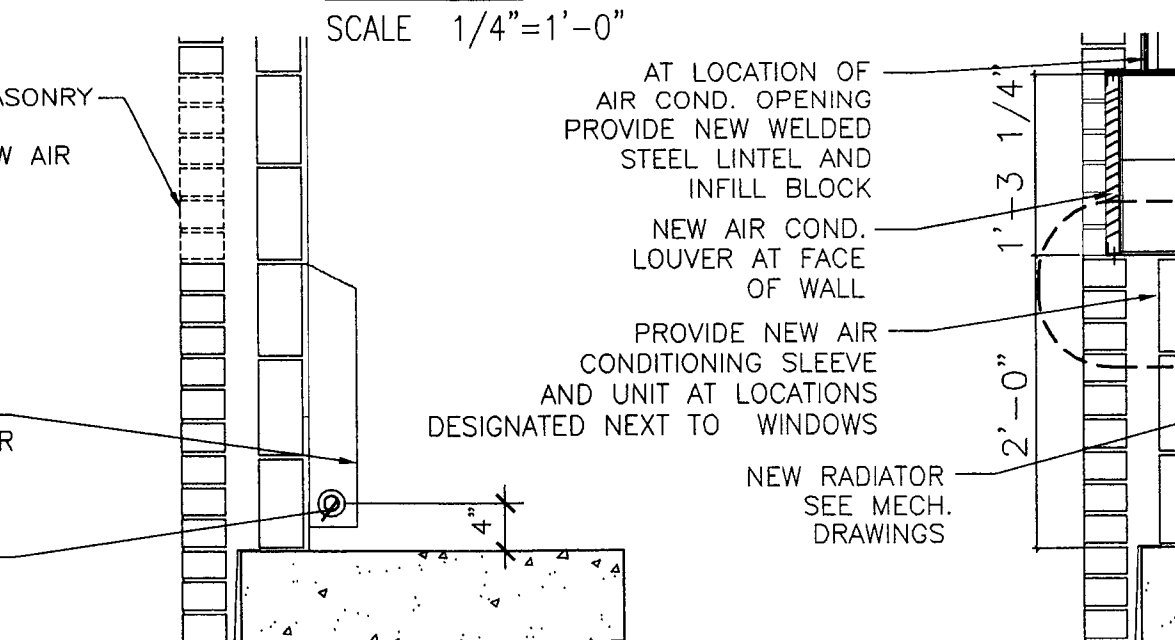
**B6 ELEVATION OF GALLERY RAILING**  
SCALE 1/2"=1'-0"



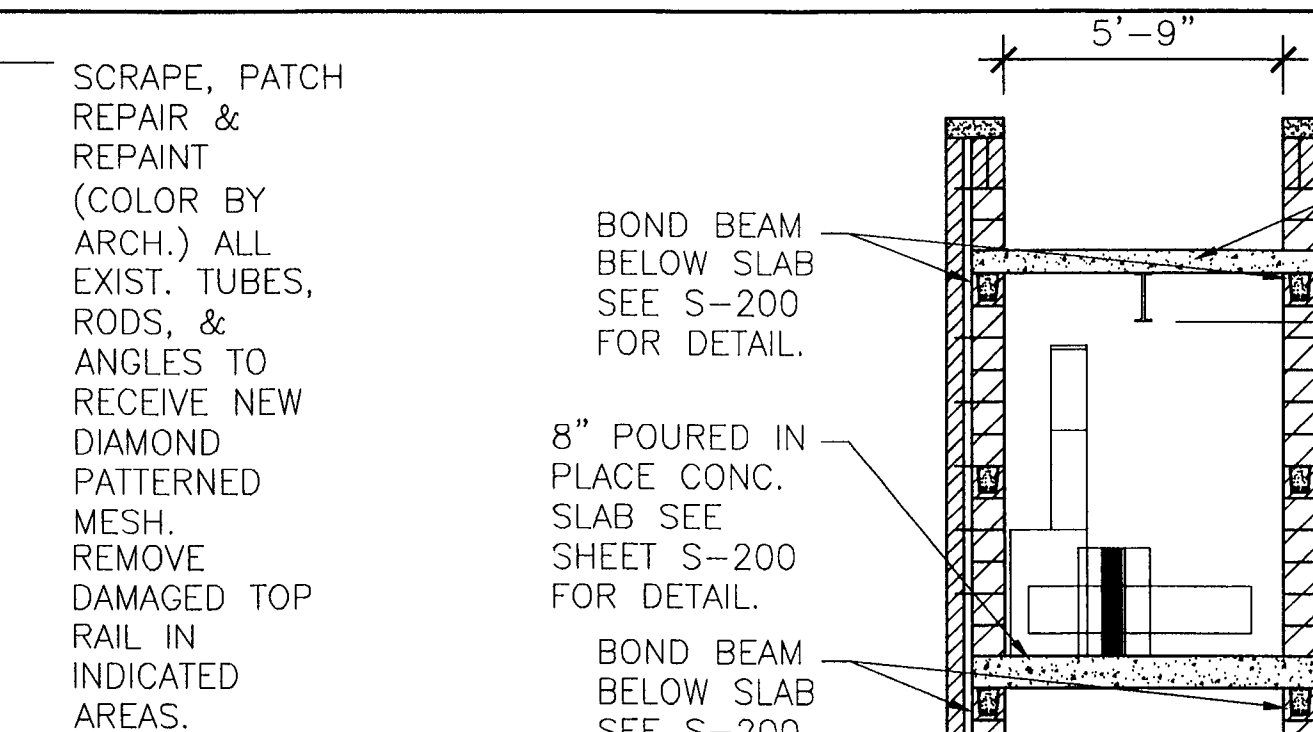
**F6 INTERIOR FIRESTOP DETAIL**  
SCALE 3"=1'-0"



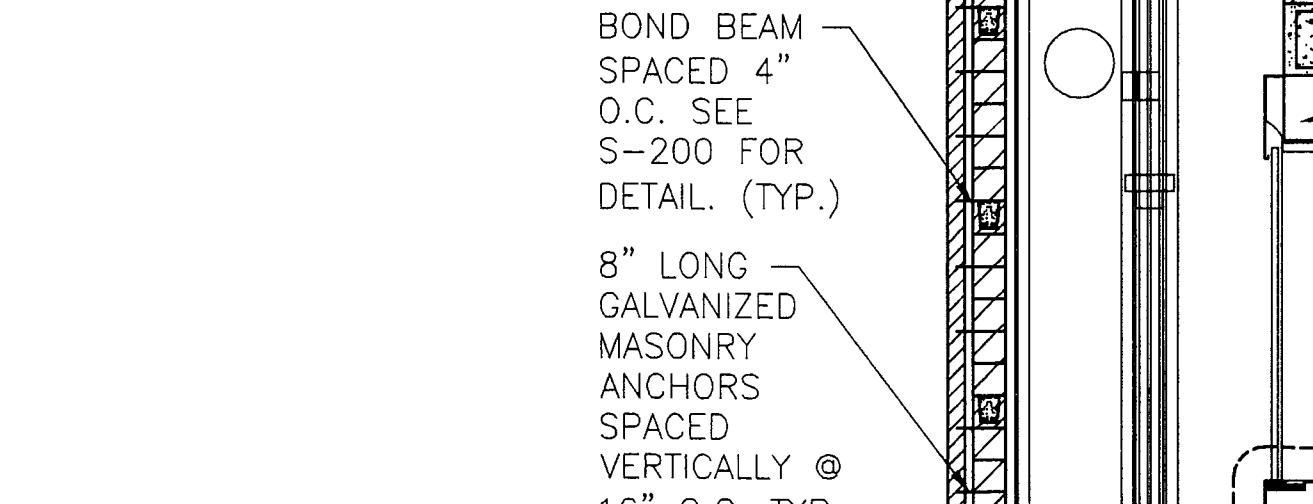
**G6 FRONT VIEW INTERIOR CAB ELEVATIONS**  
SCALE 1/4"=1'-0"



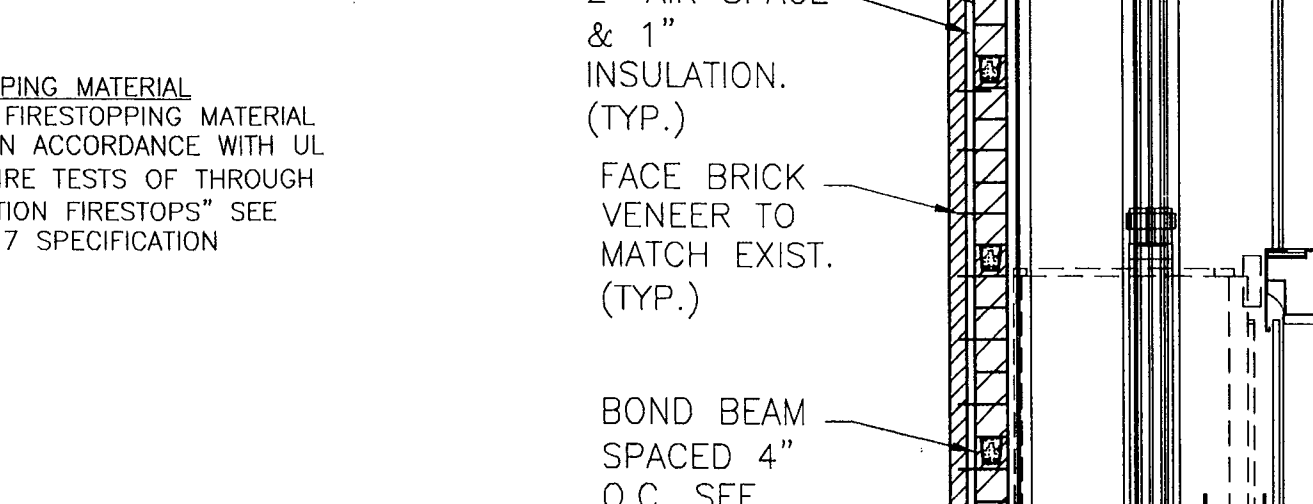
**H6 EXTERIOR DEMOLITION WALL SECTION**  
SCALE 3/4"=1'-0"



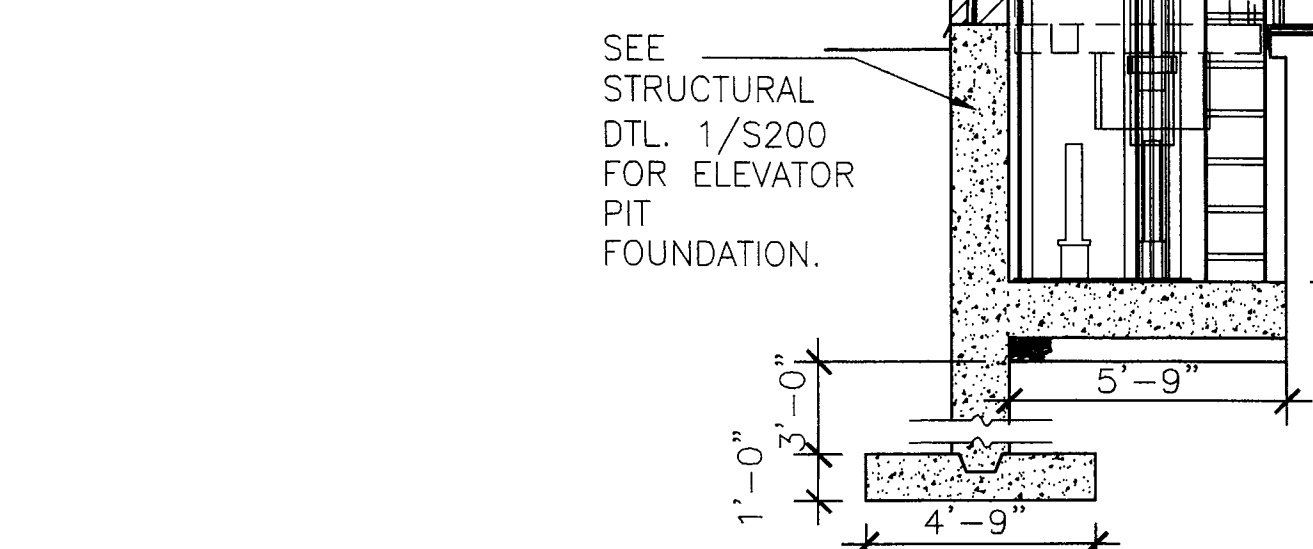
**E3 NEW ELEV. SHAFT SECTION -2500 LB CAPACITY**  
SCALE 1/4"=1'-0"



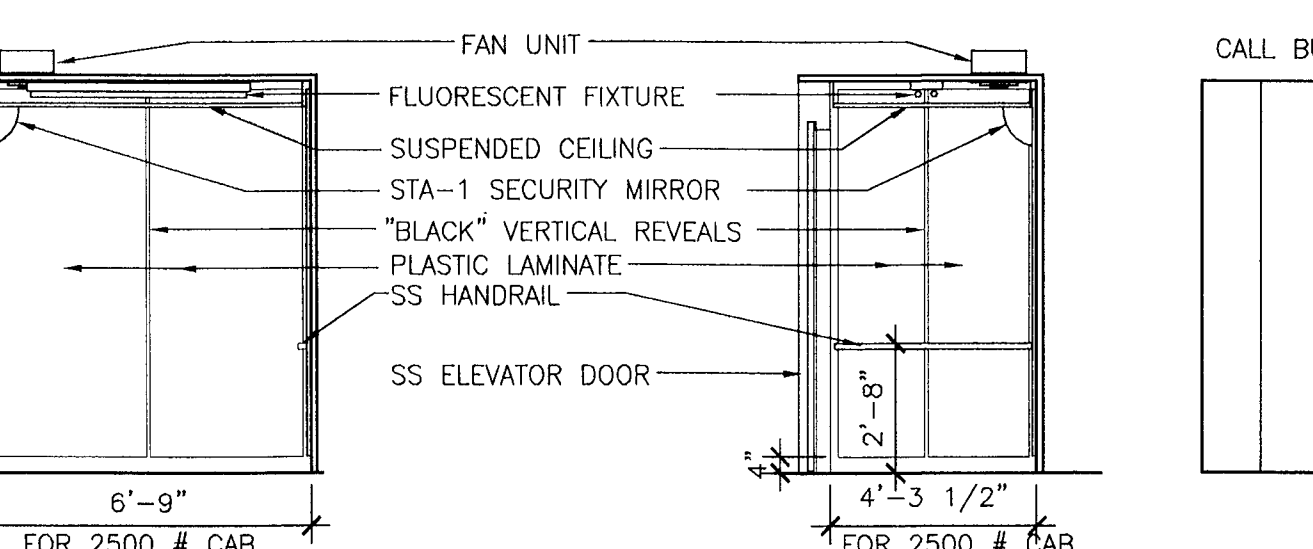
**G2 ELEVATOR HALL ELEVATION**  
SCALE 1/4"=1'-0"



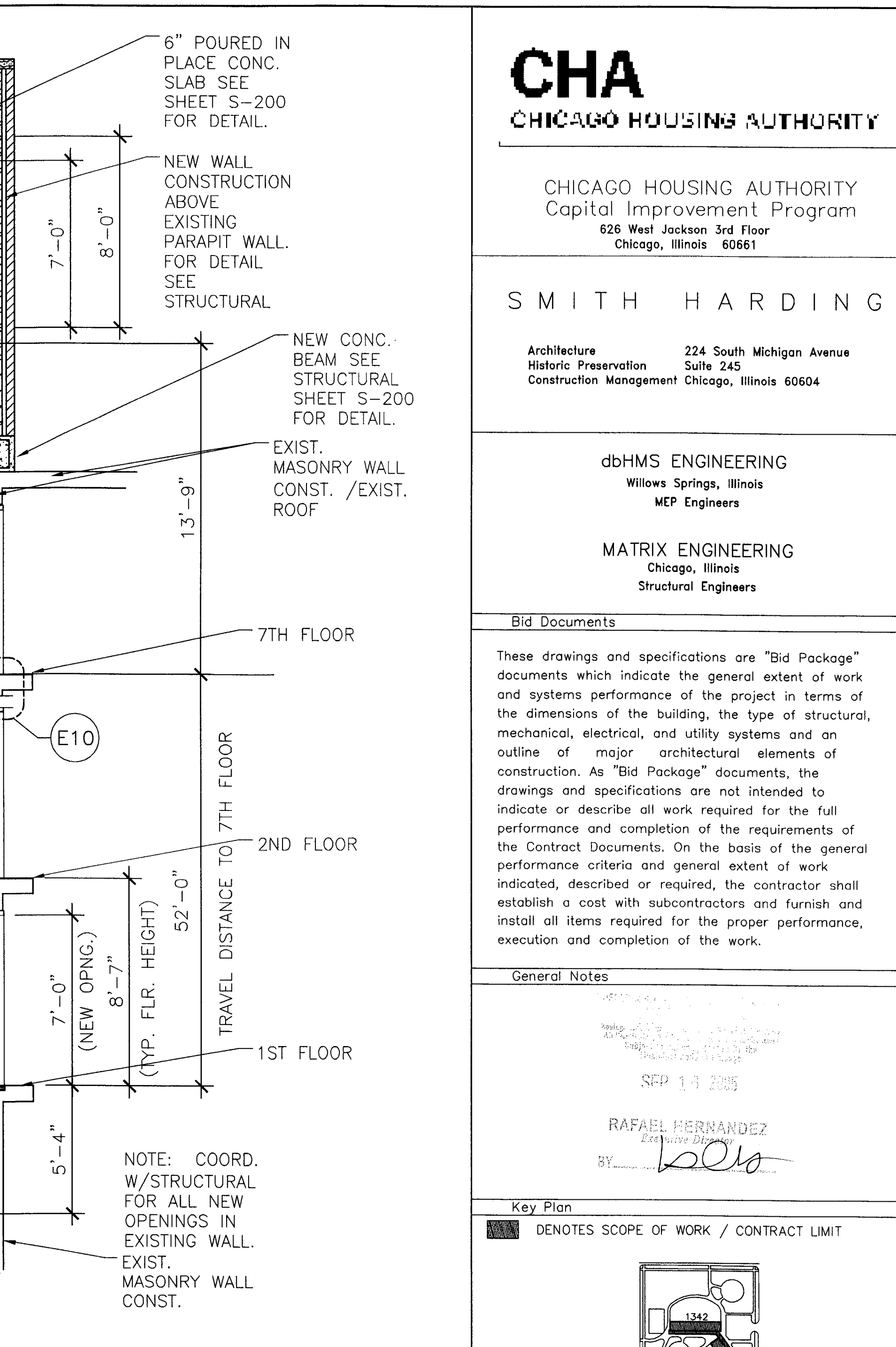
**H3 TYPICAL DEMOLITION DETAIL ELEVATION**  
SCALE 1/4"=1'-0"



**H5 EXTERIOR WALL SECTION**  
SCALE 3/4"=1'-0"



**H2 TYPICAL DETAIL ELEVATION**  
SCALE 1/4"=1'-0"



**Key Plan**

NO.	DATE	DESCRIPTION	BY
5	10.08.04	ISSUED FOR BID	
4	9.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

**REVISIONS**

CHICAGO HOUSING AUTHORITY  
CAPITAL CONSTRUCTION DIVISION  
ARCHITECTURAL/ENGINEERING SERVICES  
626 W. JACKSON  
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

**ELEVATOR DETAILS**

2 WEST 15TH STREET  
FAMILY DEVELOPMENT

HUD NUMBER RH-7

**CHA**  
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY  
Capital Improvement Program  
626 West Jackson 3rd Floor  
Chicago, Illinois 60661

**SMITH HARDING**

Architecture 224 South Michigan Avenue  
Historic Preservation Suite 245  
Construction Management Chicago, Illinois 60604

**dbHMS ENGINEERING**  
Willows Springs, Illinois  
MEP Engineers

**MATRIX ENGINEERING**  
Chicago, Illinois  
Structural Engineers

**Bid Documents**

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

**General Notes**

SEP 13 2005  
RAFAEL HERNANDEZ  
Executive Director

**Key Plan**

DENOTES SCOPE OF WORK / CONTRACT LIMIT

1312, 1314, 1316, 1318, 1320, 1322, 1324, 1326, 1328, 1330, 1332, 1334, 1336, 1338, 1340, 1342, 1344, 1346, 1348, 1350, 1352, 1354, 1356, 1358, 1360, 1362, 1364, 1366, 1368, 1370, 1372, 1374, 1376, 1378, 1380, 1382, 1384, 1386, 1388, 1390, 1392, 1394, 1396, 1398, 1400

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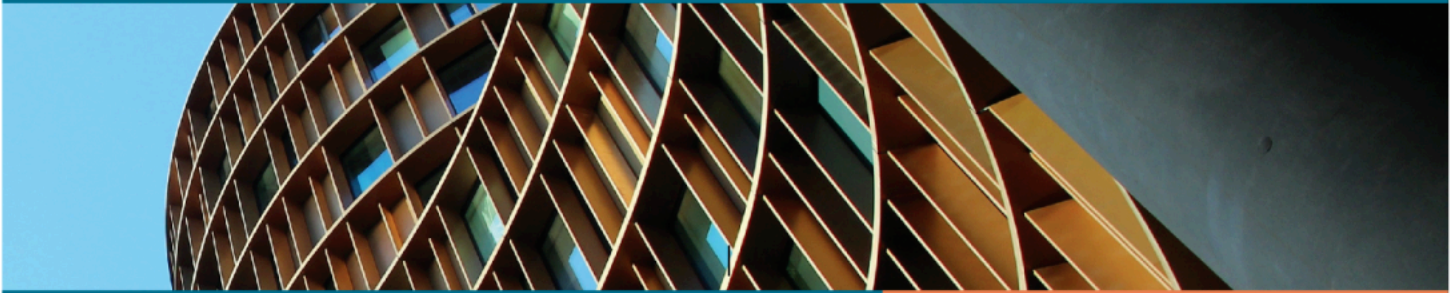
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The insight you need. The independence you trust.

## Loomis Courts

1314 & 1342 West 15th Street  
Chicago, Illinois 60608

BBG Project: 0523103179

## Prepared For

Chicago Housing Authority  
60 East Van Buren Street  
Chicago, IL 60605

## Report Date

July 24, 2023

## Site Inspection Date

June 27, 2023

## Prepared By

BBG Assessments, LLC  
Locations Nationwide

## BBG Main Contact

Blaine S. Bauman, E.P. | [bbauman@bbgres.com](mailto:bbauman@bbgres.com) | 207.606.5036  
Doug Olson, PE | [dolson@bbgres.com](mailto:dolson@bbgres.com) | 332.219.8092

July 24, 2023

Chicago Housing Authority  
60 East Van Buren Street  
Chicago, IL 60605

Re: Draft Physical Needs Assessment  
Loomis Courts  
1314 & 1342 West 15th Street  
Chicago, Illinois 60608  
BBG Project 0523103179

Dear Miguel Moreno:

BBG Assessments, LLC (BBG) is pleased to provide a Physical Needs Assessment (PNA) along with cost estimates tables including Non-Critical, Critical, and Replacement Reserves.

This assessment included a site reconnaissance as well as research and interviews with on-site personnel and property ownership. An assessment was made, preliminary cost estimates developed, and recommendations outlined.

Three follow-up studies has been recommended and are discussed in Section 1.1.

We appreciate the opportunity to provide engineering services to you. If you have any questions concerning this report, or if we can assist you in any other matter, please contact me at [bbauman@bbgres.com](mailto:bbauman@bbgres.com) or 207.606.5036.

Sincerely,



Blaine S. Bauman, E.P.  
Senior Managing Director  
BBG Assessments, LLC

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# 1.0 EXECUTIVE SUMMARY

On June 27, 2023, BBG conducted a Site evaluation of the Loomis Courts located at 1314 & 1342 West 15th Street, Chicago, Illinois, that consisted of a review of the physical condition and maintenance of the Site. The building envelopes, structural systems, and roofs of the facility were evaluated, as well as the grounds and pavement. The evaluation included review of the building areas and Site property, including common areas and a selection of representative apartments.

It is the opinion of BBG that the Site and improvements are in fair and serviceable condition, consistent with other properties of similar age that have been adequately maintained. Some limited deferred maintenance items were noted.

## 1.1 Follow-Up Study Recommendations

### 1. ELEVATORS:

The City of Chicago's Building Permit & Inspection Records website identifies violations for all of the elevators at the Subject Property. Additionally, the freight operators were out of service at the time of inspection. It is recommended that elevator assessments be performed to identify deficiencies and provide a scope/quote for needed repairs/upgrades.

### 2. ROOFING SYSTEMS:

The membranes for the flat roofs at both buildings appear to have leaks in select locations. It is recommended that a roofing contractor be engaged to perform a roofing inspection at each building, opine on conditions, identify leaks, and recommend a repair scope.

### 3. PLUMBING SYSTEM LEAKS:

Water damage resulting from plumbing leaks was observed in both buildings. It is recommended that a plumbing contractor be engaged to perform a comprehensive inspection of the plumbing systems, identify plumbing leak sources, and recommend a repair scope.

General Site Information	
Property Name:	Loomis Courts
Street Address:	1314 & 1342 West 15th Street
City, County, State:	Chicago, Cook County, Illinois
Primary Use:	Multifamily
Year Built & Age:	1961, 62 years old
Year(s) of Addition:	none reported
Year(s) of Remodel/Rehab:	none reported
Ownership Entity:	Chicago Housing Authority



General Site Information	
Facility Operator:	The Habitat Company
Number of Buildings:	2 mid-rise residential towers
Number of Stories:	7
Cellar/Ground-floor/Crawl Space:	Basement level
Total Number of Units:	124
Ancillary Buildings:	none
PNA Assessor(s):	Lamar Davis and John Pierce
Date of Evaluation:	June 27, 2023
Point of Contact:	Mr. Miguel Moreno
Weather:	76 and Partly Cloudy
Estimated Remaining Useful Life:	40 years

## 2.0 PURPOSE & SCOPE

The purpose of this study was to observe and provide a report on the physical condition and maintenance of the subject property and its improvements. This report addresses component repair/replacements that BBG believes are significant for the continued operation of this facility in its current usage and occupancy.

Unit inspection requirements include inspection of at least one apartment in each building and one apartment of each unit type. BBG inspected (12) of the (126) apartment units (10%). The selection set included at least one of each unit type. It is the opinion of BBG that the selection set of units inspected is representative and the unit inspection count is sufficient for the accurate completion of this PNA.

The scope of services included observations of the Site and its improvements, reviews of available construction and maintenance documents, Site survey plan, legal description, location maps, and interviews with various persons. The evaluation was performed to assess the physical condition and maintenance status of the subject property and to recommend repair and maintenance items BBG considers significant for the subject property to continue in its current operation and/or to be restored to good condition consistent with comparable properties.

## 3.0 PROPERTY CONDITIONS

### 3.1 Site

Vehicular access to the Subject Property is provided by way of paved entry drives located off of West 15th Street, West 14th Place, and South Throop Street. The entry drives are unsecured, with no gates or barriers/vehicular gates. BBG has calculated that there is approximately 19,000 square feet of asphalt pavement (parking area and drive aisles) at the Subject Property. The parking areas utilize concrete wheel stops and concrete curbing edges the pavement. The asphalt pavement appears to generally be in fair condition, with alligator cracking and potholes in select locations (especially in the parking lot to the north of 1342 West 15th Street).

Pedestrian access to the site is provided by way of concrete sidewalks that are connected to the municipal sidewalks, site parking areas, site amenities and building entrances. The concrete sidewalks and concrete flatwork at the Subject Property appear to be in generally good condition.

Site landscaping includes grassy areas and numerous trees and appears to be in generally good condition. The site layout incorporates an open central courtyard area with walkways and two playground areas. The northern playground area consists of a play structure with slides and a cargo net for climbing. The southern playground area is a set of swings. All playground equipment was observed to be in generally good condition.

Site lighting is comprised of pole-mounted light fixtures and building-mounted fixtures at building entryways. Site lighting fixtures appear to be in good and serviceable condition.

Prefinished metal fencing is provided around the perimeter of the property. Fencing was observed to be in good condition.

Dumpsters are located adjacent to the parking lots to the north of the residential buildings. The dumpsters are inside of masonry enclosures with wooden gates at the northwest end of the property. The dumpster enclosures were observed to be in fair to good condition.

#### 3.1.1 Recommendations

1. It is recommended that the asphalt pavement be milled, overlaid, and restriped. Asphalt sealcoating and restriping is recommended every 5 years.

### 3.2 Structural Frame - Building Envelope

The Subject Property includes two mid-rise residential buildings located at 1314 and 1342 West 15th Street. Both buildings are seven stories tall, with full basement foundations. The buildings' superstructures are presumed to consist of masonry/concrete load-bearing walls supporting elevated concrete floor and roof slabs.

The exterior walls of the buildings are finished with brick veneer. The exterior brick was observed to be in overall fair condition, with signs of efflorescence and areas with damaged mortar. Gaps between dissimilar materials on the exterior of the buildings are filled with caulk.

The buildings are configured with flat roofs, finishes with TPO membrane roofing, assumed to be installed over polyiso insulation. The flat roof membranes at both buildings appear to have leaks in select locations. Evidence of water ponding was noted throughout the roof fields.

There are plumbing vent penetrations throughout the roof fields. Storm water runoff is drained off the flat roof systems via internal roof drains that connect to the municipal underground storm water collection system.

The roofing systems appear to be approaching the end of their useful life.

The building design incorporates enclosed stair towers that provides access to the various levels of the buildings. Access to units is via elevated concrete walkways located on the exterior of the buildings. These walkways utilize painted metal railings.

Building fenestrations include painted metal unit entry doors and insulated vinyl windows. The windows and doors were observed to be in fair condition.

### **3.2.1 Recommendations**

1. Selective repairs to the brick façade and tuckpointing are recommended.
2. A roofing inspection is recommended to establish conditions, identify leaks, and provide repair/replacement scopes. The TPO roofing is approaching the end of its useful life and replacement is recommended in the short term.

### **3.3 Mechanical & Electrical Systems**

The main switch gear panel is on a 120/208-volt, 3-phase, 4-wire. Circuit breaker sub-panels throughout the facility were manufactured by Siemens, and have 800-amp capacities. Distribution wiring throughout the building was reported to be copper.

The facility is equipped with two (Generac), natural gas back-up generators. The generators are located on the west side of each building. The generators were reportedly installed in 2006 and have capacities of 130 kW. The generators are coupled with automatic transfer switches and support life safety equipment, emergency lighting, and a selection of outlets and building equipment. The generators appear to be in good condition.

Each building utilizes two gas-fired boilers that provide domestic hot water (DHW) throughout the buildings. Additionally, each building is equipped with two 200-gallon hot water storage tanks. Hot water is circulated throughout the buildings with circulation pumps. The boilers and hot water tanks were installed in 2020.

Each building utilized two gas-fired boilers to provide radiant heating throughout the buildings. These boilers were installed in 2020.

Units are equipped with through-wall air conditioning units in living rooms and bedrooms.

Each building has two mini-split ductless air conditioning systems installed to cool elevator mechanical rooms. These air conditioning systems were observed to not be operational.

### **3.3.1 Recommendations**

1. Replace blower for Boiler 1 at 1314 West 15th Street.
2. Replacement of through-wall air conditioning units is recommended at the end of their useful lives.
3. The mini-split ductless air conditioning systems servicing the elevator mechanical rooms are not operational. These units should be repaired as Life Safety repairs.
4. Water damage resulting from plumbing leaks was observed in both buildings. It is recommended that a plumbing contractor be engaged to perform a comprehensive inspection of the plumbing in all units and identify plumbing leaks.

### **3.4 Elevators**

The site buildings are seven stories in height. Each building is equipped with a passenger elevator and a freight elevator that provide access to all of the levels.

The passenger elevators utilize electric traction and have 2,500-pound capacities. The elevator equipment was reported to be original to building construction. Elevator equipment in the passenger elevators was reportedly replaced in 2006.

The City of Chicago's Building Permit & Inspection Records website identifies violations for all of the elevators at the Subject Property. Additionally, the freight operators were out of service at the time of inspection.

Each building has two mini-split ductless air conditioning systems installed to cool elevator mechanical rooms. These air conditioning systems were observed to not be operational.

### **3.4.1 Recommendations**

1. Correct violations identified in most recent elevator inspections for both passenger and freight elevators as Life Safety repairs.
2. Replace equipment and controls in freight elevators.
3. Replace elevator cab finishes in freight elevators.
4. The mini-split ductless air conditioning systems servicing the elevator mechanical rooms are not operational. These units should be repaired as Life Safety repairs.

### **3.5 Life & Fire Safety**

Throughout the two buildings there are illuminated exit signs, emergency lighting, emergency pull stations, and horn/strobe alarms. The alarms are controlled/monitored by central fire alarm control panels (FACP) and communicators. The FACP's are equipped with battery backups. The fire alarm control panels were observed to be in good condition.

#### **3.5.1 Recommendations**

No recommendations at this time.

### **3.6 Interior Elements - Common**

The subject property contains a leasing office. The leasing office is configured with administrative offices, a kitchen, and bathroom. Leasing office finishes including vinyl composite tile flooring and painted gypsum wall board walls/ceilings.

Trash chutes were observed to be in poor condition, due to several of them not opening and latching properly.

#### **3.6.1 Recommendations**

1. Repair trash chutes to restore proper operability.

### **3.7 Interior Elements - Tenant**

Unit floors are finished with vinyl composite tile. Walls in units are finished with painted gypsum wall board.

Kitchens are equipped with wood-veneer cabinets and plastic laminate countertops. Kitchen cabinets were observed to be in fair to poor condition. Cabinets in many units are damaged with missing drawers.

Units are equipped with refrigerators, gas ranges, and range hoods, of varying ages. Appliances generally appeared to be in fair condition.

Unit bathrooms are equipped with wall-mounted lavatories, toilets, and bathtubs with surrounds. The wall-mounted lavatories and toilets generally appeared to be in fair condition. Bathtubs and surrounds generally appeared to be in poor condition.

#### **3.7.1 Recommendations**

1. Roof leak observed in Building 1314, Unit 604. Repair of leak is recommended.
2. Roof leak observed in Building 1342, Unit 705. Repair of leak is recommended.
3. Wall-mounted lavatory disconnected from wall was observed in Building 1314, Unit 601. Repair is recommended.



4. Plumbing leak in bathroom was observed in Building 1314, Unit 104. Repair is recommended.
  5. Hole in bathtub was observed in Building 1342, Unit 505. Repair is recommended.
  6. Damaged cabinets were observed in Building 1342, Unit 501. Repair/replacement is recommended.
- 
1. The kitchen cabinets are approaching the end of their useful life. Replacement is recommended.
  2. Bathtubs and surrounds have reached the end of their useful life. Replacement is recommended.

### 3.8 Unit Inspection Schedule

#### Unit Inspection Schedule

Count	Building ID	Unit ID	Unit Type	# of Beds	# of Baths	Status
1	1314	201	2 Bed / 1 Bath	2	1	Occupied
2	1314	302	1 Bed/ 1 Bath	1	1	Vacant
3	1314	604	1 Bed/ 1 Bath	1	1	Occupied
4	1314	601	2 Bed / 1 Bath	2	1	Vacant
5	1314	606	1 Bed/ 1 Bath	1	1	Occupied
6	1314	104	1 Bed/ 1 Bath	1	1	Vacant
7	1342	705	2 Bed / 1 Bath	2	1	Vacant
8	1342	603	1 Bed / 1 Bath	1	1	Vacant
9	1342	501	2 Bed / 1 Bath	2	1	Occupied
10	1342	505	2 Bed / 1 Bath	2	1	Vacant
11	1342	404	1 Bed / 1 Bath	1	1	Occupied
12	1342	307	2 Bed / 1 Bath	2	1	Occupied

## 4.0 OPINIONS OF PROBABLE COSTS

Based on our field observations, interviews, and document reviews, it is the opinion of BBG that the Site and improvements are in fair and serviceable condition and have been adequately maintained, with some deferred maintenance items noted. It is BBG's opinion that the Site and associated building could continue to be utilized for the intended purpose for at least an additional 40 years, provided the recommendations for repair/replacement are implemented in a timely manner and the physical improvements receive continuing preventative maintenance.

## 5.0 ASSESSOR QUALIFICATIONS

Lamar Davis, John Pierce, and Blaine Bauman are qualified and experienced Physical Needs Assessors.

## 6.0 LIMITING CONDITIONS

This report was compiled based partially on information supplied to BBG from outside sources including representatives of the client, the property owner, the property manager, contractors servicing the property, or local building code officials and other information in the public domain. The conclusions and opinions herein are based on the information BBG obtained in compiling the report, which is on file at the BBG office. BBG makes no warranty as to the accuracy of statements made by others that may be contained in the report, nor are any other warranties or guarantees, expressed or implied, included or intended by the report, except that it has been prepared in accordance with the current generally accepted practices and standards consistent with the level of care and skill exercised under similar circumstances by other professional consultants or firms performing the same or similar services. Because the facts forming the basis for the report are subject to professional interpretation, differing conclusions could be reached. BBG does not assume responsibility for the discovery and elimination of hazards that could possibly cause accidents, injuries, or damage. Compliance with submitted recommendations or suggestions does not ensure elimination of hazards or the fulfillment of the Clients obligations under local, state, or federal laws or any modifications or changes to such laws. None of the work performed hereunder shall constitute or be represented as a legal opinion of any kind or nature but shall be a representation of findings of fact from records examined.

No PNA report can wholly eliminate the uncertainty regarding the presence of physical deficiencies and the performance of the building systems. Preparation of a PNA report in accordance with ASTM guidelines is intended to reduce the uncertainty regarding the potential for component or system failure and to reduce the potential that such component or system may not be initially observed.

## A1: Overall Property and Elevation Photos



1. Building elevation



2. Building elevation



3. Building elevation



4. Building elevation



5. Building elevation



6. Building elevation





7. Building elevation

## A2: Site Photos



1. Masonry dumpster enclosure with wood gate



2. Typical asphalt pavement



3. Typical asphalt pavement



4. Typical concrete sidewalk



5. Playground equipment



6. Playground swingset

## A3: Structural Frame & Envelope Photos





1. Typical brick facade



2. Typical TPO roofing



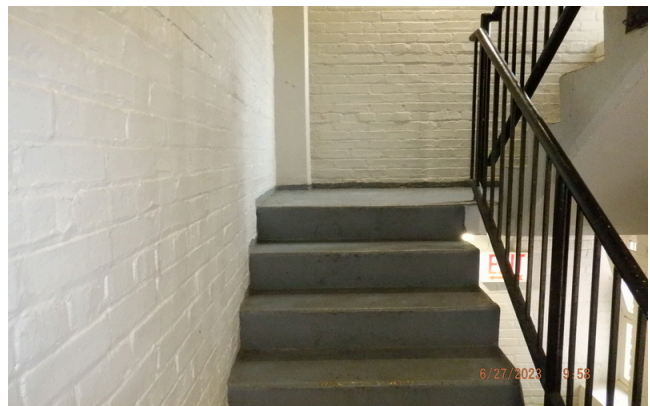
3. Typical TPO roofing



4. Typical basement vinyl hopper windows



5. Typical vinyl window



6. Covered stair tower



7. Typical elevated exterior concrete walkway with metal railings

## A4: Mechanical, Electrical, Plumbing Photos





1. DHW boilers



2. Hot water storage tanks



3. Radiant heat boilers



4. Typical radiator



5. Typical unit through-wall air conditioning unit



6. Elevator mechanical room mini-split air handler





7. Elevator mechanical room mini-split condensing units



8. Gas-fired emergency generator



9. Switchboard panels



10. Electrical meters



11. Typical unit electrical panel



12. Typical GFCI receptacle



13. Basement sump pump



14. Exterior gas piping

## A5-A6: Fire & Life Safety and Elevator Photos





1. Fire alarm control panel



2. Passenger elevator



3. Passenger elevator



4. Passenger elevator



5. Electric traction elevator hoist equipment



6. Typical hard-wired smoke detector

## A7: Common Area Photos



1. Leasing Office



2. Leasing Office



3. Leasing Office kitchen



4. Leasing Office restroom

## A8: Unit Inspection Photos





1. Building 1314 Unit 104 - Kitchen



2. Building 1314 Unit 104 - Living room



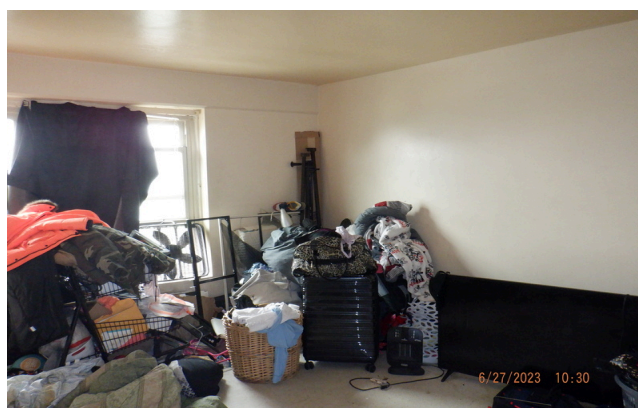
3. Building 1314 Unit 104 - Bathroom



4. Building 1314 Unit 104 - Bathroom



5. Building 1314 Unit 606 - Kitchen



6. Building 1314 Unit 606 - Living room





7. Building 1314 Unit 606 - Bedroom



8. Building 1314 Unit 606 - Bathroom



9. Building 1342 Unit 307 - Kitchen



10. Building 1342 Unit 307 - Bedroom



11. Building 1342 Unit 307 - Bathroom



12. Building 1345 Unit 705 - Kitchen



13. Building 1345 Unit 705 - Living room



14. Building 1345 Unit 705 - Bedroom

## A9: Recommendations Photos





1. Mill, overlay, and restripe asphalt parking lots. Asphalt sealcoating is recommended every 5 years.



2. Selective repairs to the brick facade and tuckpointing are recommended.



3. Identify and repair roofing leaks. The TPO roofing is approaching the end of its useful life and replacement is recommended.



4. Replace blower for Boiler 1 at 1314 West 15th Street



5. Replacement of through-wall air conditioning units is recommended at the end of their useful lives.



6. The mini-split ductless air conditioning systems servicing the elevator mechanical rooms are not operational. These units should be repaired or replaced.





7. Water damage resulting from plumbing leaks was observed in both buildings. It is recommended that a plumbing contractor be engaged to perform



8. Correct violations identified in most recent elevator inspections for both passenger and freight elevators as Life Safety



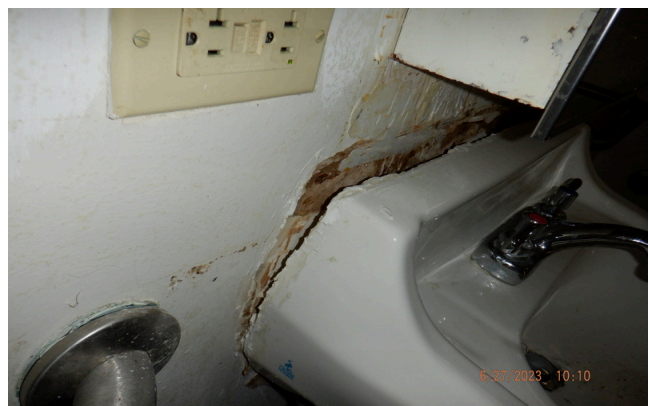
9. Repair trash chutes to restore proper operability.



10. Roof leak observed in Building 1314 Unit 604. Repair of leak is recommended.



11. Roof leak observed in Building 1342 Unit 705. Repair is recommended.



12. Wall-mounted lavatory disconnected from wall was observed in Building 1314 Unit 601. Repair is recommended





13. Plumbing leak in bathroom was observed in Building 1314 Unit 104. Repair is recommended.



14. Hole in bathtub was observed in Building 1342 Unit 505. Repair is recommended.



15. Damaged cabinets were observed in Building 1342 Unit 501. Repair/replacement is recommended.



16. The kitchen cabinets are approaching the end of their useful life. Replacement is recommended.

Bathtubs and surrounds have reached the end of their

## B: SITE MAPS



### Property Location

Loomis Courts  
1314 & 1342 West 15th Street  
Chicago, IL 60608  
BBG Project No. 0523103179

**BBG**  
REAL ESTATE SERVICES





### Property Layout

Loomis Courts  
1314 & 1342 West 15th Street  
Chicago, IL 60608  
BBG Project No. 0523103179

**BBG**  
REAL ESTATE SERVICES



## C: SUPPORTING DOCUMENTATION



## Building Permit and Inspection Records

### Disclaimer

The information presented on this website is informational only and does not necessarily reflect the current condition of the building or property. The fact that a permit was issued does not confirm that work was performed, or that work was performed in accordance with that permit and the requirements of the Municipal Code.

Information on inspections and alleged violations reflect conditions found by the inspector at the time of the inspection and not necessarily the current status of those alleged violations or the current condition of the property. The absence of alleged violations on this website does not mean a building or property is in compliance with the requirements of the Municipal Code.

The Department of Buildings may refer certain alleged violations to the City's Department of Law for enforcement proceedings in the Department of Administrative Hearings or the Circuit Court of Cook County. Please contact the [Department of Administrative Hearings](#) or the [Clerk of the Circuit Court](#), respectively to obtain records of these proceedings.

### INPUT ADDRESS

1314 W 15TH ST

### RANGE ADDRESS

1314-1314 W 15TH ST CHICAGO IL 60608

### BUILDING ATTRIBUTES

BLDG ID	STORIES	BASEMENT	LENGTH	WIDTH	HEIGHT	FLR AREA	CONSTR TYPE	PORCH	LOT WIDTH	LOT LENGTH	DU
374821	7	Y	100	75	0	7500	1A		75	100	62

### BUILDING PERMITS

PERMIT #	DATE ISSUED	DESCRIPTION OF WORK
100899244	11/10/2020	CEDA WEATHERIZATION PROGRAM. INSULATE THROUGHOUT, REPLACE BATHROOM EXHAUST FANS, REPLACE BOILERS. REPLACE DWH'S
100681637	11/30/2016	Replace hoist ropes on (1) one 8 fl passenger elevator Car #1 (EV007789)
100365311	09/28/2010	INSTALL 1080 LF OF 54" HIGH HAND RAIL-SAME AS EXISTING
100319754	11/09/2009	LOW VOLTAGE PHONE ENTRY SYSTEM
100218194	12/26/2007	
100210085	11/07/2007	CHA Loomis Courts, revision to previous permit for rehabilitation to existing 7 story multi-unit residential building.
100186270	06/27/2007	INSTALL ONE TEMPORARY CONSTRUCTION HOIST AS PER PLANS
100177525	06/25/2007	INSTALLATION OF TEMPORARY SINGLE HOIST
100141656	10/06/2006	INSTALL ONE PASSENGER ELEVATOR AS PER PLANS
100102624	03/20/2006	REVISION TO PERMIT #1049046 TO CHANGE ELECTRICAL CONTRACOTR, SCOPE OF WORK TO REMAIN THE SAME.
100086676	12/28/2005	MODERNIZE ONE PASSENGER ELEVATOR AS SCOPE OF WORK
100077784	11/09/2005	INSTALL ONE TEMPORARY CONSTRUCTION HOIST AS PER PLANS
B20421915	09/16/2005	ERECT ADDITION OF NEW ELEVATOR HOISTWAY AT EXTERIOR AND INTERIOR ALTERATIONS AND LANDSCAPING.
100058875	07/27/2005	INSTALL ONE TEMPORARY CCONSTRUCTION HOIST
B20330427	11/21/2003	ERECT EIGHT (8) ELECTRIC STRGE HI-LO SCAFFOLDS 11-24-03 TO 11-24-04
B98021017	09/30/1998	INSTALL 2 G.A.L. DOOR RESTRICTORS

PERMIT #	DATE ISSUED	DESCRIPTION OF WORK
EL8936104	06/29/1992	INSTALL LOW VOLTAGE ALARM SYSTEM
EL8906204	05/26/1992	INSTALL PHONE SYSTEM

**BUILDING CODE ENFORCEMENT CASE ACTIVITY**

CASE NUMBER	CASE TYPE
505HC46668	CIRCUIT COURT
23EVA0678120	ADMINISTRATIVE HEARING
22EVA0657940	ADMINISTRATIVE HEARING
22E0657663	ADMINISTRATIVE HEARING
20EVA617654	ADMINISTRATIVE HEARING
19EVA589563	ADMINISTRATIVE HEARING
18EO560597	ADMINISTRATIVE HEARING
18EVA558685	ADMINISTRATIVE HEARING
18CH0546808	ADMINISTRATIVE HEARING
16EO489929	ADMINISTRATIVE HEARING
06PO88365	ADMINISTRATIVE HEARING

**DEPARTMENT OF BUILDINGS INSPECTIONS**

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">14085549</a>	06/13/2023	FAILED	COMPLAINT INSPECTION
<a href="#">13907790</a>	04/13/2023	FAILED	COMPLAINT INSPECTION



INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">13875117</a>	01/09/2023	FAILED	COMPLAINT INSPECTION
<a href="#">13863851</a>	10/03/2022	FAILED	COMPLAINT INSPECTION
<a href="#">13847652</a>	09/02/2022	FAILED	COMPLAINT INSPECTION
<a href="#">13828071</a>	07/21/2022	FAILED	COMPLAINT INSPECTION
<a href="#">13554710</a>	06/09/2022	FAILED	CONSERVATION ANNUAL
<a href="#">12742293</a>	06/09/2022	FAILED	CONSERVATION ANNUAL
<a href="#">13807136</a>	06/02/2022	FAILED	COMPLAINT INSPECTION
<a href="#">13740342</a>	04/11/2022	FAILED	COMPLAINT INSPECTION
<a href="#">13572256</a>	03/01/2022	FAILED	COMPLAINT INSPECTION
<a href="#">13610044</a>	09/24/2021	FAILED	PLUMBING COMPLAINT INSPECTION
<a href="#">13564100</a>	06/29/2021	FAILED	COMPLAINT INSPECTION
<a href="#">13564093</a>	06/04/2021	FAILED	COMPLAINT INSPECTION
<a href="#">12292953</a>	05/06/2021	FAILED	CONSERVATION ANNUAL
<a href="#">13024937</a>	10/15/2019	FAILED	CONSERVATION COMPLAINT INSPECT
<a href="#">12774668</a>	08/08/2019	PASSED	BOILER ANNUAL INSPECTION
<a href="#">12917611</a>	04/12/2019	FAILED	CONSERVATION COMPLAINT INSPECT
<a href="#">12498581</a>	01/02/2019	FAILED	CONSERVATION ANNUAL
<a href="#">12422299</a>	08/03/2018	PASSED	BOILER ANNUAL INSPECTION
<a href="#">12566908</a>	07/18/2018	PASSED	COMPLAINT INSPECTION

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">12242020</a>	02/28/2018	FAILED	COMPLAINT INSPECTION
<a href="#">12390603</a>	02/13/2018	CLOSED	CONSERVATION COMPLAINT INSPECT
<a href="#">12554634</a>	01/12/2018	FAILED	CONSERVATION COMPLAINT INSPECT
<a href="#">12390586</a>	12/31/2017	FAILED	CONSERVATION COMPLAINT INSPECT
<a href="#">12088825</a>	09/14/2017	PASSED	BOILER ANNUAL INSPECTION
<a href="#">11262934</a>	07/10/2017	FAILED	CONSERVATION ANNUAL
<a href="#">12063174</a>	04/20/2017	FAILED	COMPLAINT INSPECTION
<a href="#">12063149</a>	01/13/2017	FAILED	COMPLAINT INSPECTION
<a href="#">12040669</a>	01/12/2017	PASSED	COMPLAINT INSPECTION
<a href="#">12043833</a>	01/12/2017	PASSED	PERMIT INSPECTION
<a href="#">12015377</a>	11/29/2016	FAILED	COMPLAINT INSPECTION
<a href="#">11959164</a>	10/11/2016	FAILED	COMPLAINT INSPECTION
<a href="#">11754916</a>	08/26/2016	PASSED	BOILER ANNUAL INSPECTION
<a href="#">11958934</a>	06/29/2016	FAILED	COMPLAINT INSPECTION
<a href="#">11417742</a>	08/13/2015	PASSED	BOILER ANNUAL INSPECTION
<a href="#">11224393</a>	01/22/2015	FAILED	ANNUAL INSPECTION
<a href="#">11226501</a>	01/22/2015	CLOSED	ANNUAL INSPECTION
<a href="#">10170186</a>	06/13/2014	FAILED	CONSERVATION ANNUAL
<a href="#">11078833</a>	05/19/2014	PASSED	BOILER ANNUAL INSPECTION

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">10779673</a>	08/28/2013	PASSED	BOILER ANNUAL INSPECTION
<a href="#">10415580</a>	05/16/2012	PASSED	BOILER ANNUAL INSPECTION
<a href="#">10094016</a>	05/26/2011	PASSED	BOILER ANNUAL INSPECTION
<a href="#">9957746</a>	01/22/2011	FAILED	CONSERVATION ANNUAL
<a href="#">9762035</a>	01/03/2011	PASSED	ANNUAL INSPECTION
<a href="#">10018393</a>	10/20/2010	PASSED	RE-INSPECTION
<a href="#">2688254</a>	06/25/2010	FAILED	CONSERVATION ANNUAL
<a href="#">9751622</a>	03/10/2010	PASSED	BOILER ANNUAL INSPECTION
<a href="#">1440563</a>	07/27/2009	CLOSED	PLUMBING COMPLAINT INSPECTION
<a href="#">1188014</a>	07/27/2009	CLOSED	CONSERVATION COMPLAINT INSPECT
<a href="#">2032325</a>	07/27/2009	CLOSED	ELECTRICAL PERMIT INSPECTION
<a href="#">1922699</a>	07/27/2009	CLOSED	DOB NEW CONSTRUCTION INSP
<a href="#">1922701</a>	07/27/2009	CLOSED	CONSTRUCTION EQUIPMENT PERMIT
<a href="#">1944552</a>	07/27/2009	CLOSED	PERMIT INSPECTION
<a href="#">1186377</a>	07/27/2009	CLOSED	PERMIT INSPECTION
<a href="#">1147488</a>	07/27/2009	CLOSED	PERMIT INSPECTION
<a href="#">2648846</a>	02/02/2009	FAILED	CONSERVATION ANNUAL
<a href="#">2078043</a>	11/25/2008	PASSED	BOILER ANNUAL INSPECTION
<a href="#">2280361</a>	06/08/2008	PASSED	CONSERVATION ANNUAL

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">2168813</a>	03/07/2008	FAILED	CONSERVATION ANNUAL
<a href="#">1922700</a>	02/22/2008	PASSED	BLDG_PERM IRON PERMIT INSP
<a href="#">2230163</a>	01/02/2008	PASSED	PERMIT INSPECTION
<a href="#">2032089</a>	12/31/2007	PASSED	CONSTRUCTION EQUIPMENT PERMIT
<a href="#">2043119</a>	12/24/2007	PASSED	BOILER PERMIT INSPECTION
<a href="#">1944557</a>	12/17/2007	PARTIAL PASSED	PERMIT INSPECTION
<a href="#">2230070</a>	12/17/2007	PASSED	PERMIT INSPECTION
<a href="#">1573325</a>	12/10/2007	PARTIAL PASSED	PERMIT INSPECTION
<a href="#">2030846</a>	12/04/2007	PASSED	BOILER ANNUAL INSPECTION
<a href="#">2014683</a>	11/29/2007	PASSED	DOB NEW CONSTRUCTION INSP
<a href="#">2014682</a>	11/27/2007	FAILED	ELECTRICAL PERMIT INSPECTION
<a href="#">2014684</a>	11/16/2007	PARTIAL PASSED	CONSTRUCTION EQUIPMENT PERMIT
<a href="#">1926769</a>	07/10/2007	PARTIAL PASSED	PERMIT INSPECTION
<a href="#">1209223</a>	07/10/2007	PARTIAL PASSED	PERMIT INSPECTION
<a href="#">1440561</a>	03/13/2006	FAILED	PLUMBING COMPLAINT INSPECTION
<a href="#">1332503</a>	01/11/2006	CLOSED	ANNUAL INSPECTION
<a href="#">1188008</a>	10/24/2005	FAILED	CONSERVATION COMPLAINT INSPECT



INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">9639781</a>	11/21/2001	CLOSED	ANNUAL INSPECTION
<a href="#">7020314</a>	06/30/2000	CLOSED	ELEVATOR LEGACY INSPECTION
<a href="#">9486540</a>	02/05/1998	CLOSED	ELEVATOR LEGACY INSPECTION
<a href="#">9450951</a>	06/27/1997	CLOSED	ELEVATOR LEGACY INSPECTION
<a href="#">9244329</a>	09/29/1995	CLOSED	ELEVATOR LEGACY INSPECTION

### ALLEGED CODE VIOLATIONS

	COMPLAINT INSPECTION # 14085549 INSPECTION DATE: 06/13/2023	Number of Violations: 4
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair Elevator #1 currently out of service.
	<b>COMPLAINT INSPECTION # 13907790</b> <b>INSPECTION DATE: 04/13/2023</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
	<b>COMPLAINT INSPECTION # 13875117</b> <b>INSPECTION DATE: 01/09/2023</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
	<b>COMPLAINT INSPECTION # 13863851</b> <b>INSPECTION DATE: 10/03/2022</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation.
	<b>COMPLAINT INSPECTION # 13847652</b> <b>INSPECTION DATE: 09/02/2022</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
	<b>COMPLAINT INSPECTION # 13828071</b> <b>INSPECTION DATE: 07/21/2022</b>	<b>Number of Violations: 4</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #1 currently out of service.



EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
	<b>CONSERVATION ANNUAL # 13554710</b> <b>INSPECTION DATE: 06/09/2022</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN066034	Failed to maintain balcony in good repair and free from cracks and defects. (13-196-530(e), 13-196-641)	EAST AND WEST ELEVATIONS , 2ND THRU 7TH FLOORS - CONCRETE CANTILIVERED BALCONY/EXIT PATHS HAVE SPALLED CONCRETE AT VARIOUS LOCATIONS.
CN107015	Failed to provide and maintain adequate illumination for public hall and stairwell. (13-196-080, 13-196-450, 13-160-660, 13-160-670)	Grade to 7th floor / exterior hallways / multiple locations / hallway lights - out of service at time of inspection.
CN138106	Remove and stop nuisance. (7-28-060)	EXTERIOR 1-7 FLOORS - BROKEN TRASH CHUTES, DONT CLOSE COMPLETELY
	<b>CONSERVATION ANNUAL # 12742293</b> <b>INSPECTION DATE: 06/09/2022</b>	<b>Number of Violations: 4</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN065014	Failed to maintain lintel in good repair and free from cracks and defects. (13-196-530(e), 13-196-641)	South and East elevations, Multiple floors - Rusted lintels.
CN066034	Failed to maintain balcony in good repair and free from cracks and defects. (13-196-530(e), 13-196-641)	EAST AND WEST ELEVATIONS , 2ND THRU 7TH FLOORS - CONCRETE CANTILIVERED BALCONY/EXIT PATHS HAVE SPALLED CONCRETE AT VARIOUS LOCATIONS.

CN107035	Failed to maintain all exit signs illuminated when building is occupied and otherwise maintain exit signs in good condition. (13-196-090, 13-160-700 thru 13-160-770)	5th floor east and west stairways - exterior exit signs out
CN138106	Remove and stop nuisance. (7-28-060)	Basement storage room near trash chute - Large Grease deposit on floor - Rat Harbor. All floor trash chutes broken, dont close completely
	<b>COMPLAINT INSPECTION # 13807136</b> <b>INSPECTION DATE: 06/02/2022</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation
	<b>COMPLAINT INSPECTION # 13740342</b> <b>INSPECTION DATE: 04/11/2022</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation
	<b>COMPLAINT INSPECTION # 13572256</b> <b>INSPECTION DATE: 03/01/2022</b>	<b>Number of Violations: 4</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #1 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation
	<b>COMPLAINT INSPECTION # 13564100</b> <b>INSPECTION DATE: 06/29/2021</b>	<b>Number of Violations: 5</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair the Emergency Phone inside both Elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair the Fire Service Phase 2 and comply to its CODE, at time of Installation. Permit Required.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT1 test and provide documentation
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide climate control in both machine rooms
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly service and maintain #2 elevator is not running.



	<b>COMPLAINT INSPECTION # 13564093</b> <b>INSPECTION DATE: 06/04/2021</b>	<b>Number of Violations: 2</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair the Fire Service Phase 2 and comply to its CODE, at time of Installation. Permit Required.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair the Emergency Phone inside the Elevators
	<b>CONSERVATION ANNUAL # 12292953</b> <b>INSPECTION DATE: 05/06/2021</b>	<b>Number of Violations: 4</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN101015	Failed to maintain interior walls and ceilings free from holes or cracks. (13-19-540(c))	1314 W. / apartment # 404 / bedroom ceiling - water stained.
CN107015	Failed to provide and maintain adequate illumination for public hall and stairwell. (13-196-080, 13-196-450, 13-160-660, 13-160-670)	Grade to 7th floor / exterior hallways / multiple locations / hallway lights - out of service at time of inspection.
CN190019	Arrange for inspection of premises. (13-12-100)	Interior of Building - No Response
CN197079	Repair or replace defective or out of service smoke detectors and operate continuously. (13-196-130, 13-196-140)	1314 W. / apartment # 404 / smoke detector - hanging by wires.
	<b>CONSERVATION ANNUAL # 12498581</b> <b>INSPECTION DATE: 01/02/2019</b>	<b>Number of Violations: 5</b>

VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN065014	Failed to maintain lintel in good repair and free from cracks and defects. (13-196-530(e), 13-196-641)	South and East elevations, Multiple floors - Rusted lintels.
CN107035	Failed to maintain all exit signs illuminated when building is occupied and otherwise maintain exit signs in good condition. (13-196-090, 13-160-700 thru 13-160-770)	3rd floor east stair - Exit sign out of service.
CN138106	Remove and stop nuisance. (7-28-060)	Basement storage room near trash chute - Large Grease deposit on floor - Rat Harbor.
CN141016	Stop noxious odors from permeating dwelling or premises. (7-28-060, 13-196-630)	1st floor elevator lobby - Very strong Rat, rodent and garbabe odors.
CN197079	Repair or replace defective or out of service smoke detectors and operate continuously. (13-196-130, 13-196-140)	7th floor West stair - Smoke detector, low battery.
	<b>COMPLAINT INSPECTION # 12242020</b> <b>INSPECTION DATE: 02/28/2018</b>	<b>Number of Violations: 3</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone doesn't work. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #1, currently out of service.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators.
	<b>CONSERVATION ANNUAL # 11262934</b> <b>INSPECTION DATE: 07/10/2017</b>	<b>Number of Violations: 6</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN065014	Failed to maintain lintel in good repair and free from cracks and defects. (13-196-530(e), 13-196-641)	All elevations / grade to 7th floor / multiple locations / metal lintels - severely rusted.
CN101015	Failed to maintain interior walls and ceilings free from holes or cracks. (13-19-540(c))	1314 W. / apartment # 404 / bedroom ceiling - water stained.
CN107015	Failed to provide and maintain adequate illumination for public hall and stairwell. (13-196-080, 13-196-450, 13-160-660, 13-160-670)	Grade to 7th floor / exterior hallways / multiple locations / hallway lights - out of service at time of inspection.
CN196029	Post name, address, and telephone of owner, owner's agent for managing, controlling or collecting rents, and any other person managing or controlling building conspicuously where accessible or visible to public way. (13-12-030)	Building management's ID sign - not posted.
CN197079	Repair or replace defective or out of service smoke detectors and operate continuously. (13-196-130, 13-196-140)	1314 W. / apartment # 404 / smoke detector - hanging by wires.
CN198019	File building registration statement with Building Dept. (13-10-030, 13-10-040)	Building - not registred from 1990 through 2017.

	<b>COMPLAINT INSPECTION # 12063174</b> <b>INSPECTION DATE: 04/20/2017</b>	<b>Number of Violations: 1</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 5 test overdue. Elevator #1
	<b>COMPLAINT INSPECTION # 12063149</b> <b>INSPECTION DATE: 01/13/2017</b>	<b>Number of Violations: 1</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #1, currently out of service.
	<b>COMPLAINT INSPECTION # 12015377</b> <b>INSPECTION DATE: 11/29/2016</b>	<b>Number of Violations: 2</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1050	Failed to maintain and/or provide access to inspection records as provided by rule. (13-8-030, 18-30-460, Rules and Regulations for Annual Inspection Certification for Conveyance Devices 25)	Provide test date on Cat. 1 test form and legible test tag. Both elevators.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Obtain permit for replacing hoist ropes \$ schedule inspection with City of Chicago Elevator Bureau. Elevator #1.
	<b>COMPLAINT INSPECTION # 11959164</b> <b>INSPECTION DATE: 10/11/2016</b>	<b>Number of Violations: 4</b>



VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1050	Failed to maintain and/or provide access to inspection records as provided by rule. (13-8-030, 18-30-460, Rules and Regulations for Annual Inspection Certification for Conveyance Devices 25)	Provide test date on Cat. 1 test form. Both elevators.
EV1105	Failed to obtain, frame and/or display certificate of inspection for elevator. (13-20-110, 18-30-015)	Display certificate of inspection. Both elevators.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide bulb guards for cab lighting. Elevator #1.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Obtain permit for replacing hoist ropes \$ schedule inspection with City of Chicago Elevator Bureau. Elevator #1.
	<b>COMPLAINT INSPECTION # 11958934</b> <b>INSPECTION DATE: 06/29/2016</b>	<b>Number of Violations: 11</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1050	Failed to maintain and/or provide access to inspection records as provided by rule. (13-8-030, 18-30-460, Rules and Regulations for Annual Inspection Certification for Conveyance Devices 25)	Display certificate of inspection. Both elevators.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide door restrictor. Both elevators. (previously cited)
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Upgrade fire service operation. Both elevators. (previously cited)
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair/maintain elevator, elevator #2 is currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide bulb guards for cab & machine room lighting. Elevator #1.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair emergency phone. Both elevators. (previously cited).
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Correctly number all elevator equipment in machine room. Both elevators. (previously cited)
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes. Elevator #1. (previously cited)

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide current maintenance service records. Both elevators. (previously cited)
EV1140	Failed to remove accumulated debris from pit for elevator. (13-20-120, 13-196-590, 18-30-100, ASME A17.1-2007 8.6.4.7.1, 18-30-160(1)(b))	Clean pit. Elevator #1.
	<b>CONSERVATION ANNUAL # 9957746 INSPECTION DATE: 01/22/2011</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN131026	Repair or replace defective screen. (13-196-560 B)	All elevations in various locations torn screens.
CN190019	Arrange for inspection of premises. (13-12-100)	Unable to gain entry to verify occupancy, detectors, stairwells, complaint of mildew buildup on windows when it gets cold and overall condition for 2011 annual inspection.
CN198019	File building registration statement with Building Dept. (13-10-030, 13-10-040)	Building not registered from 1990 thru 2011.
	<b>CONSERVATION ANNUAL # 2688254 INSPECTION DATE: 06/25/2010</b>	<b>Number of Violations: 5</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN104015	Replace broken, missing or defective window panes. (13-196-550 A)	unit 609 front window boarded up.
CN107035	Failed to maintain all exit signs illuminated when building is occupied and otherwise maintain exit signs in good condition. (13-196-090, 13-160-700 thru 13-160-770)	east elevation, 6th floor stairway exit sign not illuminated.

CN190019	Arrange for inspection of premises. (13-12-100)	unit 609 no entry to check occupancy, detectors and complaint of SR#100924692.
CN194029	Provide	stairwell all levels missing floor I.D. per 13- 196-085.
CN198019	File building registration statement with Building Dept. (13-10-030, 13-10- 040)	building never registered.
	<b>CONSERVATION ANNUAL # 2648846 INSPECTION DATE: 02/02/2009</b>	<b>Number of Violations: 3</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN074024	Failed to provide porch which is more than two risers high with rails not less than three and one-half feet above the floor of the porch. (13-196-570(b), 13-196-641	SR# 900143864. south east corner rusted guardrail broken concrete by unit 101.
CN194029	Provide	stairwell all levels missing floor I.D. per 13- 196-085.
CN198019	File building registration statement with Building Dept. (13-10-030, 13-10- 040)	building never registered.
	<b>CONSERVATION ANNUAL # 2168813 INSPECTION DATE: 03/07/2008</b>	<b>Number of Violations: 1</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN140016	Keep premises clean, sanitary, and safe. (13-196-620 A, 13-196-630)	WEST STAIRWELL STRONG URINE ODOR.
	<b>ELECTRICAL PERMIT INSPECTION # 2014682 INSPECTION DATE: 11/27/2007</b>	<b>Number of Violations: 1</b>



<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EL0084		contrary to plans,generator test
	<b>ANNUAL INSPECTION # 9639781</b> <b>INSPECTION DATE: 11/21/2001</b>	<b>Number of Violations: 5</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
199029		2. CLEAN DEBRIS FROM MACHINE ROOM AND REPAIR OIL LEAKS. (18-30-010 & 13-20-120) EV007789
199029		1. PROPERLY LUBRICATE HOIST CABLES.
EV0065	Test governor and car safety and submit copy of test results to Elevator Bureau for passenger elevator. (13-156-820, 13-20-120)	
EV0110	Repair or replace defective car door or gate safety edge for passenger elevator. (13-156-010, 13-20-120)	
EV0117	Repair or replace defective emergency signal for passenger elevator. (13-156-010, 13-20-120, ANSI A17.1-1971, rule 211.1)	
	<b>PLUMBING COMPLAINT INSPECTION # 13610044</b> <b>INSPECTION DATE: 09/24/2021</b>	<b>Number of Violations: 1</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
PL157047	Stop leaking water. (18-29-102.3)	Unit 505's ceiling is wet above the toilet.
	<b>CONSERVATION COMPLAINT INSPECT # 13024937</b> <b>INSPECTION DATE: 10/15/2019</b>	<b>Number of Violations: 1</b>

VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN190019	Arrange for inspection of premises. (13-12-100)	Contacted management and knocke on apartment 205 but no entry to verify complaint of Mold,bad smell,kitchen cabinet broken and front door not secured.
	<b>CONSERVATION COMPLAINT INSPECT # 12917611 INSPECTION DATE: 04/12/2019</b>	<b>Number of Violations: 1</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN190019	Arrange for inspection of premises. (13-12-100)	Interior of unit 409 no response. Unverified complaint of leak in ceiling.
	<b>CONSERVATION COMPLAINT INSPECT # 12554634 INSPECTION DATE: 01/12/2018</b>	<b>Number of Violations: 1</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN190019	Arrange for inspection of premises. (13-12-100)	Interior of the building - no response, unverified detectors and conditions. 1314 W. / Apartment # 701 - no entry, unable to verify complaint of no heat or hot water.
	<b>PLUMBING COMPLAINT INSPECTION # 1440563 INSPECTION DATE: 07/27/2009</b>	<b>Number of Violations: 2</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
PL154027	Supply adequate hot water with minimum temperature of 120 degrees F. (13-196-430)	thru-out building
PL239010	Engage licensed and bonded plumbing contractor to install plumbing. (18-29-106.1)	

	<b>CONSERVATION COMPLAINT INSPECT # 1188014 INSPECTION DATE: 07/27/2009</b>	<b>Number of Violations: 2</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN046013	Stop using cooking or water heating device as heating device. (13-196-400)	1st floor units 107, 108 using stove to heat unit
CN132016	Heat dwelling unit adequately from September 15th to June 1st. (13-196-410)	building without heat
	<b>PLUMBING COMPLAINT INSPECTION # 1440561 INSPECTION DATE: 03/13/2006</b>	<b>Number of Violations: 2</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
PL154027	Supply adequate hot water with minimum temperature of 120 degrees F. (13-196-430)	thru-out building
PL239010	Engage licensed and bonded plumbing contractor to install plumbing. (18-29-106.1)	
	<b>CONSERVATION COMPLAINT INSPECT # 1188008 INSPECTION DATE: 10/24/2005</b>	<b>Number of Violations: 2</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
CN046013	Stop using cooking or water heating device as heating device. (13-196-400)	1st floor units 107, 108 using stove to heat unit
CN132016	Heat dwelling unit adequately from September 15th to June 1st. (13-196-410)	building without heat







## Building Permit and Inspection Records

### Disclaimer

The information presented on this website is informational only and does not necessarily reflect the current condition of the building or property. The fact that a permit was issued does not confirm that work was performed, or that work was performed in accordance with that permit and the requirements of the Municipal Code.

Information on inspections and alleged violations reflect conditions found by the inspector at the time of the inspection and not necessarily the current status of those alleged violations or the current condition of the property. The absence of alleged violations on this website does not mean a building or property is in compliance with the requirements of the Municipal Code.

The Department of Buildings may refer certain alleged violations to the City's Department of Law for enforcement proceedings in the Department of Administrative Hearings or the Circuit Court of Cook County. Please contact the [Department of Administrative Hearings](#) or the [Clerk of the Circuit Court](#), respectively to obtain records of these proceedings.

### INPUT ADDRESS

1342 W 15TH ST

### RANGE ADDRESS

1342-1342 W 15TH ST CHICAGO IL 60608

### BUILDING ATTRIBUTES

BLDG ID	STORIES	BASEMENT	LENGTH	WIDTH	HEIGHT	FLR AREA	CONSTR TYPE	PORCH	LOT WIDTH	LOT LENGTH	DU
374824	7	Y	260	30	0	7800	1A		200	260	63

### BUILDING PERMITS

PERMIT #	DATE ISSUED	DESCRIPTION OF WORK
100899245	11/10/2020	CEDA WEATHERIZATION PROGRAM. INSULATE THROUGHOUT, REPLACE BATHROOM EXHAUST FANS, REPLACE BOILERS. REPLACE DWH'S
100823862	06/05/2019	Provide and Install new Galaxy Contoller and Fixtures for One(1) 8 Floor, 2500LB Capacity, Traction Passenger Elevator, pursuant to the scope of work submitted.(EV007792)
100365319	09/28/2010	INSTALL 1080 LF OF 54" HIGH HAND RAIL-SAME AS EXISTING
100319755	11/09/2009	TELEPHONE ENTRY SYSTEM
100153209	12/12/2006	REVISION TO ALTERATION PERMIT #1049048, TO REPLACE THE REMAINING ORIGINAL INTERIOR PARTITIONS, FURRING, ELECTRICAL WIRING & WALL MOUNTED ELECTRICAL DEVICES.
100141657	10/06/2006	INSTALL ONE PASSENGER ELEVATOR AS PER PLANS
100102621	03/20/2006	REVISION TO PERMIT #1049048 TO CHANGE ELECTRICAL CONTRACTOR, SCOPE OF WORK TO REMIAN THE SAME.
100070077	09/28/2005	MODERNIZE ONE PASSENGER ELEVATOR AS PER SCOPE OF WORK
B20421918	09/16/2005	ERECT ADDITION OF NEW ELEVATOR HOISTWAY AT EXTERIOR AND INTERIOR ALTERATIONS AND LANDSCAPING.

## BUILDING CODE ENFORCEMENT CASE ACTIVITY

CASE NUMBER	CASE TYPE
23EVA0678116	ADMINISTRATIVE HEARING
22C0667729	ADMINISTRATIVE HEARING
22EVA0657939	ADMINISTRATIVE HEARING
20EVA619509	ADMINISTRATIVE HEARING
19CO613362	ADMINISTRATIVE HEARING

CASE NUMBER	CASE TYPE
19EO591326	ADMINISTRATIVE HEARING
19EVA589556	ADMINISTRATIVE HEARING
19M1400893	CIRCUIT COURT
19EVA584597	ADMINISTRATIVE HEARING
19EVA584706	ADMINISTRATIVE HEARING
18EVA558686	ADMINISTRATIVE HEARING
17C0523065	ADMINISTRATIVE HEARING
16E0498409	ADMINISTRATIVE HEARING
09CH0192336	ADMINISTRATIVE HEARING
08WH190129	ADMINISTRATIVE HEARING
03E140000	ADMINISTRATIVE HEARING

## DEPARTMENT OF BUILDINGS INSPECTIONS

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">14098722</a>	07/10/2023	FAILED	COMPLAINT INSPECTION
<a href="#">14085553</a>	05/23/2023	FAILED	COMPLAINT INSPECTION
<a href="#">14080756</a>	04/13/2023	FAILED	COMPLAINT INSPECTION
<a href="#">14080102</a>	04/04/2023	FAILED	CONSERVATION COMPLAINT INSPECT
<a href="#">13883400</a>	04/04/2023	FAILED	COMPLAINT INSPECTION
<a href="#">13859905</a>	10/24/2022	FAILED	COMPLAINT INSPECTION

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
13844736	08/25/2022	FAILED	COMPLAINT INSPECTION
13020502	08/08/2022	FAILED	CONSERVATION ANNUAL
13821864	07/18/2022	FAILED	COMPLAINT INSPECTION
13805001	05/16/2022	FAILED	COMPLAINT INSPECTION
13745180	04/04/2022	FAILED	COMPLAINT INSPECTION
13740335	03/14/2022	FAILED	COMPLAINT INSPECTION
13685335	03/01/2022	FAILED	COMPLAINT INSPECTION
13646806	02/14/2022	FAILED	COMPLAINT INSPECTION
13627869	01/20/2022	FAILED	COMPLAINT INSPECTION
13607676	11/19/2021	FAILED	COMPLAINT INSPECTION
13574611	09/29/2021	FAILED	COMPLAINT INSPECTION
13316881	09/01/2021	FAILED	PERMIT INSPECTION
13452210	07/06/2021	FAILED	COMPLAINT INSPECTION
13310200	02/18/2021	FAILED	COMPLAINT INSPECTION
12957548	09/09/2020	FAILED	PERMIT INSPECTION
13275652	08/21/2020	FAILED	COMPLAINT INSPECTION
13235883	06/03/2020	FAILED	COMPLAINT INSPECTION
13052515	02/21/2020	FAILED	COMPLAINT INSPECTION
13048435	12/05/2019	FAILED	COMPLAINT INSPECTION



INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
13015740	11/22/2019	FAILED	COMPLAINT INSPECTION
12240911	10/04/2019	FAILED	CONSERVATION ANNUAL
12957604	09/20/2019	FAILED	COMPLAINT INSPECTION
12938168	06/19/2019	FAILED	COMPLAINT INSPECTION
12794425	05/10/2019	FAILED	COMPLAINT INSPECTION
12749095	02/20/2019	FAILED	COMPLAINT INSPECTION
12631585	01/25/2019	FAILED	COMPLAINT INSPECTION
12172399	06/14/2018	FAILED	COMPLAINT INSPECTION
10918106	04/04/2017	FAILED	CONSERVATION ANNUAL
12025973	03/03/2017	FAILED	COMPLAINT INSPECTION
11959170	10/28/2016	FAILED	COMPLAINT INSPECTION
11754800	08/26/2016	PASSED	BOILER ANNUAL INSPECTION
11958933	06/29/2016	FAILED	COMPLAINT INSPECTION
11417624	08/13/2015	PASSED	BOILER ANNUAL INSPECTION
11198233	01/23/2015	FAILED	ANNUAL INSPECTION
11078716	05/19/2014	PASSED	BOILER ANNUAL INSPECTION
10787234	03/11/2013	FAILED	CONSERVATION ANNUAL
10415462	05/16/2012	PASSED	BOILER ANNUAL INSPECTION
10093898	05/26/2011	PASSED	BOILER ANNUAL INSPECTION

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
1749527	01/19/2011	PASSED	ANNUAL INSPECTION
9751499	03/10/2010	PASSED	BOILER ANNUAL INSPECTION
2648845	02/26/2009	PASSED	CONSERVATION ANNUAL
2422482	12/18/2008	FAILED	CONSERVATION COMPLAINT INSPECT
2414493	12/18/2008	FAILED	CONSERVATION COMPLAINT INSPECT
1867103	12/02/2008	PASSED	BOILER PERMIT INSPECTION
2168812	05/14/2008	PASSED	CONSERVATION ANNUAL
1956258	12/21/2007	PASSED	CONSERVATION ANNUAL
1769089	07/27/2007	FAILED	CONSERVATION ANNUAL
1899576	06/27/2007	PASSED	PERMIT INSPECTION
1573326	04/27/2007	PARTIAL PASSED	PERMIT INSPECTION
1866190	03/29/2007	PASSED	BOILER ANNUAL INSPECTION
1558581	03/28/2007	PASSED	PERMIT INSPECTION
1613912	02/14/2007	PASSED	ELECTRICAL PERMIT INSPECTION
1613913	02/14/2007	PASSED	DOB NEW CONSTRUCTION INSP
1613914	01/17/2007	CLOSED	CONSTRUCTION EQUIPMENT PERMIT
1163555	07/18/2006	PARTIAL PASSED	PERMIT INSPECTION
239095	05/01/2003	FAILED	ANNUAL INSPECTION

INSP #	INSPECTION DATE	STATUS	TYPE DESCRIPTION
<a href="#">149572</a>	05/16/2002	FAILED	ANNUAL INSPECTION
<a href="#">9639783</a>	11/21/2001	CLOSED	ANNUAL INSPECTION
<a href="#">9486548</a>	02/05/1998	CLOSED	ELEVATOR LEGACY INSPECTION
<a href="#">9474796</a>	06/21/1997	CLOSED	ELEVATOR LEGACY INSPECTION
<a href="#">9446844</a>	11/18/1996	CLOSED	ELEVATOR LEGACY INSPECTION
<a href="#">9407739</a>	08/08/1996	CLOSED	ELEVATOR LEGACY INSPECTION

### ALLEGED CODE VIOLATIONS

	<b>COMPLAINT INSPECTION # 14098722</b> <b>INSPECTION DATE: 07/10/2023</b>	<b>Number of Violations: 5</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone doesn't work. Elevator #1
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
	<b>COMPLAINT INSPECTION # 14085553</b> <b>INSPECTION DATE: 05/23/2023</b>	<b>Number of Violations: 6</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone doesn't work. Elevator #1
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
	<b>COMPLAINT INSPECTION # 14080756</b> <b>INSPECTION DATE: 04/13/2023</b>	<b>Number of Violations: 5</b>

VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
	<b>COMPLAINT INSPECTION # 13883400</b> <b>INSPECTION DATE: 04/04/2023</b>	<b>Number of Violations: 5</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2



EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
	<b>COMPLAINT INSPECTION # 13859905</b> <b>INSPECTION DATE: 10/24/2022</b>	<b>Number of Violations: 5</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
	<b>COMPLAINT INSPECTION # 13844736</b> <b>INSPECTION DATE: 08/25/2022</b>	<b>Number of Violations: 5</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
	<b>CONSERVATION ANNUAL # 13020502</b> <b>INSPECTION DATE: 08/08/2022</b>	<b>Number of Violations: 8</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>

CN066034	Failed to maintain balcony in good repair and free from cracks and defects. (13-196-530(e), 13-196-641)	California balconies concrete spalling, cracking. Missing water proof membrane.
CN073054	Repair, replace, or reset exterior door or door frame to keep rain and wind out of dwelling. (13-196-550)	All stairwell doors latching damaged. Main entrance door latching damaged no proper security for residents Dangerous and Hazardous.
CN103015	Failed to maintain floor free from holes and wide cracks and free from loose, warped, protruding or rotting floor boards. (13-196-540(a) and (b))	All elevator lobbies filthy, obnoxious orders, garbage.
CN106015	Failed to maintain interior stairway system in safe condition and sound repair. (13-196-570)	Stairwells filthy, obnoxious orders, urine.
CN107035	Failed to maintain all exit signs illuminated when building is occupied and otherwise maintain exit signs in good condition. (13-196-090, 13-160-700 thru 13-160-770)	1342 W./ Stairwell between 3rd and 4th floor / Exit light - Sign broken, out of service.
CN136016	Exterminate roaches and keep dwelling insect-free. (13-196-630 C)	1342 W./ Unit 502 / Roaches - Visible upon inspection, crawling along kitchen cabinets and living room.
CN194029	Provide	Per section code 13-196-085 stairwell identification missing at each floor on interior side of stairwell.
CN197079	Repair or replace defective or out of service smoke detectors and operate continuously. (13-196-130, 13-196-140)	1342 W./ Unit 502 / Smoke detector - Out of service. (14X-1-103.2, 14X-1-103.3, 14X-5-504.1.1, 14X-5-504.10 and 14A-3-314.1.4)
	<b>COMPLAINT INSPECTION # 13821864</b> <b>INSPECTION DATE: 07/18/2022</b>	<b>Number of Violations: 5</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
	<b>COMPLAINT INSPECTION # 13805001</b> <b>INSPECTION DATE: 05/16/2022</b>	<b>Number of Violations: 5</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
	<b>COMPLAINT INSPECTION # 13745180</b> <b>INSPECTION DATE: 04/04/2022</b>	<b>Number of Violations: 6</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2



EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #1 currently out of service.
	<b>COMPLAINT INSPECTION # 13740335</b> <b>INSPECTION DATE: 03/14/2022</b>	<b>Number of Violations: 6</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #1 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for controller replacement.
	<b>COMPLAINT INSPECTION # 13685335</b> <b>INSPECTION DATE: 03/01/2022</b>	<b>Number of Violations: 6</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #1 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Schedule FINAL inspection for Mid-American Elevator permit #100823862 for Controller replacement.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
	<b>COMPLAINT INSPECTION # 13646806</b> <b>INSPECTION DATE: 02/14/2022</b>	<b>Number of Violations: 4</b>

VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
	<b>COMPLAINT INSPECTION # 13627869</b> <b>INSPECTION DATE: 01/20/2022</b>	<b>Number of Violations: 5</b>
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Car 2
	<b>COMPLAINT INSPECTION # 13607676</b> <b>INSPECTION DATE: 11/19/2021</b>	<b>Number of Violations: 4</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Car 2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
	<b>COMPLAINT INSPECTION # 13574611</b> <b>INSPECTION DATE: 09/29/2021</b>	<b>Number of Violations: 4</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
	<b>PERMIT INSPECTION # 13316881</b> <b>INSPECTION DATE: 09/01/2021</b>	<b>Number of Violations: 7</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace canopy over the overhead lighting in cab
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Enclose water pipe in machine room
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Test Smokes and all FAIDS when ready



EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide 48in toe guard or Admin Relief
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide the Elevator ID to all landings
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide the missing Braille on all jambs
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide the CWT Runby on CWT Guard.
	<b>COMPLAINT INSPECTION # 13452210</b> <b>INSPECTION DATE: 07/06/2021</b>	<b>Number of Violations: 7</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
	<b>COMPLAINT INSPECTION # 13310200</b> <b>INSPECTION DATE: 02/18/2021</b>	<b>Number of Violations: 7</b>
<b>VIOLATIONS</b>	<b>BUILDING CODE CITATION</b>	<b>VIOLATION DETAILS</b>
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2 currently out of service.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging