

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
	PERMIT INSPECTION # 12957548 INSPECTION DATE: 09/09/2020	Number of Violations: 17
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Test Smokes and all FAIDS when ready
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide safe access to machine room, step clearance.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide Protection for Unintended Motion

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide a top of car guard rail in rear
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide 48in toe guard or Admin Relief
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide the Elevator ID to all landings
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide the missing Braille on all jambs
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide the CWT Runby on CWT Guard.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Determine reason/prevent excessive water in pit
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair the pit light
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide a retractable ladder in pit

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide a keyed switch at COP, for basement access
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Remove the barricade at basement level Elevator landing.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Plug the opennings in machine room, fire rate
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Remove the water pipe or relocate it, to maintain proper clearance for control area work space.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Prevent the entrapment to machine room by replacing padlock
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace damaged Sills, & Sill guards to comply with A17.1.2.11.1
	COMPLAINT INSPECTION # 13275652 INSPECTION DATE: 08/21/2020	Number of Violations: 6
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
	COMPLAINT INSPECTION # 13235883 INSPECTION DATE: 06/03/2020	Number of Violations: 6
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
	COMPLAINT INSPECTION # 13052515 INSPECTION DATE: 02/21/2020	Number of Violations: 6
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
	COMPLAINT INSPECTION # 13048435 INSPECTION DATE: 12/05/2019	Number of Violations: 6
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
	COMPLAINT INSPECTION # 13015740 INSPECTION DATE: 11/22/2019	Number of Violations: 9
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Fire service keys are missing.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Emergency phone isn't working. Elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair 2nd floor hall calls on elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair elevator #2, currently out of service.
	CONSERVATION ANNUAL # 12240911 INSPECTION DATE: 10/04/2019	Number of Violations: 3
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN066034	Failed to maintain balcony in good repair and free from cracks and defects. (13-196-530(e), 13-196-641)	California balconies concrete spalling, cracking. Missing water proof membrane.
CN073054	Repair, replace, or reset exterior door or door frame to keep rain and wind out of dwelling. (13-196-550)	All stairwell doors latching damaged. Main entrance door latching damaged no proper security for residents Dangerous and Hazardous.
CN194029	Provide	Per section code 13-196-085 stairwell identification missing at each floor on interior side of stairwell.
	COMPLAINT INSPECTION # 12957604 INSPECTION DATE: 09/20/2019	Number of Violations: 7
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair 2nd floor hall calls on elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Fire service keys are missing.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
	COMPLAINT INSPECTION # 12938168 INSPECTION DATE: 06/19/2019	Number of Violations: 7
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Fire service keys are missing.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair 2nd floor hall calls on elevator #2
	COMPLAINT INSPECTION # 12794425 INSPECTION DATE: 05/10/2019	Number of Violations: 7
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Fire service keys are missing.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair 2nd floor hall calls on elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
	COMPLAINT INSPECTION # 12749095 INSPECTION DATE: 02/20/2019	Number of Violations: 7
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Replace hoist ropes:excessive red rouging
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair 2nd floor hall calls on elevator #2
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Fire service keys are missing.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
	COMPLAINT INSPECTION # 12631585 INSPECTION DATE: 01/25/2019	Number of Violations: 5
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Fire service keys are missing.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators
	COMPLAINT INSPECTION # 12172399 INSPECTION DATE: 06/14/2018	Number of Violations: 5
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Install Phase 1 key switch for elevator #2.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Phase 1 key switch/recall isn't working.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Fire service keys are missing.
	CONSERVATION ANNUAL # 10918106 INSPECTION DATE: 04/04/2017	Number of Violations: 2
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN101015	Failed to maintain interior walls and ceilings free from holes or cracks. (13-19-540(c))	1342 W. / apartment # 705 / multiple locations / walls and ceilings - water stained.
CN197079	Repair or replace defective or out of service smoke detectors and operate continuously. (13-196-130, 13-196-140)	Basement / smoke detector - out of service with low battery. 1342 W. / apartment # 705 / smoke detector - out of service with low battery.
	COMPLAINT INSPECTION # 12025973 INSPECTION DATE: 03/03/2017	Number of Violations: 1
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Elevator #1 is out of service. Repair /maintain.
	COMPLAINT INSPECTION # 11959170 INSPECTION DATE: 10/28/2016	Number of Violations: 5

VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1050	Failed to maintain and/or provide access to inspection records as provided by rule. (13-8-030, 18-30-460, Rules and Regulations for Annual Inspection Certification for Conveyance Devices 25)	Current maintenance log & fire service test log required in machine room. Both elevators.
EV1105	Failed to obtain, frame and/or display certificate of inspection for elevator. (13-20-110, 18-30-015)	Display certificate of inspection. Both elevators.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Correctly number elevator equipment in machine room. (previously cited)
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Code data plate required on controller. Both elevators.
	COMPLAINT INSPECTION # 11958933 INSPECTION DATE: 06/29/2016	Number of Violations: 7
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1050	Failed to maintain and/or provide access to inspection records as provided by rule. (13-8-030, 18-30-460, Rules and Regulations for Annual Inspection Certification for Conveyance Devices 25)	Current maintenance log & fire service test log required in machine room. Both elevators.
EV1105	Failed to obtain, frame and/or display certificate of inspection for elevator. (13-20-110, 18-30-015)	Display certificate of inspection. Both elevators.

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Correctly number elevator equipment in machine room. (previously cited)
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Upgrade fire service operation. Both elevators. (previously cited)
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Cat. 1 test overdue. Both elevators.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Provide bulb guards for cab & machine room lights. Elevator #1.
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Code data plate required on controller. Both elevators.
	ANNUAL INSPECTION # 11198233 INSPECTION DATE: 01/23/2015	Number of Violations: 6
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Upgrade phase 2 operation on both passenger elevators per city code 18-30-320
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair door restrictor on Elevator #2

EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Perform CAT 1 test for both Elevators and provide documentation
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Clean car top and pit for both Elevators
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Repair Top of car light with gaurd on Elevator #1
EV1110	Failed to maintain electric elevator equipment provided at premises in safe and sound working condition. (13-196-590, 13-196-630(b), 18-30-001)	Properly number Elevators in Machine Room
	CONSERVATION ANNUAL # 10787234 INSPECTION DATE: 03/11/2013	Number of Violations: 1
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN198019	File building registration statement with Building Dept. (13-10-030, 13-10-040)	Bldg. - not registered from 1990 thru 2013
	CONSERVATION ANNUAL # 1769089 INSPECTION DATE: 07/27/2007	Number of Violations: 1
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
PL154027	Supply adequate hot water with minimum temperature of 120 degrees F. (13-196-430)	unit 201 no hot water
	ANNUAL INSPECTION # 239095 INSPECTION DATE: 05/01/2003	Number of Violations: 4
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS

199029		SEC.18-30-010 & 13-20-120 - EV007792
199029		1. OBTAIN PERMIT TO INSTALL CAR DOOR RESTRICTOR. 13-156-201
199029		2. PROPERLY REPAIR AND MAINTAIN ELEVATOR IN A SAFE OPERATING CONDITION. ELEVATOR CURRENTLY OUT OF ORDER
EV0065	Test governor and car safety and submit copy of test results to Elevator Bureau for passenger elevator. (13-156-820, 13-20-120)	
	ANNUAL INSPECTION # 149572 INSPECTION DATE: 05/16/2002	Number of Violations: 3
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
199029		2. REPAIR AND MAINTAIN ELEVATOR TO A SAFE AND PROPER WORKING ORDER. (18-30-010 & 13-20-120) EV007792
199029		1. OBTAIN PERMIT TO INSTALL CAR DOOR RESTRICTOR. 13-156-201
EV0065	Test governor and car safety and submit copy of test results to Elevator Bureau for passenger elevator. (13-156-820, 13-20-120)	EV007792.
	ANNUAL INSPECTION # 9639783 INSPECTION DATE: 11/21/2001	Number of Violations: 1
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS

EV0065	Test governor and car safety and submit copy of test results to Elevator Bureau for passenger elevator. (13-156-820, 13-20-120)	EV007792.
	CONSERVATION COMPLAINT INSPECT # 14080102 INSPECTION DATE: 04/04/2023	Number of Violations: 2
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN105035	Repair or replace door hardware. (13-196-550)	Unit 206 / Front door - Broken hardware. Does not properly lock.
CN197079	Repair or replace defective or out of service smoke detectors and operate continuously. (13-196-130, 13-196-140)	Unit 206 / Smoke detector - Warning signal beeping.
	CONSERVATION COMPLAINT INSPECT # 2422482 INSPECTION DATE: 12/18/2008	Number of Violations: 1
VIOLATIONS	BUILDING CODE CITATION	VIOLATION DETAILS
CN132016	Heat dwelling unit adequately from September 15th to June 1st. (13-196-410)	unit 306 1 ault only

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D: QUALIFICATIONS



John S. Pierce, CSI, CCCA
Senior Project Manager – HUD AEC Services

Education

- Bachelor of Science in Economics – Virginia Commonwealth University

Certifications and Training

- Certified by Construction Specifications Institute (CSI) as Certified Construction Contract Administrator (CCCA)
- CNA e-Tool Training – Atlanta HUD Field Office (October 2017)

Highlights

- More than 5 years of experience with HUD Due Diligence Reporting
- More than 15 years of experience in construction industry
- Construction Plan Review
- Accessibility Review
- Construction Cost Estimating
- CNA e-Tool Analysis
- Barrier Performance Module Analysis
- Permits and Approvals Reporting
- STraCAT Assessments
- Joint Site Inspections
- Georgia Department of Community Affairs – Front End Cost Reviews

Experience

Mr. Pierce serves as Senior Project Manager for BBG. In this capacity, Mr. Pierce specializes in completing AEC Reviews for multifamily projects being underwritten using the HUD MAP Guide (including projects participating in the 221(d)(4), 223(f), 232(LEAN), and 241(a) programs).

Mr. Pierce has considerable experience reviewing construction plans, building cost estimates, reviewing various due diligence reporting, reviewing design professional qualifications and contracts, and reviewing contractor qualifications and contracts.

Mr. Pierce is experienced with multifamily accessibility and is familiar with accessibility requirements contained within the International Building Code, ANSI A117.1, the 2010 ADA Standards for Accessible Design, the Uniform Federal Accessibility Standards, and the Fair Housing Act Design Manual,

Mr. Pierce has considerable experience managing the construction of commercial and multifamily projects. This experience includes new construction, substantial rehabilitation, and adaptive re-use multifamily projects. Mr. Pierce's construction management experience includes permitting, scheduling, performing quantity take-offs, constructing cost estimates, contract writing, reviewing shop drawings and submittals, managing subcontractors, reviewing subcontractor pay applications and attending regular owner/architect meetings. His experience includes managing the construction of historic tax-credit

projects and projects with environmental concerns. Mr. Pierce also has considerable experience with utilities, site layout, and as-built drawings.

Representative Projects - (HUD MAP Scope):

- Heritage Park, Charlotte, North Carolina - This substantial rehabilitation review was conducted on a multifamily development including 21 buildings and 151 apartment units. The development is situated on 13.687 acres of land. The development was reviewed for compliance with HUD MAP requirements.
- Meadowood Apartments, Alcoa, Tennessee - This substantial rehabilitation review was conducted on a multifamily development including 18 buildings and 100 apartment units. The development is situated on 13.72 acres of land. The development was reviewed for compliance with HUD MAP requirements.
- Villa Raintree, El Monte, California - This substantial rehabilitation review was conducted on a multifamily development including a three story building with 70 senior apartments. The development is situated on 2.33 acres of land. The rehabilitation of the property included seismic retrofits. The development was reviewed for compliance with HUD MAP requirements.
- Dwell, Philadelphia, Pennsylvania - This new construction review was conducted on a mixed-use development including three buildings and 198 apartment units. The development is situated on 2.34 acres of land and incorporates modular construction. The development was reviewed for compliance with HUD MAP requirements.
- Elan at Terra Bella, Covington, Louisiana - This new construction review was conducted on a multifamily development including four three-story buildings and 178 apartment units. The development is situated on 6.21 acres of land. The development was reviewed for compliance with HUD MAP requirements.
- Phase II of Highpoint Reflections, Romeoville, Illinois - This new construction review was conducted on a multifamily development including nine three-story buildings and 72 apartment units. The development is situated on 2.23 acres of land. The development was reviewed for compliance with HUD MAP requirements.
- Elevate – SW Transit Site, Eden Prairie, Minnesota - This new construction review was conducted on a multifamily development including a six-story building and 222 apartment units. The development is situated on 2.30 acres of land. The development was reviewed for compliance with HUD MAP requirements.
- Southpointe Village Apartments, Columbus, Ohio - This substantial rehabilitation review was conducted on a multifamily development including seven two-story apartment buildings, two accessory buildings and 50 apartment units. The development is situated on 4.79 acres of land. The development was reviewed for compliance with HUD MAP requirements.

Education and Technical Training

Bachelor of Architecture - Iowa State University

B.A. (Secondary Degree) – Environmental Studies - Iowa State University

Fair Housing First - FHA Training, 2019

Licenses and Certifications

CFPS - Certified Fire Protection Specialist - National Fire Protection Association (NFPA), 2012

LEED AP, Leadership in Energy and Environmental Design - Accredited Professional, 2008

Experience

Mr. Stockdale has over 10 years of experience in the physical needs & environmental due diligence industry. He has conducted Physical Needs Assessments (PNAs) for a wide range of local and national clients, including banks, agency lenders, investment banks, law firms and property owners. The properties he has evaluated have included multifamily residential, retail, office, industrial and hospitality facilities. More recently, he has focused on work for HUD lenders with various reports following MAP, LEAN and RAD guidelines.

Mr. Stockdale has conducted hundreds of PNAs in accordance with ASTM 2018; HUD MAP/LEAN guidelines, Fannie Mae Delegated Underwriting Standards; Freddie Mac guidelines and other client specific scopes of work. He is experienced in assessing site improvements, building structures and envelopes, and mechanical, electrical and plumbing systems for evidence of deferred maintenance or problematic or deleterious materials. He has been responsible for estimating Immediate Needs Reserves as well as On-Going Reserves need to maintain a property, based on his observations and interviews with personnel familiar with the property. In addition to personally completing inspections and PNA reports, Mr. Stockdale has completed the senior level technical review on dozens of projects which also required modifications to HUD's CNA ETool.

In addition to his PCNA expertise, Mr. Stockdale has substantial experience in monitoring construction projects and approving funds for work-in-place. The construction projects Mr. Stockdale has been involved with include multi-family, retail and office projects.

Representative Projects - (HUD MAP/LEAN Scope)

- The Flats at MacArthur, Lawton, OK (HUD 223(f) MAP program – HUD Loan # 11711128) – Performed a PCNA & ETool on this 288-Unit, 17-building apartment community.
- Elmhurst Extended Care, Elmhurst, IL: (HUD 232/223(f) LEAN program – HUD Loan # 07122470) – Performed a PCNA, on this 118-bed, 2-story skilled nursing facility.
- Forest Ridge Apartments, Glenwood, MN (HUD 223(f) MAP program – HUD Loan # 09211489) – Performed a PCNA & ETool on this 32-Unit, 3-story apartment building.
- Laurel Pointe Apartments, Hawthorne, CA (HUD 223(f) MAP program – HUD Loan # 12211463) – Completed the CNA ETool and performed the senior level technical review for the PCNA on this 116-unit, multi building apartment community.

- Pinehurst Apartments, White Bear Lake, MN (HUD 223(f) MAP program - HUD Loan # 09211484) – Performed a PCNA & ETool on this 102-unit, multi building apartment community.
- Parkway Court Apartments, Normal, IL (HUD 223(f) MAP program – HUD Loan # 07211173) – Completed the CNA ETool and performed the senior level technical review for the PCNA on this 122-unit, multi building apartment community.
- Winchell Way Apartments, Kalamazoo, MI (HUD 223(f) MAP program – HUD Loan # 04711253) – Performed a PCNA & ETool on this 168-unit, multi building apartment community.
- Willow Creek Apartments, Jonesboro, AR (HUD 223(f) MAP program – HUD Loan # 08211158) – Performed a PCNA & ETool on this 324-unit, multi building apartment community.
- Virginia Commons Apartments, Dumfries, VA (HUD 223(f) MAP program – HUD Loan # 05111465) – Completed the CNA ETool and performed the senior level technical review for the PCNA on this 188-unit, multi building apartment community.
- 1514 West Howard, Chicago, IL (HUD 223(f) MAP program – HUD Loan # 07111489) – Performed a PCNA & ETool on this 42-unit, 3-story apartment building with ground floor retail spaces.
- October Homes, Madison, TN (HUD 223(f) MAP program – HUD Loan # 08211158) – Performed a PCNA & ETool on this 104-unit, multi building apartment community.
- Beegly Oaks Center for Rehabilitation, Boardman, OH: (HUD 232/223(f) LEAN program – HUD Loan # 04222306) – Performed a PCNA, on this 205-bed, 3-story skilled nursing facility.
- Atrium Health Care Center, Chicago, IL: (HUD 232/223(f) LEAN program – HUD Loan # 07122423) – Performed a PCNA, on this 219-bed, 3-story skilled nursing facility.
- Woodbridge Apartments, Galloway, OH (HUD 223(f) MAP program – HUD Loan # 04311242) – Performed a PCNA & ETool on this 156-unit, multi building apartment community.
- Aspen Apartments, Phases I & II, Shreveport, LA - (HUD 223(f) MAP program – HUD Loan #s 06411230 & 06411231) – Completed the CNA ETools and performed the senior level technical reviews for the PCNAs on the 2 phases of this 308-unit apartment community.

Representative Projects - Public Housing Authority and Rental Assistance Demonstration (RAD) Scope

- Park Eden Apartments, Cincinnati, OH - HUD 221(d)(4) MAP program, HUD Loan # 04635770 – Performed a RAD PNA, ETool & Level II Energy Audit on this 176-unit high rise apartment building.
- Housing Connect (Housing Authority of the County of Salt Lake), UT – RAD PNAs, ETools & Level II ASHRAE Energy Audits - 10 communities, 485 Units.
- Pawtucket Housing Authority, RI – RAD PNAs, ETools & Level II ASHRAE Energy Audits - 5 communities, 784 Units.
- Inkster Housing Authority, MI – RAD PNAs & Level II ASHRAE Energy Audits - 3 communities, 734 Units

Education and Technical Training

Business/Marketing — University of Rhode Island

Architectural Engineering — Wentworth Institute of Technology

Engineering & Architectural — University of New Hampshire, Thompson School of Applied Science

Licenses and Certifications

STM - Property Condition Assessment Certification - 2004

HUD MAP Needs Assessor Certification - 2011

HUD Advanced 3rd Party Architectural/Cost/ PCNA Training — 2010

40-Hour OSHA Health and Safety Training (with refreshers) 1991 — Present

Environmental Professional as defined under ASTM E 1527-13 Section 4.3 and Appendix 2 with over five (5) years' experience performing investigations of surface and subsurface environmental conditions.

Experience

Mr. Bauman has over 25 years of experience in the engineering and environmental consulting industry. He's conducted Physical Needs and Environmental Assessments on hundreds of properties throughout the country and has been conducting HUD scope due diligence since 2004. Other areas of expertise include information systems development and management, computer-aided drafting and design, civil site development, and retail gasoline station development.

Prior to launching Mach 8 Consulting, Mr. Bauman served as a Division Manager for an international consulting firm which offered environmental risk analysis and physical needs assessments on m In this capacity, he was responsible for multiple investigation and assessment projects, including Phase I Environmental Site Assessments, Phase II Subsurface Investigations, Physical Needs Assessments (PNAs), and Capital Reserve Studies throughout the U.S. and Mexico. Additionally, he has extensive experience working with national insurance companies on catastrophic event physical damage and environmental assessments and investigations. Mr. Bauman has worked on large portfolios of sites in storm-damaged areas of the United States; including Texas, Louisiana, Arkansas, Kentucky and New York. His experience also includes design, construction, and management of ground water treatment systems in New Jersey, New York, Massachusetts, and New Hampshire, as well as numerous Phase II soil and ground water investigations and blasting litigation support.

Mr. Bauman has completed multiple PNAs and Energy Audits for numerous senior's housing projects as part of HUD's Green Retrofit program, implemented through HUD's Office of Affordable Housing Preservation (OAHP). He's also completed hundreds of PNAs through the Mark-to-Market (M2M) Green PCA Program, and PNAs and ESAs through HUD's MAP and LEAN programs.

Select HUD MAP Scope project experience for Mr. Bauman includes:

- Nueva Era Apartments, New York, NY: (HUD 223(f) program — HUD Loan # 012111245) — Performed a PCNA, Intrusive Survey, ACM Survey, LBP Risk Assessment, Phase I ESA & HEROS Assessment on this 34 unit, 5-story apartment building originally constructed in 1904.
- Heron Court — Redwood City, CA (HUD 223(f) - HUD Loan # 02311549) — Performed a PCNA, Intrusive Surveys, Seismic Risk Assessment, Phase I ESA, Radon Testing & HEROS Assessment on this 104-Unit, 18 building apartment community, constructed in 1984.
- Morningside Apartments, New York, NY: (HUD 223(f) program — HUD Loan # 012111488) — Performed a PCNA, Intrusive Surveys, ACM Survey, LBP Risk Assessment, Phase I ESA & HEROS Assessment on this 49-unit, 6-story apartment building originally constructed in 1912.
- Villas at Costa Dorado, San Antonio, TX: (HUD 223(f) - HUD Loan # 11511308) — Performed a PCNA, Phase I ESA & HEROS Assessment on this 248-Unit, 62 building apartment community, constructed in 2002.
- Vantage Point Homes at Balsom Mountain, Waynesville, NC: (HUD 223(f) - HUD Loan # 05311469) — Performed a PCNA, Phase I ESA, Radon Testing & HEROS Assessment on this 160-Unit, 8-building apartment community, constructed in 2009.
- Cypress Pointe Apartments, Crown Pointe, IN: (HUD 223(f) - HUD Loan # 07311991) — Performed a PCNA, Phase I ESA, Radon Testing & HEROS Assessment on this 160-Unit, 8-building apartment community, constructed in 2009.
- Oro Vista Apartments, Oro Valley, AZ: (HUD 223(f) - HUD Loan # 12311292) — Performed a PCNA, Phase I ESA, Radon Testing & HEROS Assessment on this 138-Unit, 13-building apartment community, constructed in 2012.
- Sawbranch Apartments: (HUD 223(f) - HUD Loan # 05411190) — Performed a PCNA, Intrusive Surveys, Phase I ESA & HEROS Assessment on this 112-Unit, 8-building apartment community, constructed in 1978.
- Legacy at Summerchase Apartments, Prattville, AL: (HUD 223(f) - HUD Loan # 06211256) — Performed a PCNA, Phase I ESA, Radon Testing & HEROS Assessment on this 152-Unit, 17-building apartment community, constructed in phases in 1998 and 1992.
- Spring Manor Apartments, Holidaysburg, PA: (HUD 223(f) - HUD Loan # 03311168) — Performed a PCNA, Intrusive Surveys, Phase I ESA, Radon Testing & HEROS Assessment on this 51-Unit, 4-story apartment building, constructed in phases in 1983.
- Hilltop Development & Rockwood Apartments, Farmington, MO: (HUD 223(f) - HUD Loan # 08511214) — Performed a PCNA, Phase I ESA, Radon Testing & HEROS Assessment on this 200 unit apartment community (Rockwood Apartments) and a subdevelopment (Hilltop) of 88 single family dwellings built in 2009 and 2013.
- Snyder Park Apartments, Amherst, NY (HUD 223(f)(a)(7) - HUD Loan # 01411290) — Performed a PCNA, Intrusive Surveys, Fagade Inspection & Limited HEROS Assessment on this 388-Unit, 97 building apartment community, constructed in 1950.

Select HUD LEAN Scope project experience for Mr. Bauman includes:

- Brentwood Healthcare: (HUD 232/223(f) program — HUD Loan # 11322274) — Performed a PCNA, Phase I ESA, Asbestos Survey, Radon Testing & HEROS Assessment on this 180-room, 228-bed, single-story skilled nursing facility constructed in 1973.
- Skyline Nursing Center: (HUD 232/223(f) program — HUD Loan # 11322286) — Performed a PCNA, Phase I ESA, Asbestos Survey, Radon Testing & HEROS Assessment on this 99-room, 204-bed, 2-story skilled nursing facility constructed in 1969 with a 2002 addition.
- Complete Care at Passaic County, Paterson, NJ: (HUD 232/223(f) program — HUD Loan # 03122122) — Performed a PCNA, Phase I ESA, Radon Testing & HEROS Assessment on this 99-room, 180-bed, 4-story, skilled nursing facility constructed in 1993.

- Norwich Sub-Acute Care & Nursing, Norwich, CT: (HUD 232/223(f) program — HUD Loan # 01722138) — Performed a PCNA, Phase I ESA, Asbestos Survey, Radon Testing & HEROS Assessment on this 83-room, 228-bed, single-story skilled nursing facility constructed in 1964.
- New London Sub-Acute Care & Nursing, New London, CT: (HUD 232/223(f) program — HUD Loan # 01722139) — Performed a PCNA, Phase I ESA, Asbestos Survey, Radon Testing & HEROS Assessment on this 71-room, 120-bed, 1&2-story, skilled nursing facility constructed in 1965.
- Hopkins Center for Rehabilitation & Healthcare, Brooklyn, NY: (HUD 232/223(f) program — HUD Loan # 01422155) — Performed a Phase I ESA, Radon Testing & HEROS Assessment on this 86-room, 288-bed, 5-story, skilled nursing facility constructed in 1993.

Select Public Housing Authority & Affordable Housing project experience for Mr. Bauman includes:

- Billerica Housing Authority Portfolio, Billerica, MA— Completed Green Retrofit Physical Needs Assessments and Energy Audits on the Housing Authorities portfolio of 270 units spread through 5 apartment communities and scattered site developments.
- Orchard Gardens Apartments, Baltimore, MD — Completed Mark-To-Market, Green Physical Needs Assessments and Energy Audit on this garden and townhouse apartment community.
- School House Apartments, New Canaan, CT — Completed Green Retrofit Physical Needs Assessment and Energy Audit on this 41-unit, senior's housing apartment building.
- Whitman Housing Authority Portfolio, Whitman, CT— Completed Green Retrofit Physical Needs Assessments and Energy Audits on the Housing Authorities portfolio of 174 units spread through 3 apartment communities and scattered site developments.

Other representative and noteworthy project experience for Mr. Bauman includes:

- Verizon Cell Tower Development Sites, New England - Completed field investigation and reporting for Phase II spill and contaminant cleanup projects at multiple tower, facility, and pole-storage sites throughout New England. Projects included petroleum, PCB, and coal-tar/creosote investigations/remediation.
- Boston's "Big Dig" Third Harbor Tunnel Project, Boston, MA — Completed environmental field investigations and reporting for soil borings completed in Boston Harbor related to the design and construction of the Ted Williams Tunnel.
- Catastrophic Event Damage Assessments, TX, LA, AR, KY & NY - Completed multiple environmental assessments and physical damage investigations of commercial and residential structures related to hurricanes, tornadoes and ice storms. Also completed multiple environmental assessments and damage investigations in Massachusetts, Connecticut, and Rhode Island related to catastrophic storms.
- Maine Yankee Atomic Power Plant, Wiscasset, ME — Completed environmental field investigations and reporting for multiple plant decommissioning activities. Project lead for creation and maintenance of relational CADD/GIS databases for the duration of the eight year project.
- Applebee's Restaurant Support Center, Lenexa, KS - Completed multiple assessments of the commercial Support Center; a high-performance, green building design project. Integration of advanced Core and Shell design features with sustainable site and building systems and components allowed the project to subsequently achieve a LEED Silver Certification with U.S. Green Building Council.
- Tolend Road Industrial Waste Superfund Site, Dover, NH - Completed field investigation and reporting for organic solvent and tanning waste investigations. Project lead for creation and maintenance of CADD drawings and databases for the duration of the project.

- Madbury Metals Recycling Facility, Madbury, NH - Completed field investigation and reporting for soil and groundwater contamination. Also integral in design, implementation, construction, and maintenance of on-site, computer-controlled, groundwater treatment facility.
- BJs Wholesale Club, Various Sites, East Coast, U.S. — Coordinated and oversaw civil site development/gas station installation plans at approximately 100 wholesale clubs located on the east coast of U.S.
- Frigidaire Facility, Edison, NJ - Completed field investigation and reporting for soil and groundwater contamination. Also integral in design, implementation, construction, and maintenance of on-site, computer-controlled, groundwater treatment facility.
- Truck Maintenance Facility, West Caldwell, NJ - Completed field investigation and reporting for soil and groundwater contamination. Also integral in design, implementation, construction, and maintenance of on-site, computer-controlled, groundwater treatment facility.

ID # 10644

CCD Data:

Packet Description: N/A (Illinois Number if applicable)

Original Source: Roll (Black Binders, Grey file, etc)

Property Name: Loomis Courts

Address: 1314 W. 15th street

CHANGE

CHICAGO HOUSING AUTHORITY

THIS REVIEW DOES NOT INCLUDE
EXIT SIGNS, FIRE ALARMS, ALARMS,
SPRINKLERS, OR STANDPIPE SYSTEMS.
PLANS FOR THOSE PROJECTS MUST
BE SUBMITTED TO THE BUREAU OF
FIRE PREVENTION.

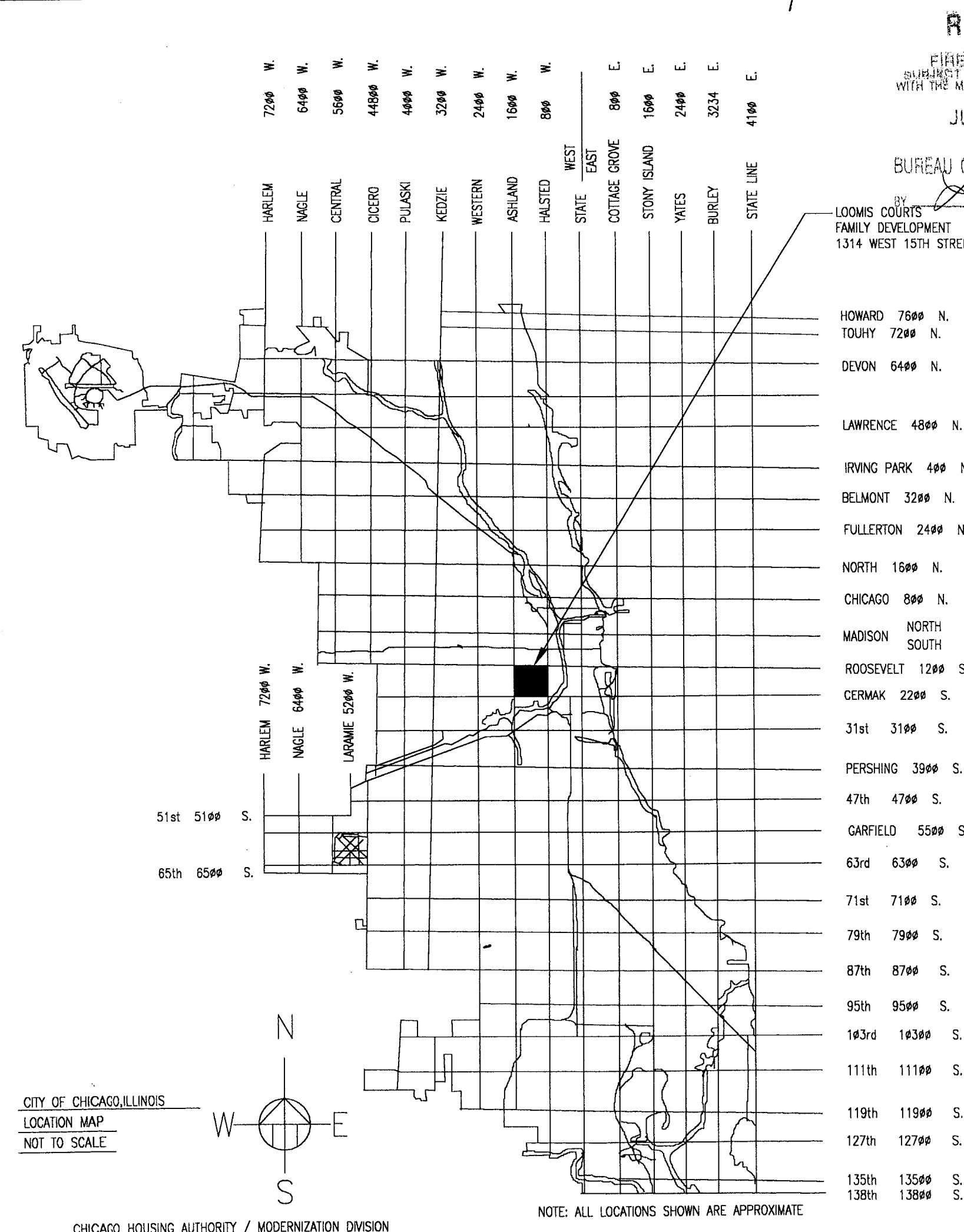


PHYSIC
RECAUSYSTEM
AUTOMATIC SPRINKLERS
STANDPIPE SYSTEMS

CAPITAL IMPROVEMENT PROGRAM

ISSUED FOR 100% CD
REVIEW AND PERMIT

09.07.04



REVIEWED
FOR
FIRE REGULATIONS
SUBJECT TO FULL COMPLIANCE
WITH THE MUNICIPAL CODE OF CHICAGO
JUN 03 2005

BUREAU OF FIRE PREVENTION
LOOMIS COURTS
FAMILY DEVELOPMENT
1314 WEST 15TH STREET

LOOMIS COURTS FAMILY DEVELOPMENT

GENERAL REHABILITATION

1314 WEST 15TH STREET
HUD NUMBER RH-7

RICHARD M. DALEY
MAYOR

SHARON GIST GILLIAM
CHAIRPERSON

LORI HEALEY
VICE - CHAIRPERSON

TERRY PETERSON
CHIEF EXECUTIVE OFFICER

ADRIENNE MINLEY
CHIEF OF STAFF

GAIL A. NIEMANN
GENERAL COUNSEL

BOARD OF COMMISSIONERS

HALLIE AMEY

EARNEST GATES

DR. MILDRED HARRIS

MICHAEL IVERS

MARTIN NESBITT

CARLOS PONCE

MARY WIGGINS

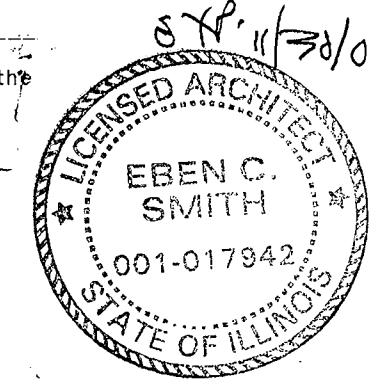
SANDRA YOUNG

ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

This statement must be a part of the original drawings as
plotted or hand-drafted, or must be permanently mounted with adhesive paper to the
cover sheet of the
submitted permit plans. The below statement must be signed in black ink and wet ink
stamped by a Registered
Energy Professional whose name is listed on the Department of Buildings Web site,
<http://www.cityofchicago.org/Buildings/BuildingCode/energylist.html>
I certify that I am a Registered Energy Professional (REP). I also certify that to
the best of my professional knowledge and belief that the attached plans for
(address) 1314 W. 15th St.

I fully comply with the requirements of Chapter 18-13, Energy Conservation, of the
Municipal Code
of Chicago, Illinois
Signed, *[Signature]* Date: 9/2/04

(Architect/Engineer)
Illinois License Number: 001-017942
Affix Original, Professional
Wet-Ink Seal Here



I DO HEREBY CERTIFY THAT THESE
DRAWINGS WERE PREPARED UNDER
MY SUPERVISION AND TO THE BEST OF
MY KNOWLEDGE CONFORMS TO ALL
APPLICABLE CODES AND ORDINANCES
CITY OF CHICAGO, ILLINOIS

[Signature]
EBEN C. SMITH

IL REG. # 001-017942
EXP. 11/30/04

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REVISIONS
1. 9/2/04
2. 9/2/04
3. 9/2/04
4. 9/2/04
5. 9/2/04
6. 9/2/04
7. 9/2/04
8. 9/2/04
9. 9/2/04
10. 9/2/04

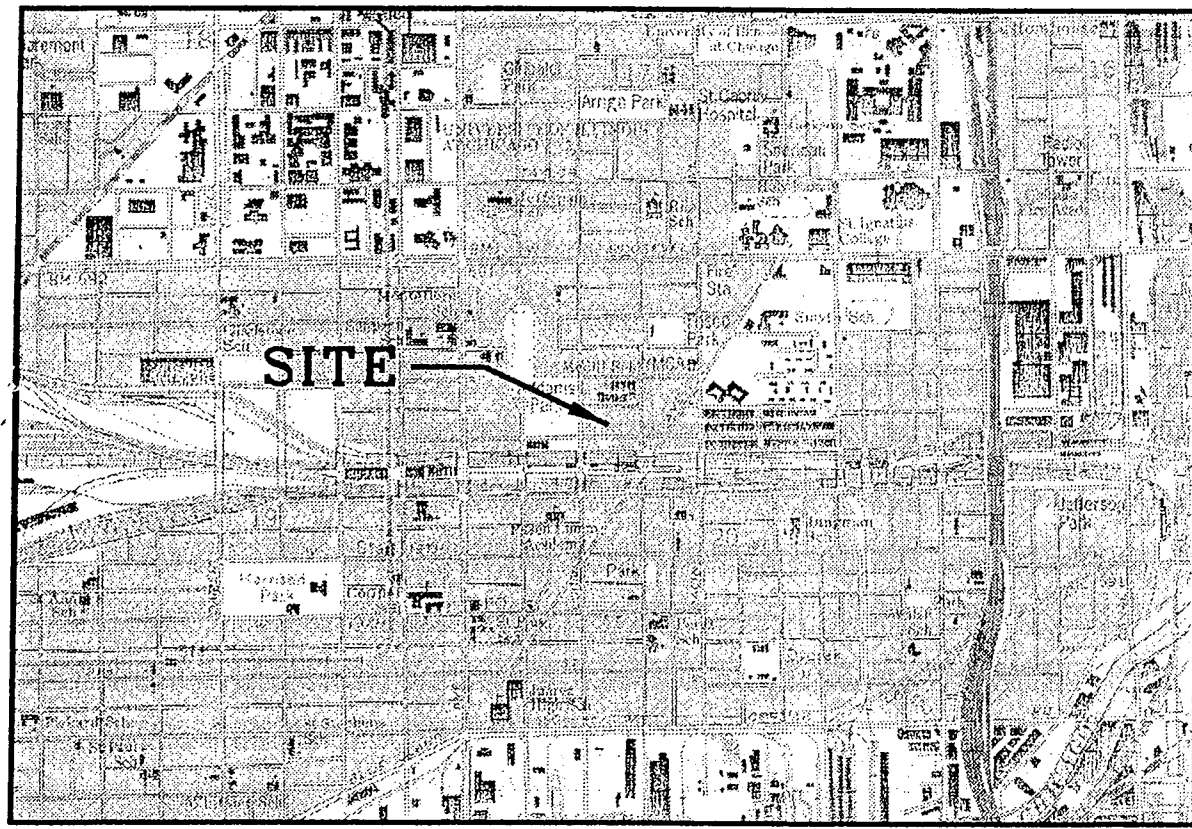
SEP 16 2005

RAFAEL HERNANDEZ
Executive Director

BY: *[Signature]*

APPROVAL SIGNATURES

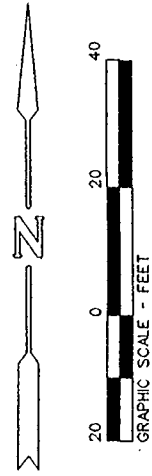
	FIRM NAME/TITLE	SIGNATURE	DATE
ARCHITECT			
OWNER			
CONTRACTOR			
BONDING CO.			



VICINITY MAP

A.L.T.A. / A.C.S.M. LAND TITLE SURVEY

A TRACT OF LAND LOCATED IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, AND BOUNDED BY A LINE DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTH LINE OF WEST 14th PLACE, BEING ITS INTERSECTION WITH THE WEST LINE OF SOUTH THROOP STREET; THENCE SOUTH, ALONG THE WEST LINE OF SOUTH THROOP STREET, TO ITS INTERSECTION WITH THE NORTH LINE OF WEST 15th STREET; THENCE WEST, ALONG SAID NORTH LINE OF WEST 15th STREET, TO ITS INTERSECTION WITH THE EAST LINE OF SOUTH LOOMIS STREET; THENCE NORTH, ALONG THE EAST LINE OF SOUTH LOOMIS STREET, TO ITS INTERSECTION WITH THE SOUTH LINE OF WEST 14th PLACE; THENCE EAST, ALONG SAID SOUTH LINE OF WEST 14th PLACE TO THE PLACE OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.



D-COOK 20-39-14

FLOOD ZONE DESIGNATION

BY SCALE MEASUREMENT, BASED UPON THE FLOOD INSURANCE RATE MAP FOR COOK COUNTY, ILLINOIS, AND INCORPORATED, FOR COMMUNITY NUMBER 170074, PANEL NUMBER 506 OF 832, MAP NUMBER 1703100506F, WITH AN EFFECTIVE DATE OF NOVEMBER 6, 2000, THE SUBJECT PROPERTY LIES WITHIN ZONE "UNSHADED X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN).

SELECTED ZONING DATA

THE SUBJECT PROPERTY IS ZONED AS "PLANNED DEVELOPMENT NUMBER 4," AND WAS CONSTRUCTED ACCORDING TO A PRE-APPROVED SITE DESIGN PLAN. FOR FURTHER INFORMATION, CONTACT THE CITY OF CHICAGO PLANNING AND ZONING COMMISSION AT 312-744-6439.

PARKING SPACE DATA

THE SUBJECT PROPERTY CONTAINS NO STRIPED PARKING SPACES.

BENCHMARK INFORMATION

SOURCE BENCHMARK:
CITY OF CHICAGO BENCHMARK #4625
A MARK CUT AT THE NORTHWEST CORNER OF THE CONCRETE FOUNDATION OF A BRICK BUILDING LOCATED ON THE EAST LINE OF SOUTH LOOMIS STREET AND ON THE SOUTH LINE OF WEST 15th STREET.
ELEVATION = 14.899

SITE BENCHMARK
FIRE HYDRANT LOCATED ON THE NORTH SIDE OF W. 15th ST. AT THE MIDDLE OF THE BLOCK
ELEVATION = 15.38

ABBREVIATIONS

TO = TOP OF CURB
FL = FLOW LINE
FE = FLOOR ELEVATION
TF = TOP OF FOUNDATION

LEGEND

⊙	SANITARY MANHOLE	⊙	MALBOX
⊙	SANITARY CLEANOUT	⊙	LIGHT POLE
⊙	STORM MANHOLE	⊙	OVERHEAD LIGHT POLE
⊙	STORM CATCH BASIN	⊙	ELECTRIC MANHOLE
⊙	STORM INLET	⊙	TRAFFIC SIGNAL POLE
⊙	FLARED END SECTION	⊙	TRAFFIC SIGNAL VAULT
⊙	TRANSFORMER	⊙	RAILROAD SIGNAL POLE
⊙	ELECTRICAL BOX	⊙	RAILROAD SIGNAL VAULT
⊙	CABLE T.V. BOX	⊙	UTILITY POLE
⊙	TELEPHONE BOX	⊙	OVERHEAD WIRES
⊙	TELEPHONE MANHOLE	⊙	UNDERGROUND ELECTRIC
⊙	ELECTRIC METER	⊙	UNDERGROUND GAS
⊙	GAS METER	⊙	UNDERGROUND TELEPHONE
⊙	GAS VALVE	⊙	UNDERGROUND CABLE T.V.
⊙	B-BOX	⊙	WATER MAIN
⊙	WATER VALVE	⊙	SANITARY SEWER
⊙	WATER VALVE VAULT	⊙	STORM SEWER
⊙	FIRE HYDRANT	⊙	FENCE LINE
⊙	POST INDICATOR VALVE	⊙	GUARD RAIL
⊙	SGN	⊙	DECIDUOUS TREE
⊙	FLAG POLE	⊙	PINE TREE
⊙	R - RECORD DIMENSION	⊙	DRIVE IRON PIPE
⊙	M - MEASURED DIMENSION	⊙	FOUND IRON PIPE

NOTES

- THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.
- UTILITIES SHOWN HEREON ARE LIMITED TO THOSE WHICH APPEAR FROM A VISUAL SURFACE INSPECTION OF THE SITE AS WELL AS SEWER AND WATER ATLASES OBTAINED FROM THE CITY OF CHICAGO.
- THE SURVEYOR HAS RECEIVED A COPY OF CHICAGO TITLE AND TRUST COMPANY TITLE COMMITMENT, NO. 42-46-505, DATED JUNE 5, 1956. THE LEGAL DESCRIPTION AND EASEMENTS SHOWN HEREON ARE LIMITED TO THOSE WHICH APPEAR ON SAID TITLE COMMITMENT.

TO:
CHICAGO HOUSING AUTHORITY
CHICAGO TITLE AND TRUST COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM, AND NSPS IN 1999, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7a, 8, 9, 10, AND 11a OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT PROPER FIELD PROCEDURES, INSTRUMENTATION, AND ADEQUATE SURVEY PERSONNEL WERE EMPLOYED IN ORDER TO ACHIEVE RESULTS COMPARABLE TO THOSE OUTLINED IN THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL ALTA/ACSM LAND TITLE SURVEYS."

DATED THIS 27th DAY OF September, 2004

BY: Daniel Sytman

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 30859
LICENSE EXPIRES: NOVEMBER 30, 2004
WEBSTER, McGRATH, AND AHLBERG
207 SOUTH NAPERVILLE STREET
WHEATON, ILLINOIS 60187
630-668-7603



LAND AREA
158,408 SQUARE FEET = 3.6365 ACRES

Rev	Date	Description	By	DS
1	9/27/04	D-SIZE: INVERTS	DS	
ALTA/ACSM SURVEY				
PREPARED FOR: SMITH HARDING 224 S. MICHIGAN AVE. SUITE 245 CHICAGO, IL 60604 (312) 922-2600				
LOCATION: 1314 WEST 15th STREET CHICAGO, ILLINOIS				
JOB	41156	DATE	09/03/04	SCALE: 1" = 30'
SURV	DS	DRAWN	SS-NK	DESIGN
FILE		D-COOK	20-39-14	SHEET 1 OF 1

WEBSTER, McGRATH & AHLBERG LTD.
Consulting Engineers
Land Surveying and Civil Engineering Since 1906
207 South Naperville St.
Wheaton, Illinois 60187
Design Firm License No. 164-003101
(630) 668-7603 FAX (630) 682-1750 EMAIL WMALTO@WMALTO.COM

TOTAL UNIT COUNTS = 61 TOTAL UNITS		FOR AUDIOVISUAL ALARMS CONDUIT FOR AUDIOVISUAL ALARMS AS REQUESTED BASIS BY RESIDENTS (3 TOTAL) C4,F04, F01		VISIBLE IN ALL ROOMS AND SPACES, EXCEPT UTILITY RM AND CLOSET CONNECT TO FIRE ALARM AT THE TIME OF CONSTRUCTION.	
GENERAL NOTES FOR ACCESSIBILITY MATRIX					
20% OF TOTAL UNITS ARE TO BE ADAPTABLE TYPE 'A' UNITS PER I.A.C. TYPE 'A' UNITS: 61 x 20%=12.2 OR 12UNITS					
TYPE 'A' UNITS 'ADAPTABLE' COMPLIANT 15% OF TOTAL: 63 x 15%=9.45 OR 9 UNITS					
TYPE 'A' UNITS 'FULLY ACCESSIBLE' 5% OF TOTAL: 61 x 5%=3.05 OR 3 UNITS					
TYPE 'A' UNITS TO GET AUDIOVISUAL CONDUIT FOR ALARMS ON AS REQUESTED BASIS BY RESIDENT: 20% OF I.A.C. ADAPTABLE 20% =2.6 OR 3 UNITS					
80% OF TOTAL UNITS ARE NOT REQUIRED TO BE ACCESSIBLE					
20% OF THE REMAINING 80% OF NON COMPLIANT UNITS TO RECEIVE CONDUIT PIPE FOR AUDIOVISUAL ALARMS TO BE INSTALLED ON AS REQUESTED BASIS BY RESIDENTS					
20% OF REMAINING 80% OF UNITS = 14.6 OR 15 UNITS					
2.1% OF REMAINING 80% OF UNITS TO BE PIPED AND FULLY EQUIPPED WITH AUDIOVISUAL ALARMS AT TIME OF CONSTRUCTION =1.46 OR 2 UNITS					
2% OF 20% ADAPTABLE COMPLIANT UNITS TO BE ADAPTABLE FOR AUDIOVISUAL 20% OF 12 UNITS=2.6 OR 3 UNITS WITHIN TYPE 'A' UNITS TO RECEIVE CONDUIT FOR AUDIOVISUAL ALARMS TO BE INSTALLED ON AS REQUESTED BASIS BY RESIDENTS					

20% OF TOTAL UNITS ARE TO BE ADAPTABLE TYPE 'A' UNITS PER I.A.C.

TYPE 'A' UNITS: 61 x 20% = 12.2 OR 12 UNITS

TYPE 'A' UNITS: ADAPTABLE COMPLIANT 15% OF TOTAL: 63 x 15% = 9.45 OR 9 UNITS

TYPE 'A' UNITS: FULLY ADAPTABLE: 5% OF TOTAL: 61 x 5% = 3.05 OR 3 UNITS

1 TYPE 'A' UNITS TO GET AUDIOVISUAL CONDUIT FOR ALARMS ON AS REQUESTED BASIS BY RESIDENT: 20% OF I.A.C. ADAPTABLE 20% ± 2.6 OR 3 UNITS

80% OF TOTAL UNITS ARE NOT REQUIRED TO BE ACCESSIBLE

20% OF THE REMAINING 80% OF NON COMPLIANT UNITS TO RECEIVE CONDUIT PIPE FOR AUDIOVISUAL ALARMS TO BE INSTALLED ON AS REQUESTED BASIS BY RESIDENTS

80% REMAINING 80% OF UNITS = 48 OR 48 UNITS

2.1% OF REMAINING 80% OF UNITS TO BE PIPED AND FULLY EQUIPPED WITH AUDIOVISUAL ALARMS AT TIME OF CONSTRUCTION = 1.68 OR 2 UNITS

20% OF 20% ACCESSIBLE NEED TO BE ADAPTABLE FOR AUDIOVISUAL 20% OF UNITS = 12 UNITS ± 2.6 OR 13 UNITS WITHIN TYPE 'A' UNITS TO RECEIVE

20% OF 20% ACCESSIBLE NEED TO BE ADAPTABLE FOR AUDIOVISUAL ALARMS TO BE INSTALLED ON AS REQUESTED BASIS BY RESIDENTS

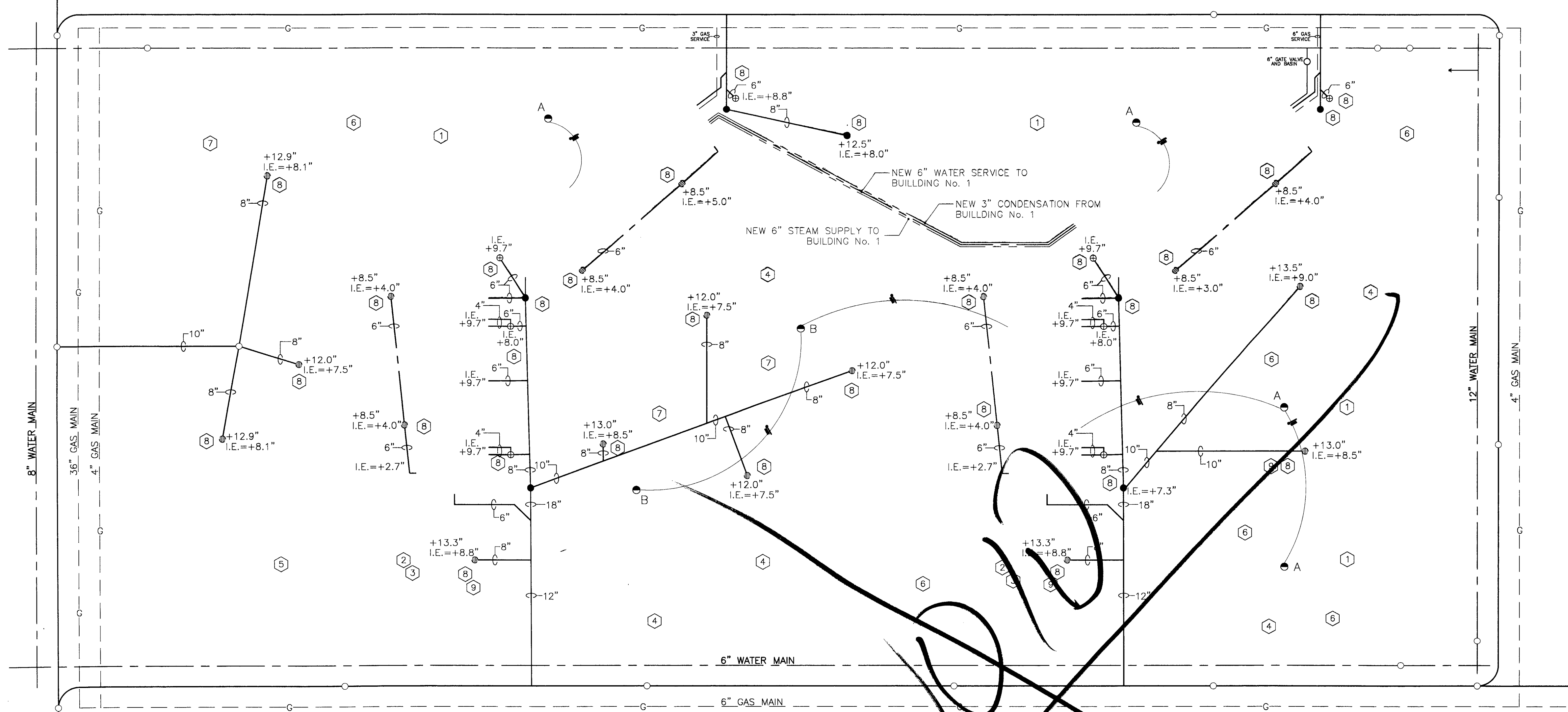
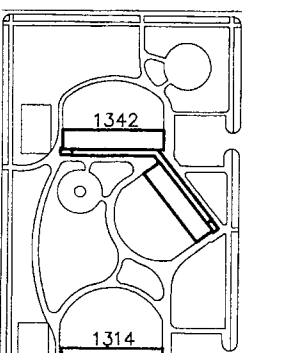


Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

Key Plan



LEGEND

- GAS LINE
- WATER LINE
- SEWER LINE
- METAL GUARD RAIL
- EXISTING MANHOLE
- MANHOLE
- ⊕ CATCH BASIN
- ⊕ GREASE BASIN
- EXISTING TREE
- WATER VALVE
- LIGHT POLE
- CITY ELECTRIC MANHOLE
- INLET
- ELECTRIC VAULT
- PP-□ POWER POLE
- AMERITECH
- TRANSFORMER
- FIRE HYDRANT
- EXISTING
- ▨ NO WORK THIS AREA
- ▨ ASPHALT PAVEMENT INCLUDING AGGREGATE BASE TO BE REMOVED
- ▨ CONCRETE PAVEMENT/ WALKWAY TO BE REMOVED

KEY NOTES

- 1 REBUILD ASPHALT SURFACE PARKING LOTS
- 2 REMOVE ASPHALT SURFACES AT PLAY AREAS AND DRYING YARDS
- 3 TILL BARE AREAS, RESEED AND SOD, SHRUBS AT FORMER DRYING BEDS, FLOWER BEDS WITH PERENNIALS
- 4 REPAIR AND REPLACE CONCRETE SIDEWALK AT HEAVED LOCATIONS
- 5 NEW PLAY SURFACE AT ALL EQUIPMENT, NEW MODULAR PLAY STATION
- 6 REMOVE FENCE AT SOUTHEAST PARKING LOT REPLACE WITH PAINTED FENCE, ADD NEW PERIMETER FENCE
- 7 REPLACE MISSING BENCHES, REPAIR BENCHES

- 8 CORRECT DRAINAGE, ROD OUT AND FLUSH DRAINAGE STRUCTURES
- 9 EXISTING CATCH BASIN / MANHOLE TO REMAIN. ADJUST FRAME & LID TO NEW GRADE.
- 10 EXISTING CONCRETE CURB TO BE REMOVED
- 11 NOT USED
- 12 REMOVE EXISTING DRINKING FOUNTAIN.
- 13 EXISTING CATCH BASIN/MANHOLE TO BE RELOCATED.
- 14 EXISTING CONCRETE CURB TO REMAIN.
- 15 EXISTING CONCRETE PAVING TO BE REMOVED.
- 16 EXISTING WATER SERVICE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 17 CHILDREN'S PLAY AREA. REMOVE RUBBER PLAY SURFACE, ALL PLAYGROUND EQUIPMENT, AND OTHER APPURTANANCES IN ITS ENTIRETY.
- 18 EXISTING ASPHALT PAVEMENT AND SUBGRADE TO BE REMOVED.
- 19 EXISTING BOLLARDS TO BE REMOVED.
- 20 EXISTING CONCRETE DRIVEWAY TO REMAIN.
- 21 EXISTING DUMPSTERS TO BE TEMPORARILY RELOCATED. CONTRACTOR TO COORDINATE TEMPORARY RELOCATION WITH OWNER.
- 22 REMOVE EXISTING TREE AND ROOT SYSTEM IN ITS ENTIRETY. SEE LANDSCAPING PLAN.
- 23 EXISTING CONCRETE BOLLARDS TO REMAIN. PROTECT DURING CONSTRUCTION.
- 24 EXISTING ORNAMENTAL FENCE TO REMAIN. CLEAN AND REPAINT.
- 25 NOT USED
- 26 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 27 EXISTING METAL GUARDRAILS TO BE REMOVED.
- 28 EXISTING UNDERGROUND UTILITY STRUCTURE, FRAME AND LID TO BE ADJUSTED. REMOVE PAVEMENT AS REQUIRED.
- 29 EXISTING SITE FURNISHINGS TO BE REMOVED.
- 30 SAW CUT AND REMOVE PORTION OF CONCRETE PAVEMENT. ADJUST FRAME AND LID. PATCH PAVEMENT TO MATCH EXISTING.

NOTES:

CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND FILL TO A TOTAL DEPTH OF 1'-6" AND PROOF-ROLL THE BOTTOM OF EXCAVATION TO SCALE 1'-2.0'-0". DETECT ANY SOFT OR YIELDING AREAS. ANY AREAS DETECTED SHOULD BE UNDERCUT AN ADDITIONAL 6" AND BACKFILLED WITH COURSE, CLEAN STONE. THE BOTTOM OF EXCAVATION SHOULD THEN BE COVERED WITH GEOTEXTILE FILTER FABRIC, AND THE EXCAVATION BACKFILLED WITH CRUSHED STONE (DOT CA-6, PLACED IN LIFTS OF 8" OR LESS AND THEN COMPACTED TO 95% OF STANDARD PROCTOR VALUE.

LEGEND

- ✕ +5.08 EXISTING GROUND ELEVATION TO REMAIN
- △ 22.08 PROPOSED GROUND ELEVATION
- DRAINAGE DIRECTION
- (#) PREVIOUS ELEVATION
- * DRAINAGE STRUCTURE TO REMAIN
- UNDERGROUND LINE TO BE REMOVED
- NEW UNDERGROUND LINE

- 31 NOT USED
- 32 REMOVE STORM STRUCTURE.
- 33 NOT USED
- 34 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 35 EXISTING WATER FEATURE. PROTECT DURING CONSTRUCTION.
- 36 EXISTING TRANSFORMER PAD TO REMAIN.
- 37 REMOVE EXISTING CHAIN LINK FENCE.
- 38 EXISTING LANDSCAPE/SOD TO BE REMOVED.
- 39 REMOVE BACKSTOP IN ITS ENTIRETY.

NOTE: THE EXTENT OF THE DEMOLITION WORK IS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN AND INCLUDES, BUT IS NOTE LIMITED TO:

1. REMOVAL AND/OR RELOCATION OF ALL UTILITIES, PAVING AND OTHER SITE FEATURES WHICH ARE IN CONFLICT WITH THE CONSTRUCTION OF NEW FACILITIES OR ARE DESIGNATED TO BE REMOVED.
2. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS AND SPOILS TO INSURE MINIMAL INTERFERENCE WITH TRAFFIC AND OTHER OPERATIONS.
3. INSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION. PROVIDE BARRICADES AND ALL TRAFFIC MAINTENANCE REQUIRED AND AS DETERMINED NECESSARY BY THE OWNER'S REPRESENTATIVE (O.R.). REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM DEMOLITION AND DISPOSE OF IN ACCORDANCE TO LOCAL, STATE, AND FEDERAL REGULATIONS.
4. NOTIFY THE O.R. 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
5. THE CONTRACTOR SHALL COORDINATE WITH THE O.R. ALL ITEMS TO BE REMOVED OR RELOCATED.
6. IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLANS AND REQUIRED DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION WITH THE O.R.
7. THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE PBC/ARCHITECT/O.R. ARE NOT RESPONSIBLE FOR ANY MISCHARTED OR UNCHARTED UTILITIES, SITE ELEMENTS, ETC. OR OTHER ERRORS DETECTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS.

8. THE CONTRACTOR SHALL PROTECT ALL UTILITIES DESIGNATED TO REMAIN. ANY UTILITIES DAMAGED BY THE CONTRACTOR WILL BE REPLACED/REPAIRED PROMPTLY AT THE CONTRACTOR'S EXPENSE.

9. THE CONTRACTOR SHALL PAY ALL REQUISITE FEES TO THE CITY OF CHICAGO, AND ANY OTHER AGENCY REQUIRED FOR COMPLETION OF DEMOLITION WORK.

10. SEE TECHNICAL SPECIFICATIONS FOR ADDITIONAL SITE AND SITE ELEMENT DEMOLITION REQUIREMENTS.

11. REMOVE EXISTING CONCRETE SLABS, SIDEWALKS, FOUNDATIONS, UNSUITABLE MATERIAL AND OTHER ITEMS WITHIN WORK AREA AS SHOWN AND SPECIFIED IN THE CONTRACT DOCUMENTS. BACKFILL EXCAVATED AREAS WITH ENGINEERED FILL AND COMPACT AS SPECIFIED IN THE DOCUMENTS. ALL COST ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE BASE BID.

12. DIMENSIONS SHOWN ON THE PLAN ARE BASED ON SURVEY INFORMATION AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.

13. CONTRACTOR TO PROVIDE UNIT PRICING OF SALVAGEABLE ITEMS I.E. ORNAMENTAL FENCING, EQUIPMENT, ETC. FOR CREDIT TO OWNER.

14. SALVAGE ALL EXISTING TREES EXCEPT AS IDENTIFIED IN DEMO NOTE 14.

SCOPE ITEMS

VOTD
3.4.05
Q

Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

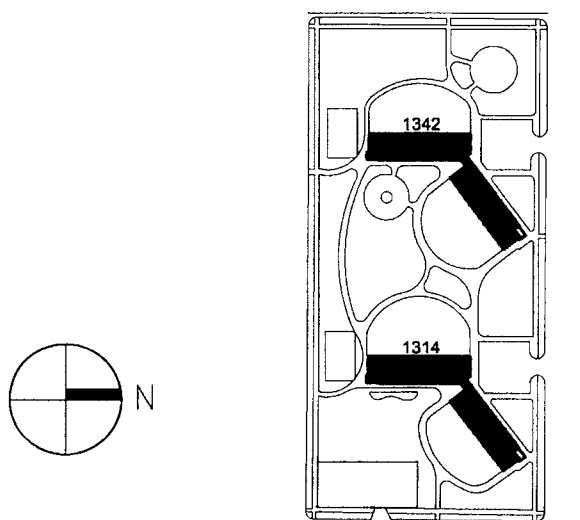
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SEP 16 2005

RAFAEL HERNANDEZ
BY: *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
6	03.03.05	PERMIT	
5	10.08.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500

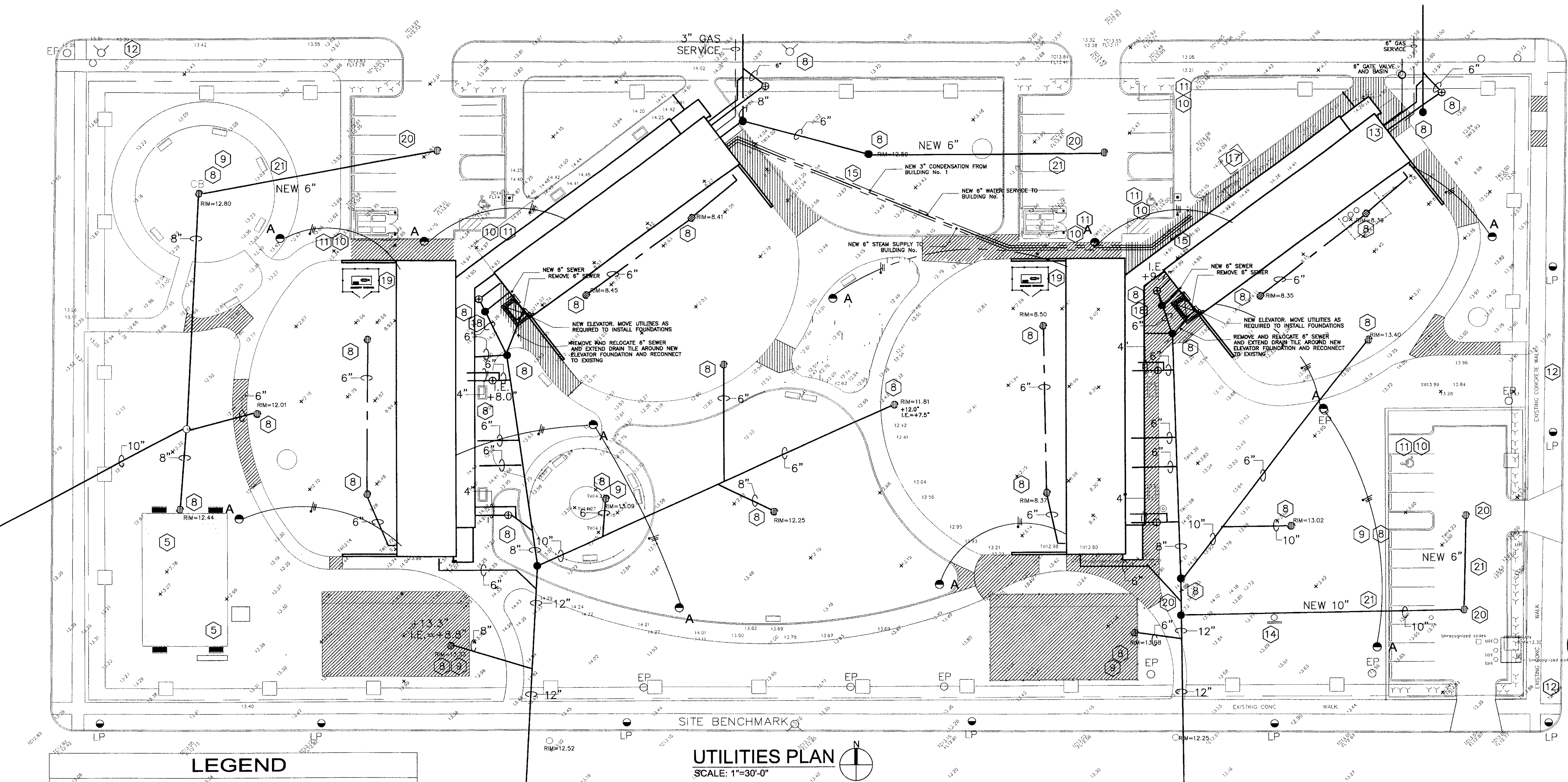
FAX (312) 655-1105

**LOOMIS CIVIL SITE PLAN
SEWER WATER & GAS**

1314 & 1342 W. 15TH ST.
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
9/28/04	AS SHOWN	2003005.01	C-101
DRAWN CMH	CHECKED ECS	APPROVED ECS	



LEGEND

○ SANITARY MANHOLE	○ MAILBOX
○ SANITARY CLEANOUT	○ LIGHT POLE
○ STORM MANHOLE	○ OVERHEAD LIGHT POLE
○ STORM CATCH BASIN	○ ELECTRIC MANHOLE
○ STORM INLET	○ TRAFFIC SIGNAL POLE
○ FLARED END SECTION	○ TRAFFIC SIGNAL VAULT
○ TRANSFORMER	○ RAILROAD SIGNAL POLE
○ ELECTRICAL BOX	○ RAILROAD SIGNAL VAULT
○ CABLE T.V. BOX	○ UTILITY POLE
○ TELEPHONE BOX	○ OVERHEAD WIRES
○ TELEPHONE MANHOLE	○ UNDERGROUND ELECTRIC
○ ELECTRIC METER	○ UNDERGROUND GAS
○ GAS METER	○ UNDERGROUND TELEPHONE
○ GAS VALVE	○ UNDERGROUND CABLE T.V.
○ B-BOX	○ WATER MAIN
○ WATER VALVE	○ SANITARY SEWER
○ WATER VALVE VAULT	○ STORM SEWER
○ FIRE HYDRANT	○ FENCE LINE
○ POST INDICATOR VALVE	○ GUARD RAIL
○ SIGN	○ DECIDUOUS TREE
○ FLAG POLE	○ PINE TREE
○ R = RECORD DIMENSION	○ DROVE IRON PIPE
○ M = MEASURED DIMENSION	○ FOUND IRON PIPE
■ AREAS OF REQUIRED WORK	

KEY NOTES

1	NOT USED
2	NOT USED
3	NOT USED
4	NOT USED
5	NOT USED
6	NOT USED
7	NOT USED

KEY NOTES CONTINUED

8	CORRECT DRAINAGE, ROD OUT AND FLUSH DRAINAGE STRUCTURES
9	EXISTING CATCH BASIN / MANHOLE TO REMAIN. ADJUST FRAME & LID TO NEW GRADE.
10	EXISTING CONCRETE CURB TO BE REMOVED
11	PROVIDE NEW CURB RAMP FOR HCD. ACCESS FROM PARKING LOT TO SIDEWALK WITH DETECTABLE WARNINGS PER IDOT REQUIREMENTS AND LOCAL CODE REQUIREMENTS
12	EXISTING CONCRETE/ASPHALT PAVING TO BE REMOVED.
13	EXISTING WATER AND GAS SERVICE TO REMAIN. PROTECT DURING CONSTRUCTION.
14	REMOVE STRUCTURE IN ITS ENTIRETY.
15	PROVIDE TRENCH AND BACK FILL FOR RICWELL PIPING TO SERVE 6" STEAM, 3" CONDENSATE AND 5" COLD WATER PIPING. RESTORE SURFACES TO MATCH EXISTING
16	NOT USED
17	REMOVE EXISTING UNDERGROUND STORAGE TANKS AND BACK FILL RESTORE SURFACES TO MATCH EXISTING. REMOVE ALL ASSOCIATED PIPING INCLUDING BUT NOT LIMITED TO THE FILL PIPING, VENT PIPING AND FUEL SERVICE PIPING TO BOILER ROOM.
18	PROVIDE NEW MANHOLE STRUCTURE AND EXTEND NEW 6" SANITARY TO BUILDING AND RECONNECT IN BASEMENT TO EXISTING 6" SEWER
19	PROVIDE 8" CONCRETE PAD 18'X14' FOR THE EMERGENCY GENERATOR. COORDINATE WITH ELECTRICAL PAD OPENINGS PRIOR TO POUR. PROVIDE VANDAL RESISTANT ENCLOSURE. PREPARE SITE TO ALLOW DRAINAGE TO EXISTING CATCH BASINS
20	PROVIDE NEW CATCH BASIN STRUCTURE MATCH SITE ELEVATION AND TIE EXISTING / NEW STORM LINES TO NEW STRUCTURE
21	PROVIDE TRENCH FOR NEW SANITARY / STORM LINES EXCAVATE AND BACKFILL. RESTORE SURFACE TO MATCH EXISTING

NOTE:

THE EXTENT OF THE DEMOLITION WORK IS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN AND INCLUDES, BUT IS NOT LIMITED TO:

- REMOVAL AND/OR RELOCATION OF ALL UTILITIES, PAVING AND OTHER SITE FEATURES WHICH ARE IN CONFLICT WITH THE CONSTRUCTION OF NEW FACILITIES, OR ARE DESIGNATED TO BE REMOVED.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS AND SPOILS TO INSURE MINIMAL INTERFERENCE WITH TRAFFIC AND OTHER OPERATIONS.
- INSURE SAFE PASSAGE OF PERSONS AROUND AREAS OF DEMOLITION. PROVIDE BARRICADES AND ALL TRAFFIC MAINTENANCE REQUIRED AND AS DETERMINED NECESSARY BY THE OWNER'S REPRESENTATIVE (O.R.). REMOVE FROM SITE ALL DEBRIS, RUBBISH AND OTHER MATERIAL RESULTING FROM DEMOLITION AND DISPOSE OF IN ACCORDANCE TO LOCAL, STATE, AND FEDERAL REGULATIONS.
- NOTIFY THE O.R. 72 HOURS IN ADVANCE OF ANY UTILITY SHUTDOWN.
- THE CONTRACTOR SHALL COORDINATE WITH THE O.R. ALL ITEMS TO BE REMOVED OR RELOCATED.
- IF ANY ITEMS ARE ENCOUNTERED IN THE FIELD THAT ARE NOT SHOWN ON THE PLANS AND REQUIRED DEMOLITION OR RELOCATION, THE CONTRACTOR SHALL COORDINATE THE REMOVAL/RELOCATION WITH THE O.R.
- THE SURVEY BASE PROVIDED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY. THE PBC/ARCHITECT/O.R. ARE NOT RESPONSIBLE FOR ANY MISCHARTED OR UNCHARTED UTILITIES, SITE ELEMENTS, ETC. OR OTHER ERRORS DETECTED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS.

8. THE CONTRACTOR SHALL PROTECT ALL UTILITIES DESIGNATED TO REMAIN. ANY UTILITIES DAMAGED BY THE CONTRACTOR WILL BE REPLACED/REPAIRED PROMPTLY AT THE CONTRACTOR'S EXPENSE.

9. THE CONTRACTOR SHALL PAY ALL REQUISITE FEES TO THE CITY OF CHICAGO, AND ANY OTHER AGENCY REQUIRED FOR COMPLETION OF DEMOLITION WORK.

10. SEE TECHNICAL SPECIFICATIONS FOR ADDITIONAL SITE AND SITE ELEMENT DEMOLITION REQUIREMENTS.

11. REMOVE EXISTING CONCRETE SLABS, BACKFILL EXCAVATED AREAS WITH ENGINEERED FILL AND COMPACT AS SPECIFIED IN THE DOCUMENTS. ALL COST ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE BASE BID.

12. DIMENSIONS SHOWN ON THE PLAN ARE BASED ON SURVEY INFORMATION AND ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.

13. CONTRACTOR TO PROVIDE UNIT PRICING OF SALVAGEABLE ITEMS I.E. ORNAMENTAL FENCING, EQUIPMENT, ETC. FOR CREDIT TO OWNER.

14. SALVAGE ALL EXISTING TREES EXCEPT AS IDENTIFIED IN DEMO NOTE 14.

TEMPORARY UTILITIES NOTES:

1.) GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITY SERVICES AND ALL UTILITIES TO MAINTAIN ANY TENANT OCCUPIED SPACES. TENANT OCCUPIED SPACES WILL REQUIRE POWER, GAS, HEATING AND WATER SERVICES AT ALL TIMES.

NOTES:

CONTRACTOR SHALL REMOVE EXIST. PAVEMENT AND FILL TO A TOTAL DEPTH OF 1'-6" AND PROOF-ROLL THE BOTTOM OF EXCAVATION TO DETECT ANY SOFT OR YIELDING AREAS. ANY AREAS DETECTED SHOULD BE UNDERCUT AN ADDITIONAL 6" AND BACK FILLED WITH COURSE, CLEAN STONE. THE BOTTOM OF EXCAVATION SHOULD THEN BE COVERED WITH GEOTEXTILE FILTER FABRIC, AND THE EXCAVATION BACK FILLED WITH CRUSHED STONE IDOT CA-6, PLACED IN LIFTS OF 8" OR LESS AND THEN COMPACTED TO 95% OF STANDARD PROCTOR VALUE.

NOTES:

HANDICAPPED ACCESSIBLE PARKING SPACES, ACCESS AISLES, CURB CUT RAMP ASSEMBLIES, ETC. AND CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) THE HOUSING ACT ACCESSIBILITY GUIDELINES (FHAG) AND SECTION 400.310c ILLINOIS ACCESSIBILITY CODE.

NOTES:

NEW UNDERGROUND WATER, STEAM AND CONDENSATE TO BE EQUAL TO CALVA GARD BY PERMAPE / RICWELL INSTALL PIPE, VENT AND DRAINS PER MANUFACTURER'S INSTRUCTION AND ANSI B31.1 36" BELOW GRADE SURFACE.

PERMIT NOTES:

- MINIMUM GUTTER SLOPE SHALL BE 0.4%
- MINIMUM SLOPE ON PAVEMENT SHALL BE 1.0% IN PARKING LOT.
- SIDEWALK CROSS SLOPES SHALL BE 1" IN 3".

CHICAGO CITY DATUM

All elevations shown on the plans are based upon the Chicago City Datum (CCD) as established by ordinance which is elevation 579.88' above mean tide New York.

BENCHMARK INFORMATION

SOURCE BENCHMARK: CITY OF CHICAGO BENCHMARK #4625 A MARK CUT AT THE NORTHWEST CORNER OF THE CONCRETE FOUNDATION OF A BRICK BUILDING LOCATED ON THE EAST LINE OF SOUTH LOOMIS STREET AND ON THE SOUTH LINE OF WEST 15TH STREET. ELEVATION = 14.889

SITE BENCHMARK: FIRE HYDRANT LOCATED ON THE NORTH SIDE OF W. 15TH ST. AT THE MIDDLE OF THE BLOCK. ELEVATION = 15.36



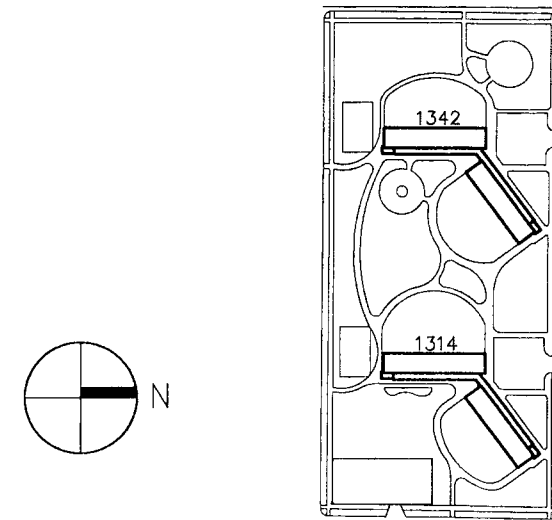
Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

SEP 18 2003
BY: RAFAEL HERNANDEZ

Key Plan



NO.	DATE	DESCRIPTION	BY
3	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

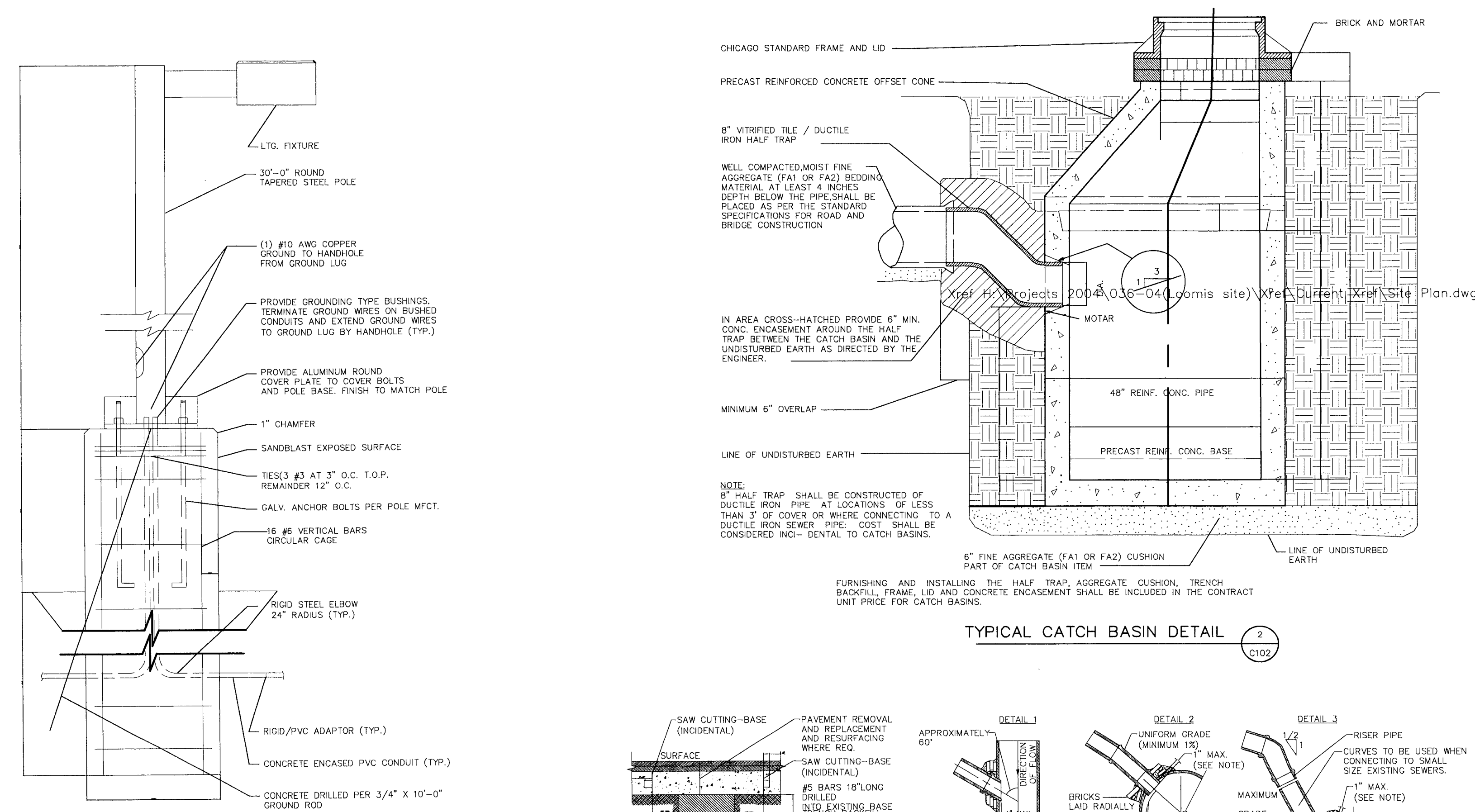
(312) 742 5500 FAX (312) 655-1105

LOOMIS
CIVIL DETAILS

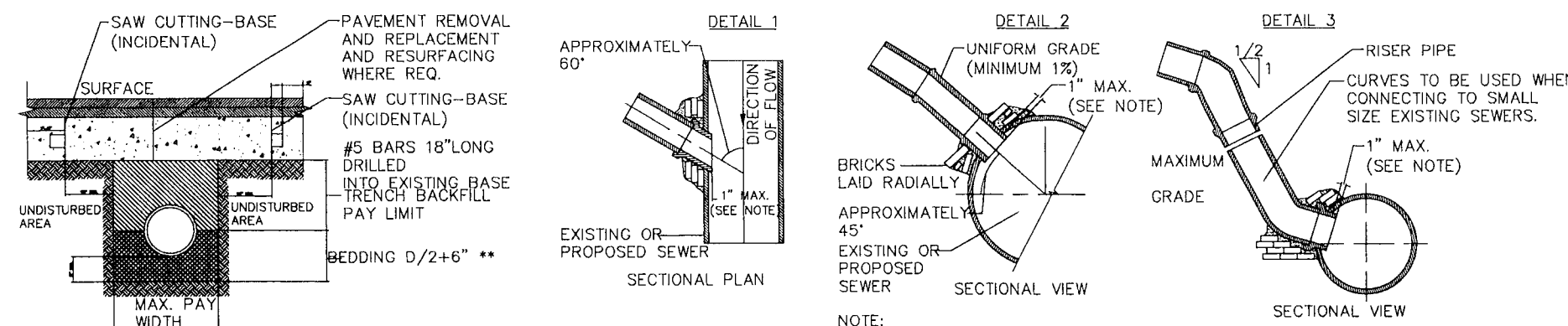
1314 & 1342 W. 15TH ST.
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

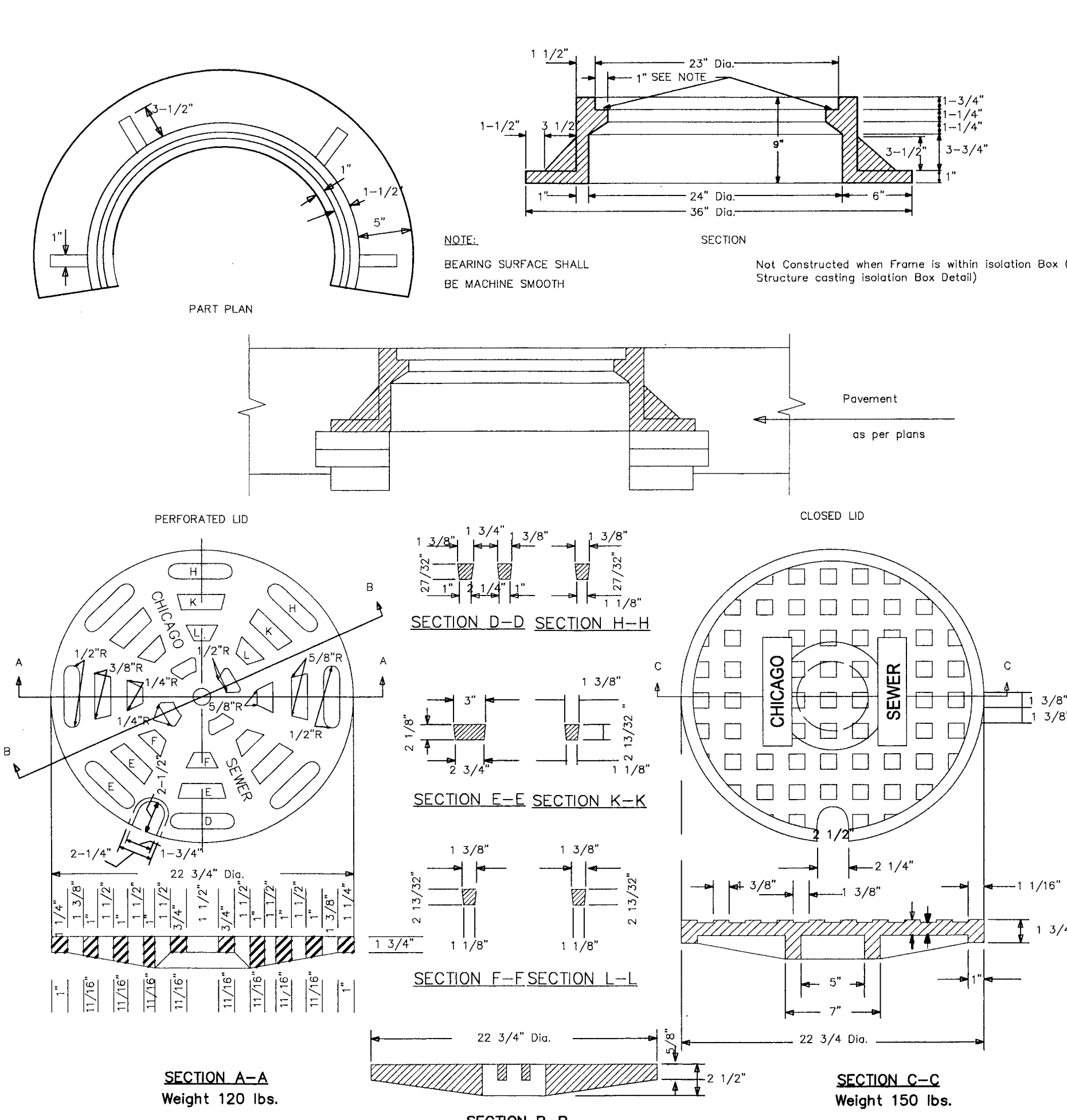
DATE	SCALE	JOB NO.	SHEET NUMBER
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DRAWN CMH	CHECKED DAS	APPROVED PAH	SHT. X OF X SHTS.



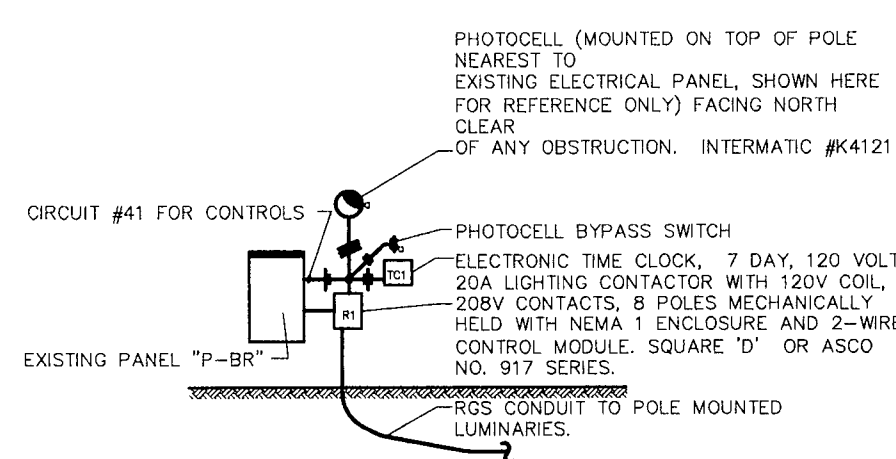
TYPICAL CATCH BASIN DETAIL (1)



TYPICAL UNDERGROUND CLAY PIPING DETAIL (2)



TYPICAL CATCH BASIN DETAIL (3)



DETAIL - LIGHT CONTROL "A" (4)

DETAIL - LIGHT FIXTURE TYPE "A"

NOT TO SCALE

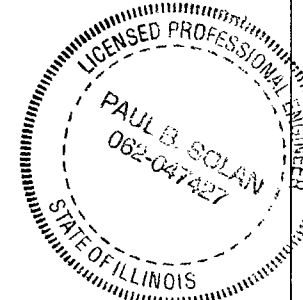
COORDINATION NOTES:

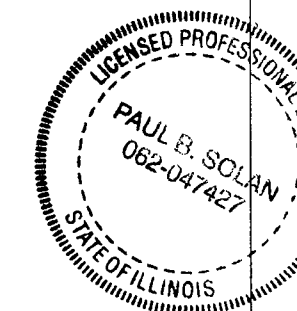
EACH TRADE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING EXAMINE SCOPE AND CONDITIONS OF OTHER CONTRACT WORK, AND EXAMINE EXISTING CONDITIONS AND ALL INTERFERENCES AND REQUIRED COORDINATION IN ORDER TO INCLUDE EFFECT OF SAID CONDITIONS IN THEIR BID. BID DWG. ARE DIAGRAMMATIC AND DO NOT INDICATE ALL REQUIRED OFFSETS, CHANGE IN ASPECT RATIOS, OR ROUTING CHANGES REQUIRED TO INTEGRATE WORK WITH ALL OTHER CONDITIONS OR TRADES. WORK INSTALLED BEFORE COORDINATING SO AS TO CAUSE INTERFERENCES WITH OTHER TRADES SHALL BE REMOVED AND REWORKED WITHOUT COST TO OWNER. COST OF PROVIDING SUCH OFFSETS, SIZE CHANGES, REROUTING ETC., SHALL BE INCLUDED IN BID. CODE CONFORMING SCALED (1/4") COORDINATED DWG. SHALL BE PREPARED BY EACH TRADE TO FACILITATE AND VERIFY FIT AND CONGRUENCE OF INSTALLATION WITH OTHER TRADES. WHERE ADDITIONAL DETAILS, DIAGRAMS, AND ISOMETRICS ARE REQUIRED BY BUILDING DEPARTMENT OF CODE AUTHORITIES FOR PERMIT OR APPROVAL, CONTRACTOR SHALL PROVIDE SAME AT NO ADDITIONAL COST.

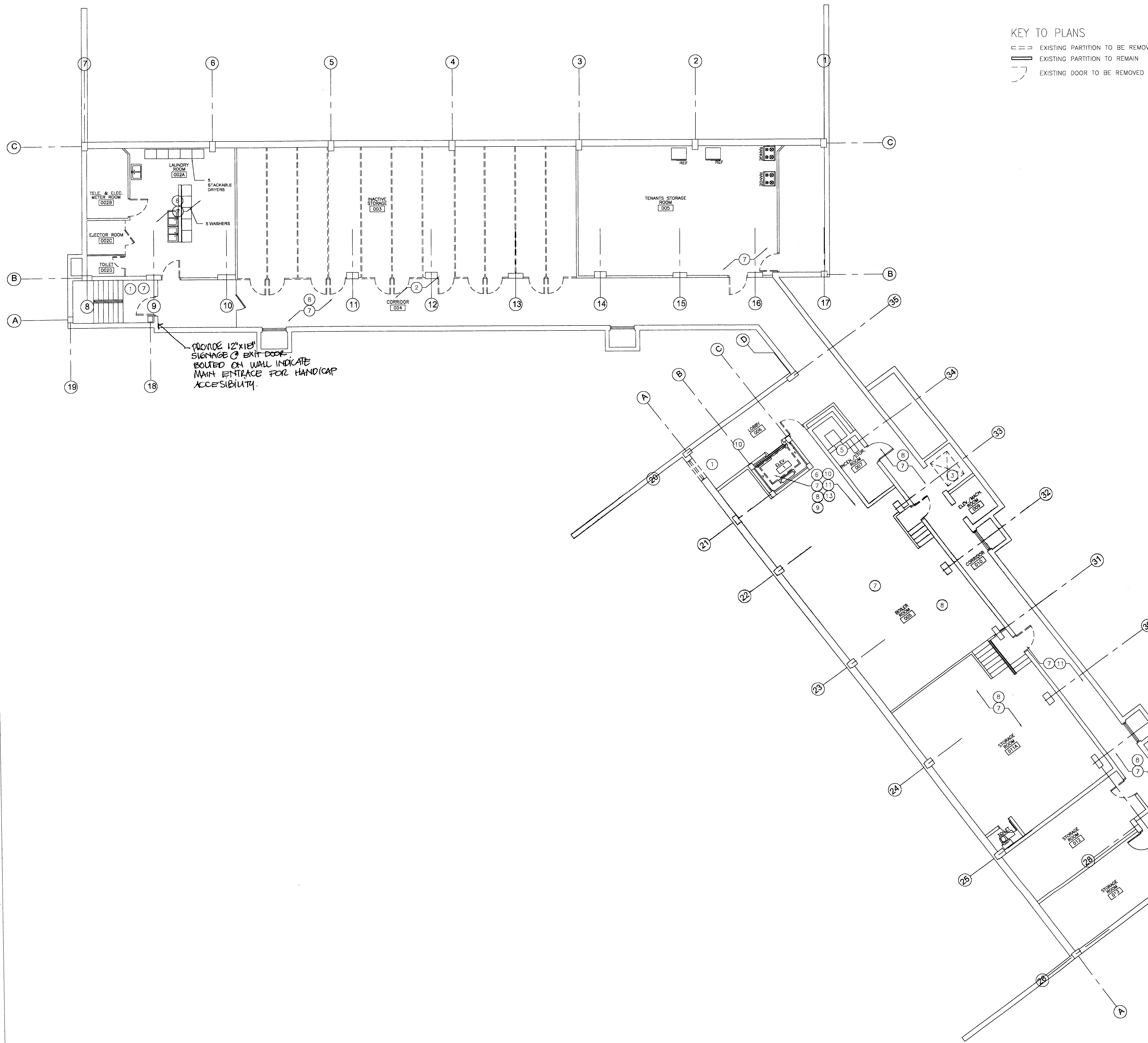
LIGHTING FIXTURE SCHEDULE

- VERIFY TYPE OF WALL FOR ALL RECESSED LIGHTING FIXTURES PRIOR TO ORDERING. ARCHITECT IS TO DETERMINE THE FINISH FOR ALL FIXTURES AND POLES.
- PROVIDE ALL ADDITIONAL HARDWARE FOR FIXTURE MOUNTING AS REQUIRED.
- ALL WIRE WITHIN (3) THREE INCHES OF BALLASTS SHALL BE RATED A MINIMUM OF 90°C.
- MINIMUM LENS THICKNESS TO BE .125 INCHES.
- SEE LIGHTING FIXTURE SECTION IN SPEC'S FOR ADDITIONAL INFORMATION.
- THE FIXTURE SCHEDULE DOES NOT NECESSARILY LIST ALL ACCESSORIES AND HARDWARE NECESSARY FOR THE COMPLETION OF INSTALLATION, NOR DOES IT DETAIL THE CONSTRUCTION TO BE ENCOUNTERED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY DETERMINE AND PROVIDE CORRECT COMPONENTS, ACCESSORIES, AND HARDWARE AS REQUIRED FOR THE INSTALLATION.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXACT LIGHTING FIXTURE LOCATION.

FIXTURE TAG	MANUFACTURER & CATALOG NUMBER	LAMPS	VOLT	MOUNTING	REMARKS
A	GARCOO #CA2213250HPS240	(1) 250W. HPS	208V. 1Ø	POLE (SEE DETAIL)	COLOR AND EXACT LOCATION TO BE SELECTED BY ARCHITECT
B	KING LUMINAIRE AND POLE K118-IAR-V-150(MOD)-HPS-208(MT)-K20M	(1) 150W. HPS	208V. 1Ø	POLE (SEE DETAIL)	COLOR AND EXACT LOCATION TO BE SELECTED BY ARCHITECT SEE GENERAL NOTE #6.







CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MCP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

Bid Documents

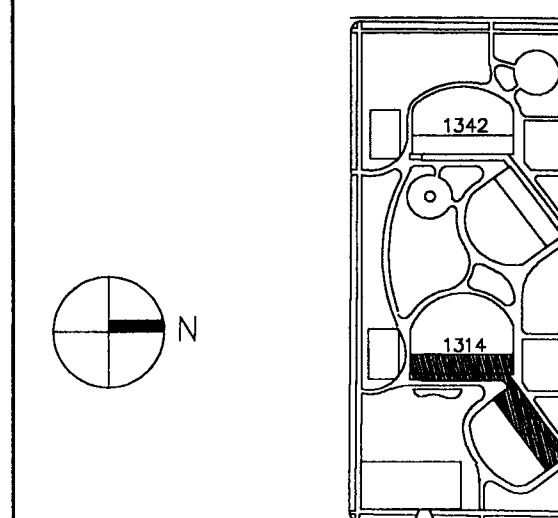
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General Notes

SEP 14 2003
RAFAEL HERNANDEZ
Associate Architect
BY: [Signature]

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

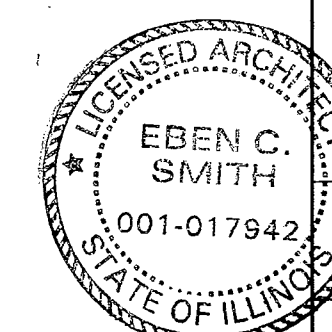
BASEMENT DEMOLITION PLAN

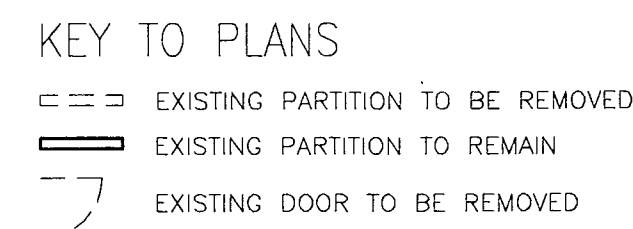
1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
8/10/04	1/8"=1'-0"	2003005.01	D-100
DRAWN BWH	CHECKED DAS	APPROVED PAH	SHT. 1 OF 16 SHTS.

SCALE 1/8"=1'-0"





1. REMOVE ALL EXISTING FLOOR TILE AND ABATE AS REQUIRED. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH-- SEE ROOM FINISH SCHEDULE
2. REMOVE ALL DEBRIS AND EQUIPMENT TO BE REMOVED, AND CLEAN ALL COMMON AND STORAGE AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES PER THE SPECIFICATION.
3. ALL PAINTED WALLS AND CEILINGS TO RECEIVE NEW PAINT. REPAINT WALLS AFTER ALL PATCHING/ CONSTRUCTION IS COMPLETE.
4. PROVIDE FIRESTOPPING AT PENETRATIONS WHERE REQUIRED.
5. REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILERS, HOT WATER, HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS
6. PATCH AND REPAIR INTERIOR WALLS AND CEILINGS, RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ENTIRE ROOM WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. REPLACE EXISTING FLOORING WITH NEW COLOR SELECTED BY ARCHITECT. TYPICAL FOR ALL UNITS AND ALL FLOORS.
7. ALL UNITS SHALL RECEIVE NEW VCT FLOORING THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
8. REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND STORAGE AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.
9. G.C. TO COORDINATE WITH OWNER KITCHEN APPLIANCES TO REMAIN. A TOTAL OF 75% OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.
10. ALL EXISTING CEILING--MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS. U.O.O.

- ① REMOVE EXISTING RAILINGS.
- ② REMOVE EXISTING WALL AND DOOR FRAMES
- ③ REMOVE WALLS AS INDICATED WITH DASHED LINES AND AS REQUIRED FOR NEW CONDITION.
- ④ REMOVE EXISTING TRASH CHUTE DOOR AND ENLARGE. PREPARE EXISTING OPENING TO RECEIVE NEW DOOR.
- ⑤ REMOVE EXISTING FLOORING AND ABATE. COORDINATE WITH ASBESTOS OPERATION AND MAINTENANCE PROGRAM. PREPARE FLOOR TO RECEIVE NEW VCT FLOORING.
- ⑥ REMOVE EXISTING ELEVATOR MACHINERY, CAB, HOISTWAY EQUIPMENT, CONTROLLER, FIXTURES AND SIGNALS. COORDINATE WITH ELEVATOR MANUFACTURER.
- ⑦ REMOVE EXISTING DOORS, FRAMES TO REMAIN. REMOVE ALL HINGES, STRIKE PLATES, ETC. AND PREPARE OPENINGS TO RECEIVE NEW DOORS.
- ⑧ REMOVE EXISTING LIGHTING FIXTURES
- ⑨ REMOVE MASONRY PROVIDE NEW OPENING TO RECEIVE AC UNIT AND SLEEVE
- ⑩ REMOVE EXISTING ELECTRICAL EQUIPMENT ASSOCIATED WITH ELEVATOR. SEE ELEC. DWGS.
- ⑪ REMOVE EXISTING PLASTER AND LATHE SOFFIT IN THE BATHROOM.
- ⑫ REMOVE EXISTING BATHROOM FIXTURES
- ⑬ REMOVE EXISTING FIXTURES AND APPLIANCES
- ⑭ REMOVE EXISTING RADIATORS IN UNIT AND COMMON AREAS.

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COPY

FBI - MEMPHIS

MURKIN

RECEIVED

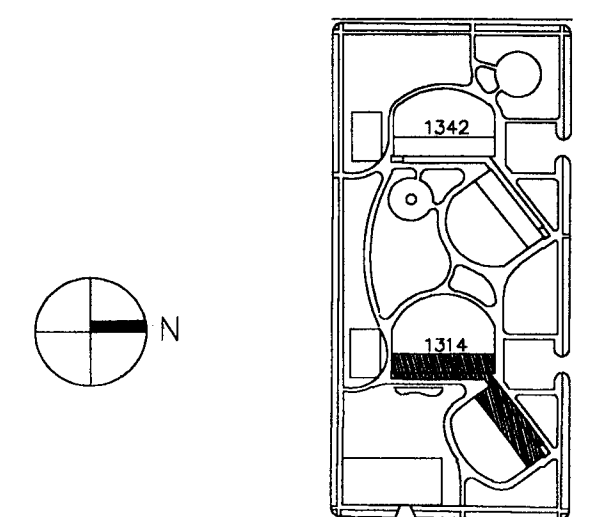
SEP 16 1968

RAPHAEL HERNANDEZ
Special Agent Director

[Signature]

NY

DENOTES SCOPE OF WORK / CONTRACT LIMIT




4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	

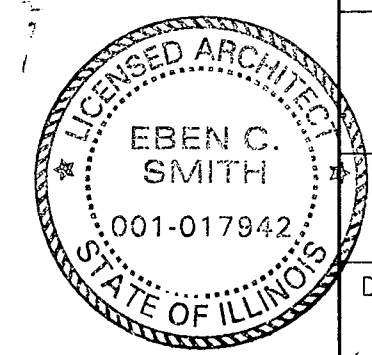
(312) 742 5500 FAX (312) 655-1105

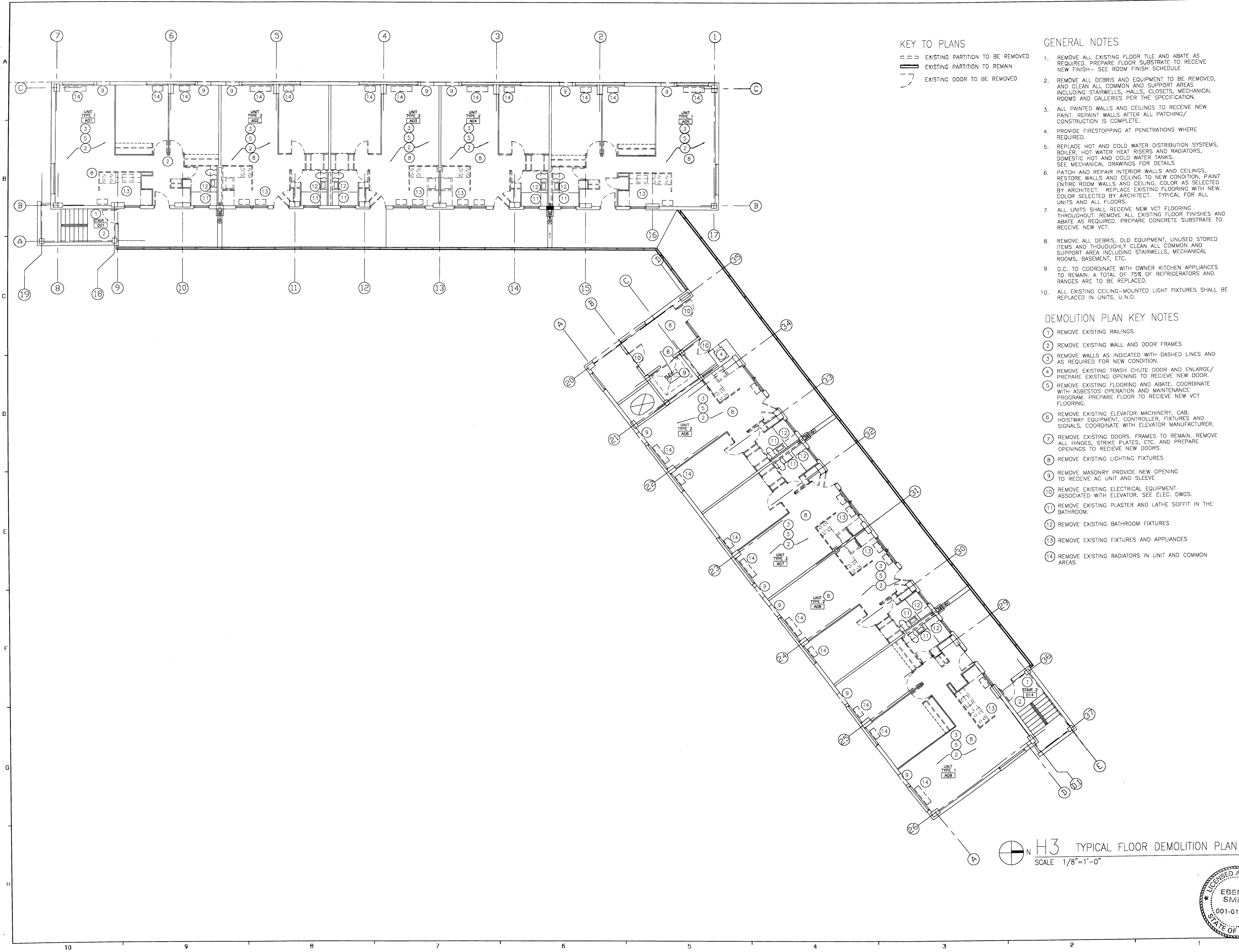
GROUND FLOOR DEMOLITION PLAN

HUD NUMBER	RH-7
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DATE 8/10/04	SCALE 1/8" = 1'-0"	JOB NO. 2003005.01	SHEET NUMBER D-101
DRAWN BWH	CHECKED DAS	APPROVED PAH	SHT. 2 OF 16 SHTS.


H3 GROUND FLOOR DEMOLITION PLAN
 SCALE 1/8"=1'-0"





KEY TO PLANS

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO BE REMOVED

GENERAL NOTES

- REMOVE ALL EXISTING FLOOR TILE AND ABATE AS REQUIRED. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH- SEE ROOM FINISH SCHEDULE
- REMOVE ALL DEBRIS AND EQUIPMENT TO BE REMOVED, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES PER THE SPECIFICATION.
- ALL PAINTED WALLS AND CEILINGS TO RECEIVE NEW PAINT. REPAINT WALLS AFTER ALL PATCHING/ CONSTRUCTION IS COMPLETE.
- PROVIDE FIRESTOPPING AT PENETRATIONS WHERE REQUIRED.
- REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.
- PATCH AND REPAIR INTERIOR WALLS AND CEILINGS, RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ENTIRE ROOM WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. REPLACE EXISTING FLOORING WITH NEW. COLOR SELECTED BY ARCHITECT. TYPICAL FOR ALL UNITS AND ALL FLOORS.
- ALL UNITS SHALL RECEIVE NEW VCT FLOORING THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
- REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.
- G.C. TO COORDINATE WITH OWNER KITCHEN APPLIANCES TO REMAIN. A TOTAL OF 75% OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.
- ALL EXISTING CEILING-MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS, U.N.O.

DEMOLITION PLAN KEY NOTES

- REMOVE EXISTING RAILINGS.
- REMOVE EXISTING WALL AND DOOR FRAMES
- REMOVE WALLS AS INDICATED WITH DASHED LINES AND AS REQUIRED FOR NEW CONDITION.
- REMOVE EXISTING TRASH CHUTE DOOR AND ENLARGE/ PREPARE EXISTING OPENING TO RECEIVE NEW DOOR.
- REMOVE EXISTING FLOORING AND ABATE. COORDINATE WITH ASBESTOS OPERATION AND MAINTENANCE PROGRAM. PREPARE FLOOR TO RECEIVE NEW VCT FLOORING.
- REMOVE EXISTING ELEVATOR MACHINERY, CAB, HOISTWAY EQUIPMENT, CONTROLLER, FIXTURES AND SIGNALS. COORDINATE WITH ELEVATOR MANUFACTURER.
- REMOVE EXISTING DOORS. FRAMES TO REMAIN. REMOVE ALL HINGES, STRIKE PLATES, ETC. AND PREPARE OPENINGS TO RECEIVE NEW DOORS.
- REMOVE EXISTING LIGHTING FIXTURES
- REMOVE MASONRY PROVIDE NEW OPENING TO RECEIVE AC UNIT AND SLEEVE
- REMOVE EXISTING ELECTRICAL EQUIPMENT ASSOCIATED WITH ELEVATOR. SEE ELEC. DWGS.
- REMOVE EXISTING PLASTER AND LATHE SOFFIT IN THE BATHROOM.
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- REMOVE EXISTING FIXTURES AND APPLIANCES
- REMOVE EXISTING RADIATORS IN UNIT AND COMMON AREAS.

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

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General Notes

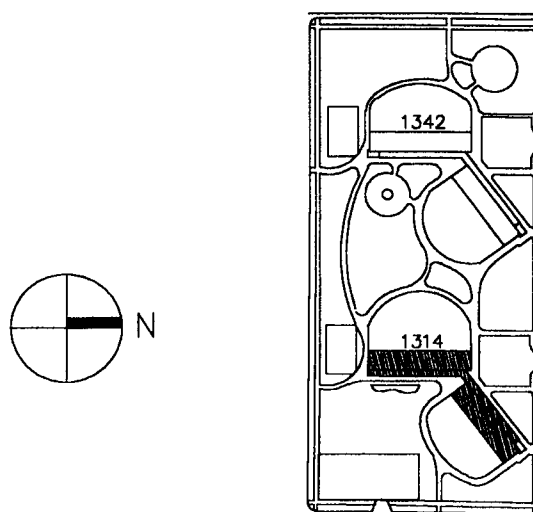
DEPT. OF CITY OF CHICAGO
1314 WEST 15TH STREET
FAMILY DEVELOPMENT
RENOVATION
ARCHITECTURAL/ENGINEERING SERVICES
SUBJECT TO ALL CITY ORDINANCES, RULES AND
REGULATIONS OF THE CITY OF CHICAGO

SEP 16 2005

RAFAEL HERNANDEZ
BY: *RH*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
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NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500

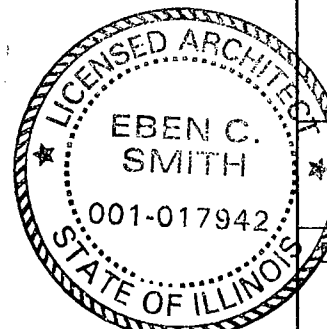
FAX (312) 655-1105

TYPICAL FLOOR DEMOLITION PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE 8/10/04	SCALE 1/8"=1'-0"	JOB NO. 2003005.01	SHEET NUMBER D-102
DRAWN BWH	CHECKED DAS	APPROVED PAH	SHT. OF SHTS.



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. SHOULD CONTRACTOR AND/OR SUBCONTRACTOR ENCOUNTER CONDITIONS AT THE SITE MATERIALLY DIFFERING FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS, THEY SHALL IMMEDIATELY GIVE NOTICE TO P.D.C. OF SUCH CONDITIONS BEFORE THEY ARE DISTURBED.
2. EXISTING CONDITIONS SHOWN ON DRAWINGS ARE FROM FIELD INFORMATION AND SHALL BE USED BY THE CONTRACTOR AS A GUIDE ONLY. THE P.D.C. ASSUMES NO RESPONSIBILITY FOR ACCURACY OF THIS INFORMATION. THE CONTRACTOR SHALL TAKE RESPONSIBILITY ADJUSTING, REROUTING AND REVISING HIS WORK AS CONDITIONS MAY REQUIRE.
3. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CITY OF CHICAGO BUILDING CODE, LATEST EDITION AMENDED TO DATE, AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
4. NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY REPEAT OR NOT.
5. ALL MASONRY TUCKPOINTING WORK WILL INCLUDE MANUAL RAKING OF JOINTS AND RE-POINTING WITH "GOOD" WEATHERABLE JOINT TYPES, TO MATCH EXISTING WHERE APPLICABLE. COORDINATE ALL SCHEDULED WORK WITH SPECIFICATIONS.
6. ALL WORK DETAILED TO BE DONE IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INDUSTRY STANDARDS.
7. FURNISH AND INSTALL ALL MATERIAL, EQUIPMENT AND SERVICES FOR ALL WORK SHOWN ON THE DRAWINGS AS NOTED. CONTRACTOR SHALL PERFORM ALL ALTERATION WORK NECESSARY TO PRODUCE THE COMPLETED PROJECT.
8. ALL EXISTING EQUIPMENT AND ELECTRICAL SERVICES NOT AFFECTED BY NEW SCHEDULED WORK ARE TO REMAIN OPERATIONAL DURING CONSTRUCTION.
9. ALL RUBBISH, DEBRIS AND DUST, COMBUSTIBLE OR NOT, RESULTING FROM THE WORK, SHALL NOT BE ALLOWED TO PERMEATE THE BUILDING. THEY SHALL BE DISCARDED IN COVERED METAL CONTAINERS DAILY, REMOVED FROM PREMISES AT LEAST WEEKLY AND LEGALLY DISPOSED OF.
10. METAL WORK INDICATED FOR RENOVATION SHOULD BE SCRAPED TO REMOVE LOOSE PAINT AND DEBRIS AND REPAINTED IN ITS ENTIRETY.
11. CONTRACTOR SHALL CONSULT DRAWINGS FOR EXTENT OF CUTTING AND DEMOLITION WORK REQUIRED TO PERMIT CONSTRUCTION OF THE ALTERATIONS TO EXISTING STRUCTURE NECESSARY FOR NEW WORK. REMOVE ALL BRICK, CONCRETE, PLASTER, TRIM, GLASS, AND OTHER ITEMS INDICATED OR NECESSARY FOR INSTALLATION OF NEW WORK AND EXTENSION OF EXISTING LINES TO NEW WORK.
12. PATCH AND REPAIR ALL PLASTER, TRIM, FINISH, OR ANY PORTION OF EXISTING BUILDING WHICH MAY BE DAMAGED BY THIS OPERATION WITH SIMILAR NEW MATERIAL AND EXTEND OR RESTORE EXISTING CONDITIONS AFTER NEW WORK IS COMPLETED. ALL NEW MATERIAL AND EQUIPMENT SHALL MATCH EXISTING UNLESS NOTED OTHERWISE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL PERMITS IF REQUIRED.
14. PROVIDE ALL SHORING AND/OR SUPPORT PROVISIONS NECESSARY TO SUPPORT STRUCTURE UNTIL NEW WORK IS IN PLACE.
15. THE SCOPE OF THIS WORK IS INTENDED FOR SPECIFIC AREAS, THE GENERAL CONTRACTOR SHALL REVIEW THESE DOCUMENTS, THE FIELD CONDITIONS & NOTIFY THE P.D.C. DURING BIDDING IF HE/SHE IS UNCLEAR TO THE INTENT AND/OR LOCATIONS OF SCOPE OF WORK IDENTIFIED IN DRAWINGS.
16. MASONRY WORK SHALL BE SEALED ON ALL BUILDING ELEVATIONS AFTER TUCKPOINTING. SEE SPECIFICATIONS.
17. CONTRACTOR TO PROVIDE SAFE AND PROPER SCAFFOLDING NECESSARY TO PERFORM ALL TUCKPOINTING WORK.
18. CONTRACTOR TO PROVIDE PROPER BARRICADES AND/OR PROTECTIVE DEVICES NECESSARY FOR TENANT(S) AND PUBLIC SAFETY WHILE SCHEDULED WORK IS BEING PERFORMED. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL HEALTH AND SAFETY PROTECTIONS AND FIRE PROTECTIONS, BARRICADES, WARNINGS, ETC., AND ENFORCING RESPONSIBILITY FOR SAFETY OR LIABILITY FOR CONSTRUCTION.
19. COMPLETE GRILLES AND A.C. UNITS SHALL BE REPLACED WITHIN AN 8-HOUR PERIOD; NO TEMPORARY CLOSURES SHALL BE PERMITTED OVERNIGHT. COORDINATE GRILLE AND A.C. INSTALLATION WITH MANAGEMENT AND OCCUPIED APARTMENT UNITS.
20. CONTRACTOR TO COORDINATE WITH BUILDING MANAGER FOR REGULATED USE OF EXISTING ELEVATOR(S) TO TRANSPORT BUILDING MATERIALS AND EQUIPMENT.
21. CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS OF WORK IN ORDER TO COMPLETE CONSTRUCTION CHANGES AND ON-SITE STORAGE OF MATERIALS.
22. CONTRACTOR TO REFERENCE STANDARD SPECIFICATION ISSUED BY CHICAGO HOUSING AUTHORITY.
23. ALL HAZARDOUS MATERIALS UNCOVERED DURING SCHEDULED WORK ACTIVITIES SHALL BE ABATED IN MANNER PRESCRIBED IN SPECIFICATIONS AND/OR AS PRESCRIBED BY THE CHICAGO HOUSING AUTHORITY.
24. CONTRACTOR TO PROVIDE WORK SCHEDULE FOR BUILDINGS PRIOR TO START UP SO THAT SITE LAY DOWN AREAS WITH APPROPRIATE RESTRICTIONS TO BUILDING(S) ACCESS CAN BE DETERMINED.
25. CONTRACTOR TO PROVIDE ONE MOCKUP OF AIR CONDITIONING VENTILATION GRILLE. MOCKUP TO BE RECEIVED BY ARCHITECT PRIOR TO STARTING WORK.
26. PROVIDE FLASHING WITH DAMS ABOVE AND BELOW OPENINGS. EXTEND FLASHING DAMS 12" BEYOND EACH OPENING.
27. IT IS THE RESPONSIBILITY OF THE MASONRY CONTRACTOR TO VERIFY ALL WINDOW ROUGH OPENING DIMENSIONS WITH THE WINDOW CONTRACTOR PRIOR TO LAYING THE EXTERIOR MASONRY WALLS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
28. CONTRACTOR TO FIELD VERIFY ALL EXISTING MASONRY OPENINGS AND COLUMN SPACING AT INSTALLATION OF NEW WINDOWS AND ALUMINUM GRILLE.
29. AIR CONDITIONING GRILLE: PROVIDE AND INSTALL PREFINISHED ARCHITECTURAL LOUVER MODEL NO. AEL-42 W/ 194 FRAME AS MANUFACTURED BY "RELIABLE" OR APPROVED EQUAL. COLOR: KYNAR 500 2-COAT FINISH SYSTEM WITH COLOR TO MATCH ARCHITECTS SAMPLE. HIDDEN INTERNAL MULLIONS. BLANK OFF PANEL: .032 DOUBLE SIDE WITH 1" INSULATION. FRAME, BLADES, AND SUPPORT BRACES TO BE 6063-T5 ALLOY ALUMINUM .048 INCHES THICK. BLADE SPACING SHALL BE .775 INCHES. LOUVER COMPONENTS SHALL BE MECHANICALLY FASTENED WITH CONCEALED FASTENERS. HARDWARE SHALL BE STAINLESS STEEL.
30. ONE COLOR WILL BE SELECTED FOR ALL EXTERIOR ALUMINUM FINISHES AT 2717 NORTH LEAVITT. COLOR TO MATCH ARCHITECTS SAMPLE.

ABBREVIATIONS

ABV.	Above
AD	Area drain
ADJ	Adjacent
AFF	Above Finished Floor
ALS	Acrylic Latex Sealant
ALUM	Aluminum
ANOD	Anodized
AP	Access Panel
APPROX	Approximately
ARCH	Architectural
AS	Acoustical Sealant
ACT	Acoustic Tile
ADJ.	Adjustable
A/C	Air Conditioning
ALT.	Alternate
B/	Bottom Of
BIT	Bituminous
BLK	Block (Wood Blocking)
BLKG	Blocking
RBD	Rubberized Bituminous Compound
BOT	Bottom
BLDG.	Building
BRK	Brick
BM	Beam
B.M.	Bench Mark
BTWN	Between
B.U.R.	Built Up Roofing
CAB.	Cabinet
C.B.	Catch Basin
CJ	Control Joint
CI	Cast Iron
CIRC.	Circumference
CL	Center Line
CLOS	Closet
CLG	Ceiling
CLR	Clear Opening
COL	Column
CONC	Concrete
CONCP	Concrete Painted
CONST	Construction
CONTR	Contractor
CONT	Continuous or Continue
CORR	Corridor
CPT	Carpet (Wall to Wall)
CMU	Concrete Masonry Unit
CO	Clean Out
CT	Ceramic Tile
DF	Drinking Fountain
DIA	Diameter
DIM	Dimension
DN	Down
DR	Door
DTL	Detail
D.S.	Down Spout
DW	Dry Wall
DWG	Drawing
DWP	Dry Wall Painted
D.H.	Double Hung
ELEC.	Each
E.W.C.	Electric (gl)
ELEV.	Electric Water Cooler
EMER.	Elevation
EQ.	Emergency
EXH.	Equal
EXIST.	Exhaust
EXP.	Existing
EXT.	Exposed
FE	Exterior
FEC	Fire Extinguisher
FD	Fire Extinguisher Cabinet
FIN	Floor Drain
FIN	Finished
FACP	Fire Alarm Control Panel
FL	Floor (ing)
FTNG	Footing
FDN	Foundation
FUR	Furred (ing)
FSR	Flexible Sheet Roofing
FUT.	Future
GA	Gauge
GALV	Galvanized
GB	Glassed Block
GC	General Contractor
GL	Glass
GM	Glassed Masonry
GRND	Ground
GYP BD	Gypsum Board
HDWD	Hardwood
HNCC	Hollow Neoprene Compression
HORIZ	Horizontal
HM	Hollow Metal
HP	High Point
HT	Height
HTG.	Heating
HVAC	Heating/ Ventilation Air Conditioning
H.C.	Hollow Core
HVAC	Heating/ Ventilation Air Conditioning
H.C.	Hollow Core
HC	Handicapped
HORIZ.	Horizontal
H.B.	Hose Bib
ID	Inside Diameter
IN	Inch
INSUL	Insulate (d), (ion)
INT	Interior
INV	Invert
JC	Janitors Closet
JT	Joint
KIT	Kitchen
LAB	Laboratory
LAM	Laminated
LAV	Lavatory
L	Length
LT	Light
LP	Low Point
MATL	Material
MAX	Maximum
MECH	Mechanical
MED	Medium
MANUF	Manufacturer
MH	Manhole
MIN	Minimum
MISC	Miscellaneous
MO	Masonry Opening
MTL	Metal
MUL	Mullion
NC	Noise Criteria
NRC	Noise Reduction Coefficient
NIC	Not In Contract
NOM	Nominal
NTS	Not To Scale
OA	Overall
OH	Overhead
OC	On Center
OD	Outside Diameter
OPNG	Opening
OPP	Opposite

ABBREVIATIONS - CONT.

PART BD	Particle Board
PLAS	Plaster
PLYWD	Plywood
PT	Point
PREFAB	Prefabricated
2-PUMS	Polyurethane Sealant (Two Part)
PTD	Point (ed)
P.V.C.	Polyvinyl Chloride
PVF	Polyvinylidene Finish
QT	Quarry Tile
QTY	Quantity
QUANT	Quantity
RAD	Radius
R	Riser
REFRIG	Refrigerator
RB	Resilient Base
RA	Return Air
R.O.W.	Right of Way
SS	Rubberized Bituminous Compound
SS	Stainless Steel
REF	Reference
REINF	Reinforced
REQ'D	Required
REV	Revision
RM	Room
RO	Rough Opening
SECT	Section
SHT	Sheet
SIM	Similar
SC	Solid Core
STC	Sound Transmission Coefficient
SPEC	Specification
SQ	Square
SQ FT	Square Feet
SQ IN	Square Inches
SS	Stainless Steel
SRS	Silicone Rubber Sealant
SSS	Silicone Sanitary Sealant
ST	Sealant Tape
STD	Standard
STL	Steel
STOR	Storage
STRUCT	Structural
SUSP	Suspended
SYM	Symmetry (ical)
TC	Terra Cotta
T	Tread
T/O	Top Of
TEL	Telephone
THK	Thick (ness)
T&G	Tongue & Groove
TT	Traffic Tapping
TYP	Typical
UNO	Urinal
UR	Unless Noted Otherwise
U.L.	Underwriters Laboratory
VB	Vapor Barrier
V.B.	Vinyl Base
VERT	Vertical
VEST	Vestibule
VIF	Verify in Field
V	Vinyl
VCT	Vinyl Composition Tile
VT	Vinyl Tile
WVC	Vinyl Wall Covering
WR	Water Resistant
W.W.F.	Welded Wire Fabric
W	Width, Wide
WDW	Window
W/	With
W/I	Within
W/O	Without
WC	Water Closet
WD	Wood
WP	Work Point
WPR	Waterproofing
WVNR	Wood Veneer

PLAN REVIEW DATA

APPLICABLE CODES:
CHICAGO BUILDING CODE, 1996
ACCESSIBILITY CODE, ILLINOIS
AMERICANS WITH DISABILITIES ACT
NATIONAL FIRE PROTECTION ASSOCIATION

LOCATION:
2910, 2930 AND 2950 W. HARRISON STREET
CHICAGO, ILLINOIS 60619

BUILDING CLASSIFICATION:
CLASS A-2, MULTIPLE DWELLINGS RESIDENTIAL

OCCUPANCY SEPARATION:
NONE REQUIRED

BUILDING HEIGHT:
2910 W. HARRISON 79 FT. (EXCLUDES PENTHOUSE)
2930 W. HARRISON 79 FT. (EXCLUDES PENTHOUSE)
2950 W. HARRISON 79 FT. (EXCLUDES PENTHOUSE)

BUILDING AREA:		
2910 W. HARRISON - GROUND FL:	3,810	S.F.
TYP. FL.	3,810	S.F.
2930 W. HARRISON - GROUND FL:	3,810	S.F.
TYP. FL.	3,810	S.F.
2950 W. HARRISON - GROUND FL:	3,810	S.F.
TYP. FL.	3,810	S.F.

CONSTRUCTION TYPE:
TYPE I-C, FIRE RESISTIVE

ZONING DISTRICT:
R-5 RESIDENTIAL

SITE AREA:
120,000 SQ. FT.

FAR:
2.2

OFF-STREET PARKING:
280 PARKING STALLS

MATERIAL INDICATIONS

	LUMBER
	GRAVEL / GRANULAR FILL
	DRYWALL
	ACOUSTICAL TILE
	GLASS
	CARPET
	BRICK
	CMU IN PLAN
	GLASS BLOCK
	RIGID INSULATION
	STEEL / STAINLESS STEEL
	LIMESTONE
	CONCRETE
	EARTH
	FINISHED WOOD
	BATT INSULATION
	PLYWOOD

ARCHITECTURAL SYMBOLS

	ELEVATION TARGET
	SECTION TARGET
	EQUIPMENT TARGET
	DETAIL TARGET
	WINDOW TARGET

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

Bid Documents

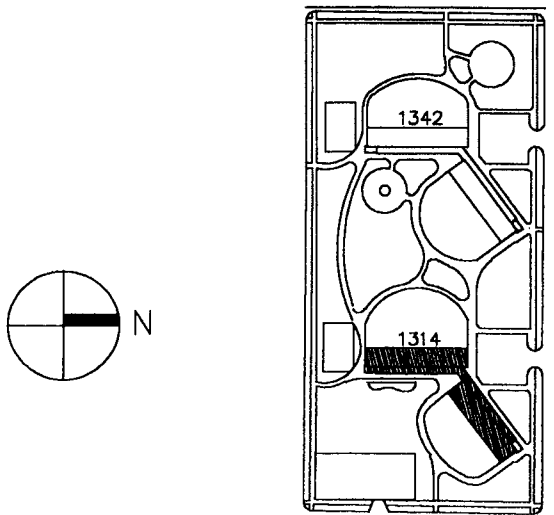
These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

SEP 14 2005
RAFAEL HERNANDEZ
Assistant Director
BY: *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

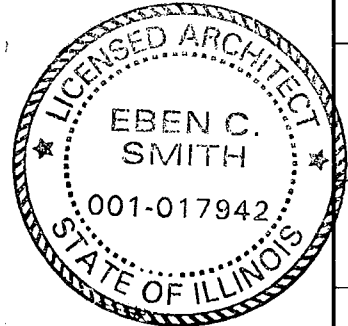
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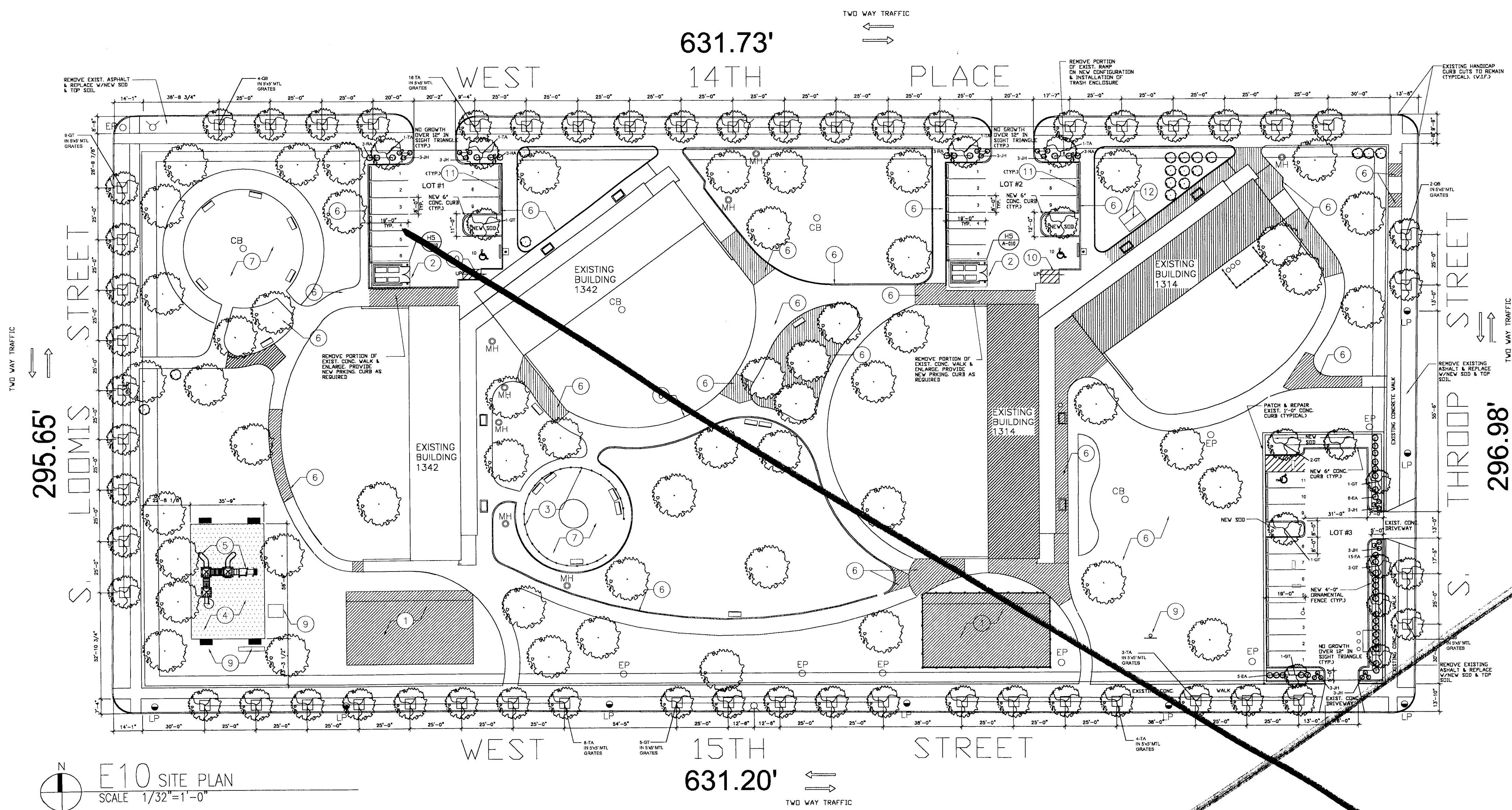
SYMBOLS, ABBREVIATIONS,
AND DRAWING INDEX

1314 W. 15TH ST.

HUD NUMBER

DATE 8/10/04	SCALE	JOB NO. 2003005.01	SHEET NUMBER A-001
DRAWN BWH	CHECKED BWS	APPROVED EZH	SHT. 2 OF 5 SHTS.





THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1314-1342 W. 14TH PLACE, CHICAGO, ILLINOIS, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE. EXISTING TREES ARE TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER IF DAMAGED.

Patricia A. Kelly for Chicago Housing Authority
OWNER

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1314-1342 W. 14TH PLACE, CHICAGO, ILLINOIS, HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPE STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

PLANTING TIME: DECEMBER 15, 2005

VEHICULAR USE AREA-THROOP LOT: 5,700 SQ.FT.
INTERNAL LANDSCAPE AREA REQUIRED: 427.5 SQ.FT.
INTERNAL LANDSCAPE AREA PROVIDED: 499 SQ.FT.
TREES REQUIRED AND PROVIDED: 3

VEHICULAR USE AREA-1314 LOT: 3,432 SQ.FT.
INTERNAL LANDSCAPE AREA REQUIRED: 171 SQ.FT.
INTERNAL LANDSCAPE AREA PROVIDED: 228 SQ.FT.
TREES REQUIRED AND PROVIDED: 1

VEHICULAR USE AREA-1342 LOT: 3,388 SQ.FT.
INTERNAL LANDSCAPE AREA REQUIRED: 169 SQ.FT.
INTERNAL LANDSCAPE AREA PROVIDED: 209 SQ.FT.
TREES REQUIRED AND PROVIDED: 1

PLANT MATERIAL LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
LARGE TREES					
GT	GLEDTISIA TRICANTHOS "SKYLINE"	SKYLINE HONEYLOCUST	24	2 1/2" CALIPER	
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	12	2 1/2" CALIPER	
TA	TILIA AMERICANA "REDMOND"	REDMOND LINDEN	35	2 1/2" CALIPER	
SHRUBS					
EA	EUONYMUS ALATUS COMPACTUS	DWARF BURNING BUSH	28	30"	
JH	JUNIPERUS HORIZONTALIS	BLUE CHIP JUNIPER	24	30" SPR.	
RA	RIBES ALPINUM	ALPINE CURRANT	12	30"	

SITE PLAN KEY NOTES

- 1 REMOVE A.C. PAVING, FENCE AND FOOTINGS. CLEAR SOIL OF ANY PAVING MATERIAL, AND TILL. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL SOD AND SHRUBS.
- 2 REMOVE EXISTING ASPHALT PARKING AREA AND PREVENT DEBRIS FROM ENTERING AREA DRAIN. REPLACE WITH NEW ASPHALT PAVING, STRIPING, SIGNAGE, CURB STOPS, AND LIGHT FIXTURES. PROVIDE POSITIVE DRAINAGE TO EXIST. AREA DRAINS.
- 3 REMOVE EXISTING CHAIN LINK FENCE & FOOTINGS AND PATCH ALL ADJACENT CONCRETE WALKS & SOD.
- 4 PROVIDE AND INSTALL NEW SOFT SURFACE MATERIAL AT NEW PLAY AREA/EQUIPMENT.
- 5 PROVIDE AND INSTALL NEW MODULAR PLAY EQUIPMENT.
- 6 REPAIR P. CONCRETE SIDEWALKS WHERE REQ'D. PATCH SPALLING AREAS. REMOVE AND REPLACE CRUMBING AREAS. REMOVE AND REPLACE AREAS WITH UNEVEN PAVEMENT GREATER THAN 1/4".
- 7 REMOVE DAMAGED ASPHALT PAVING, FENCE AND FOOTINGS. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL NEW ASPHALT PAVING.
- 8 INSTALL NEW MASONRY TRASH ENCLOSURE.
- 9 REMOVE EXISTING PLAYGROUND EQUIPMENT
- 10 PROVIDE NEW 5'-0" (V.I.F.) WIDE RAMP (6" RISE) W/STRIPING FOR WHEEL CHAIR ACCESS
- 11 PROVIDE NEW PREFABRICATED CONCRETE WHEEL STOP
- 12 REMOVE EXISTING POSTS & PIPING (SEE PHASE I & II ENVIRONMENTAL REPORTS & SPECS.)

SYMBOLS

- DAMAGED CONCRETE OR BITUMINOUS PAVEMENT
- SOFT SURFACE
- PROPERTY LINE
- ORNAMENTAL FENCE
- CHAIN LINK FENCE
- ELECTRIC POLES
- LIGHT POLES
- FIRE HYDRANT
- CATCH BASIN
- MANHOLE
- EXISTING WD BENCH TO BE REPAIRED & REPAINTED
- NEW 5'-0" WD BENCH TO MATCH EXISTING
- EXISTING TREE
- EXISTING SHRUB
- NEW TREE
- NEW SHRUB
- EXISTING STEEL BOLLARD
- NEW 8" DIA. CONC. FILLED BOLLARD
- H.C. (\$150.00 FINE)

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Suite 245
Historic Preservation
Construction Management Chicago, Illinois 60604

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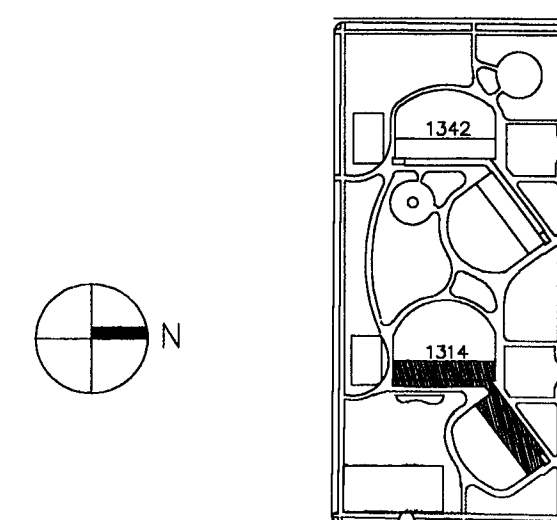
Bid Documents

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General Notes

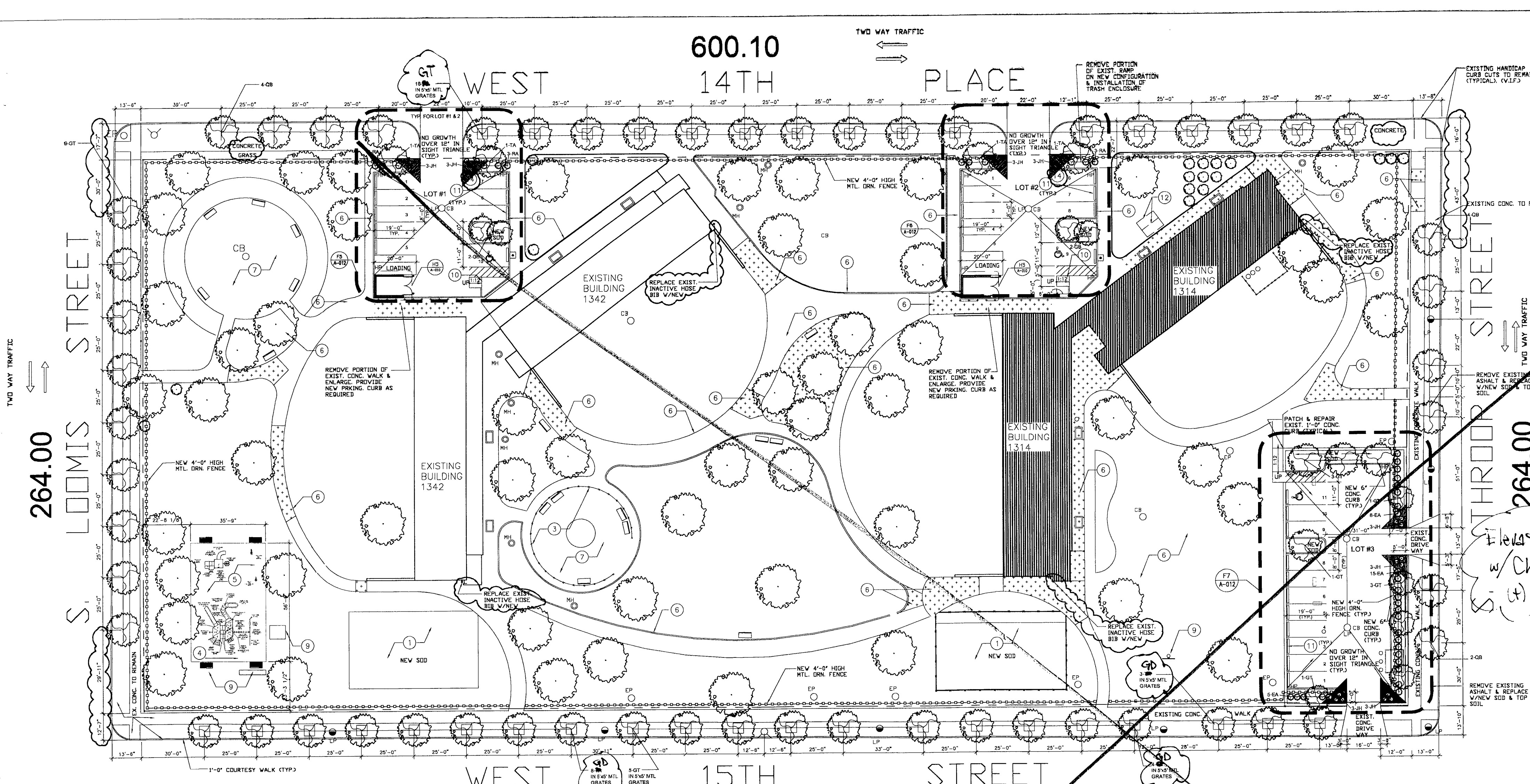
Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



4 09.07.04 ISSUED FOR 100% CD REVIEW & PERMIT

VOID
8/31/05



E10 SITE PLAN
SCALE 1/32"=1'-0"

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Sharon Achary for CMA
OWNER

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PLANTING TIME: DECEMBER 15, 2005

VEHICULAR USE AREA-THROOP LOT: 6,042 SQ.FT.
INTERNAL LANDSCAPE AREA REQUIRED: 453 SQ.FT.
INTERNAL LANDSCAPE AREA PROVIDED: 499 SQ.FT.
(TREES REQUIRED AND PROVIDED: 4)

VEHICULAR USE AREA-1314 LOT: 3,840 SQ.FT.
INTERNAL LANDSCAPE AREA REQUIRED: 199 SQ.FT.
INTERNAL LANDSCAPE AREA PROVIDED: 228 SQ.FT.
(TREES REQUIRED AND PROVIDED: 2)

VEHICULAR USE AREA-1342 LOT: 4,054 SQ.FT.
INTERNAL LANDSCAPE AREA REQUIRED: 202 SQ.FT.
INTERNAL LANDSCAPE AREA PROVIDED: 209 SQ.FT.
(TREES REQUIRED AND PROVIDED: 2)



PLANT MATERIAL LIST			
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY
LARGE TREES			
QT	QUERCUS TRINATHOS "SKYLINE"	SKYLINE HONEYLOCUST	40
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	12
TA	TELA AMERICANA "RESONANT"	BREWMING LINDEN	12
CB	CORNUS BACATA "DOUGLASS"	DOUGLASS COFFEE TREE	2
SHRUBS			
EA	EUNOMYIA ALATUS COMPACTUS	DWARF BURNING BUSH	28
JH	JUNIPERUS HORIZONTALIS	BLUE CHIP JUNIPER	24
RA	RIBES ALPIMUM	ALPINE CURRANT	12

NOTES FOR SIDE WALK RECONSTRUCTION

- RAMPS SHALL BE LOCATED AS SHOWN ON PLANS IN ALIGNMENT WITH NORMAL SIDEWALK AND/OR CROSSWALKS AND SHALL HAVE SUFFICIENT CURB LENGTH AT THE CORNER TO PREVENT VEHICULAR ENCRoACHMENT.
- CURB RAMPS AT MARKED CROSSING SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS EXCLUDING ANY FLARED SIDES.
- THE DESIRABLE MAXIMUM SLOPE OF RAMP SHALL BE 1:12. IN UNUSUAL SITUATIONS, THE ABSOLUTE MAXIMUM SLOPE FOR THE RAMP SHALL BE 1:8. HOWEVER, IF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN 48", THE ABSOLUTE MAXIMUM SLOPE SHALL BE 1:12.
- THE DESIRABLE MAXIMUM SLOPE OF THE SIDE FLARE SHALL BE 1:10 AND THE MINIMUM WIDTH OF THE SIDE FLARE SHALL BE ONE (1) FOOT.
- RAMPS SHALL BE CONSTRUCTED OF P.C. CONCRETE IN ACCORDANCE WITH ARTICLE 624 OF THE STANDARD SPECIFICATION, EXCEPT A TEXTURED MATERIAL FINISH WILL BE REQUIRED IN ACCORDANCE WITH ADA.
- THE THICKNESS OF RAMPS SHALL BE THE SAME AS THE ADJACENT SIDEWALKS WITH A MINIMUM THICKNESS OF 8 INCHES. THE RAMP AREAS WILL BE DETERMINED BY MEASURING THE WIDTH AND LENGTH ON A HORIZONTAL PLANE. THE AVERAGE WIDTHS WILL BE MEASURED TO INCLUDE THE SIDE CURBS OR FLARES (EDGE TREATMENT) AND THE LENGTH WILL BE MEASURED HORIZONTAL FROM THE TOP TO THE BOTTOM OF THE RAMP.
- 3/4" PREFORMED JOINT FILLER (PJF) SHALL BE INSTALLED ON THE SIDES OF RAMPS WHERE THE RAMP ABUTS ADJACENT SIDEWALKS IN ACCORDANCE WITH THE DETAIL OF PORTLAND CEMENT CONCRETE SIDEWALK CONSTRUCTION.
- RAMP TEXTURING IS TO BE DONE ACCORDING TO THE REQUIREMENT OF THE AMERICAN DISABILITIES ACT. THE TEXTURING WILL CONSIST OF UNIDIRECTIONAL JOINTS IN A PATTERN WHICH IS SHOWN. THE DIAMETER SHALL BE 0.9" NOMINAL. THE HEIGHT SHALL BE 0.2" NOMINAL AND THE SPACING CENTER TO CENTER SHALL BE 2.35" NOMINAL.
- IN NO CASE SHALL EXPANSION JOINTS THAT ARE CONSTRUCTED IN CURBS AND GUTTERS OR DR NEAR CORNER RADIIUSES, BE LOCATED WITHIN THE HANDICAP RAMP AREAS.

NOTES FOR SIDEWALK JOINTS:

- TRANSVERSE JOINTS OF A TYPE SIMILAR TO THAT USED IN THE ADJACENT PAVEMENT SHALL BE INSTALLED IN ALL CURBS AND GUTTERS IN PROLONGATION WITH THE JOINTS IN THE PAVEMENT. IF THE CURB & GUTTER IS CONSTRUCTED ADJACENT TO A FLEXIBLE BASE PAVEMENT, 1" THICK EXPANSION JOINTS COMPOSED OF BITUMINOUS PREFORMED JOINT FILLER SHALL BE INSTALLED AT POINTS OF CURVATURE AND AT CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL ALSO BE PLACED BETWEEN THESE EXPANSION JOINTS AT A DISTANCE NOT TO EXCEED 20'. ALL TIE BARS SHALL BE CORRUGATED. ALL DOVEL BARS SHALL BE SMOOTH.
- EXPANSION JOINTS ARE TO BE 40'-0" O.C. MAX. AND AT THE BACK OF CURBS, CHANGE OF DIRECTION, OTHER WALKS, UTILITY APPURTENANCES OR FACE OF STRUCTURES.

PLAYGROUND EQUIPMENT LIST

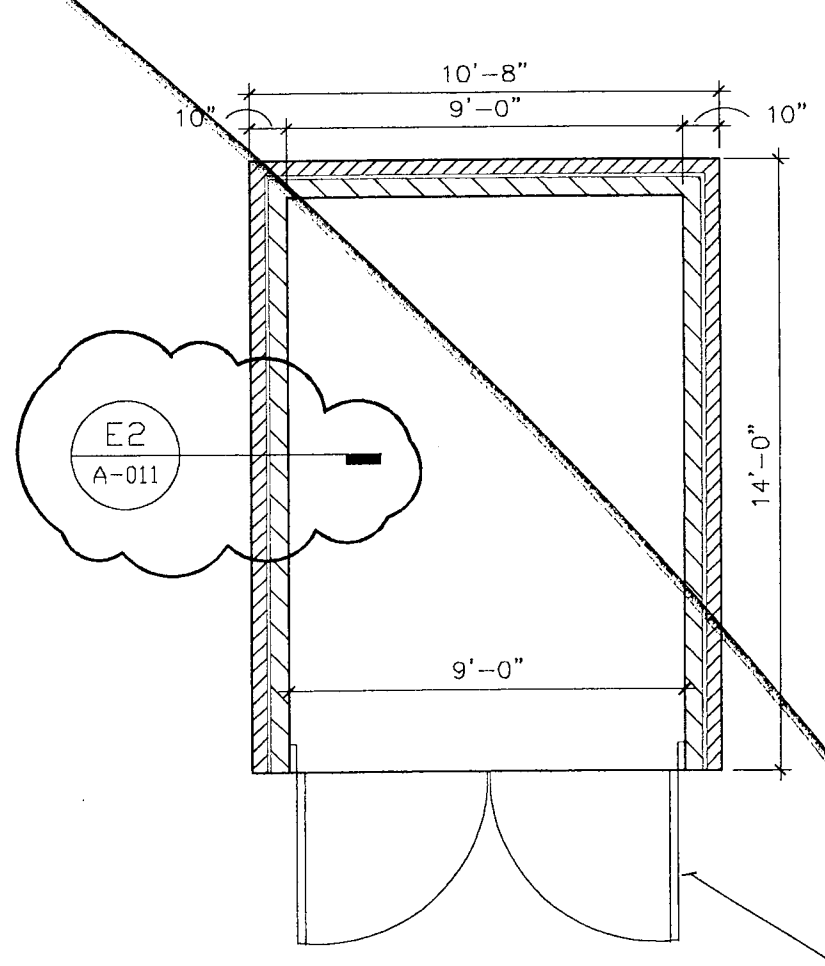
Big Kids Unit - Ages 5-12		Qty
Description		
48" Triangular Deck		8
Wideside Entrance		1
Wideside Straight Section		1
Wideside Right Section		4
Wideside 4' Support		2
Wideside East Section		1
Triangle Transfer Platform		1
Angle Bench Panel		1
Talk Tables		2
Swivel Master		1
Straight Horizontal Loop Ladder		1
Cargo Net Wall Attachment		1
Double Stepping Wheel Panel		1
Leaning Wall Climber		1
Stepped Platform		2
Truck Climber		1
Chain Link Climber		1
Double Seat Panel		1
Tick Wave Slide		1
Age Appropriate Sign, English (5-12)		1
Age Appropriate Sign, Spanish (5-12)		1
Tot Unit - Ages 2-5		
48" Square Deck		1
Crawl Slide		1
Chain Link Climber		1
Stepping Wheel Panel		1
Church Chair		1
Transfer Panel		1
Access Attachment		1
Age Appropriate Sign, English (2-5)		1
Age Appropriate Sign, Spanish (2-5)		1
Clifford		1
Barry		1
Coil Springs (inground mountings)		2

SITE PLAN KEY NOTES

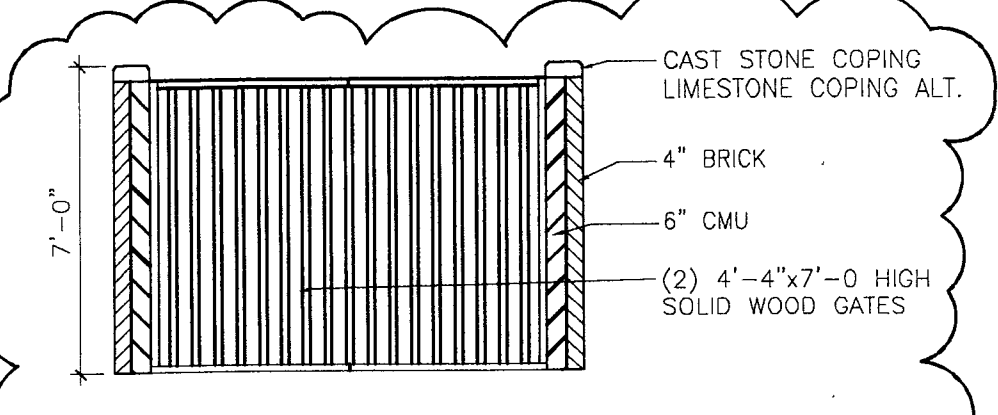
- REMOVE ASPHALT PAVING, FENCE AND FOOTINGS. CLEAR SOIL OF ANY PAVING MATERIAL, AND TILL. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL SOD AND SHRUBS AS SHOWN.
- REMOVE EXISTING ASPHALT PARKING AREA AND PREVENT DEBRIS FROM ENTERING AREA DRAIN. REPLACE WITH NEW ASPHALT PAVING, STOPPING, SIGNAGE, CURB STOPS, AND LIGHT FIXTURES. PROVIDE POSITIVE DRAINAGE TO EXIST. AREA DRAINS.
- REMOVE EXISTING CHAIN LINK FENCE & FOOTINGS AND PATCH ALL ADJACENT CONCRETE WALKS, ASPHALT & SOD.
- PROVIDE AND INSTALL NEW SOFT SURFACE MATERIAL IN NEW PLAY AREA/EQUIPMENT.
- PROVIDE AND INSTALL NEW MODULAR PLAY EQUIPMENT.
- REPAIR P. CONCRETE SIDEWALKS WHERE REQ'D. PATCH SPALLING AREAS, REMOVE AND REPLACE CRUMBLING AREAS, REMOVE AND REPLACE AREAS WITH UNEVEN PAVEMENT GREATER THAN 1/4".
- REMOVE DAMAGED ASPHALT PAVING, FENCE AND FOOTINGS. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL NEW ASPHALT PAVING.
- INSTALL NEW MASONRY TRASH ENCLOSURE. SEE DETAIL & PLAN ON SHEET A-010.
- REMOVE EXISTING PLAYGROUND EQUIPMENT.
- PROVIDE NEW 5'-0" (V.I.F.) ASPHALT RAMP (6" RISE) W/STRIPING FOR WHEEL CHAIR ACCESS.
- PROVIDE NEW PREFABRICATED CONCRETE WHEEL STOP.
- REMOVE EXISTING UTILITY & PIPING (SEE PHASE I & II ENVIRONMENTAL REPORTS & SPECS.) PROVIDE & INSTALL NEW BENCHES SEE CIVIL DETAILS.
- REMOVE EXISTING RAMP & BOLLARDS & PROVIDE NEW CURBS/ASPHALT PAVING & CONCRETE FOR NEW PARKING CONFIGURATION.

SYMBOLS

- DAMAGED CONCRETE OR BITUMINOUS PAVEMENT
- SOFT SURFACE
- PROPERTY LINE
- NEW ORNAMENTAL FENCE
- CHAIN LINK FENCE
- ELECTRIC POLES
- LIGHT POLES
- FIRE HYDRANT
- CATCH BASIN
- MANHOLE
- EXISTING WD BENCH TO BE REPAINTED
- NEW 5'-0" BENCH
- EXISTING TREE
- EXIS"
- NEW
- NEW
- NEW FILL
- H.C.



H5 TRASH ENCLOSURE DETAIL
SCALE 1/4"=1'-0"



H6 TRASH ENCLOSURE ELEVATION
SCALE 1/4"=1'-0"

CHANGE.
CHICAGO HOUSING AUTHORITY

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Capital Improvement Program
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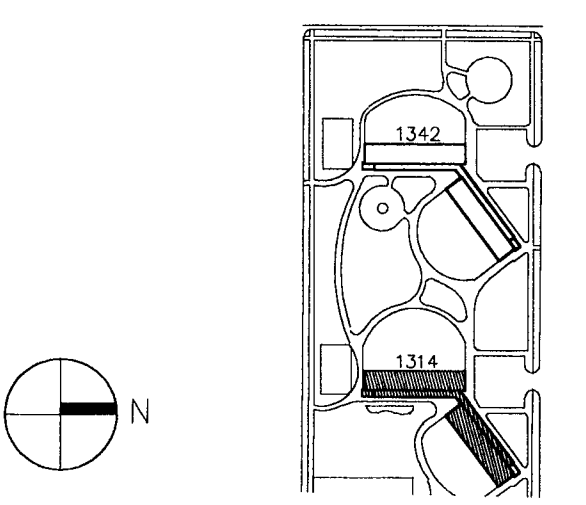
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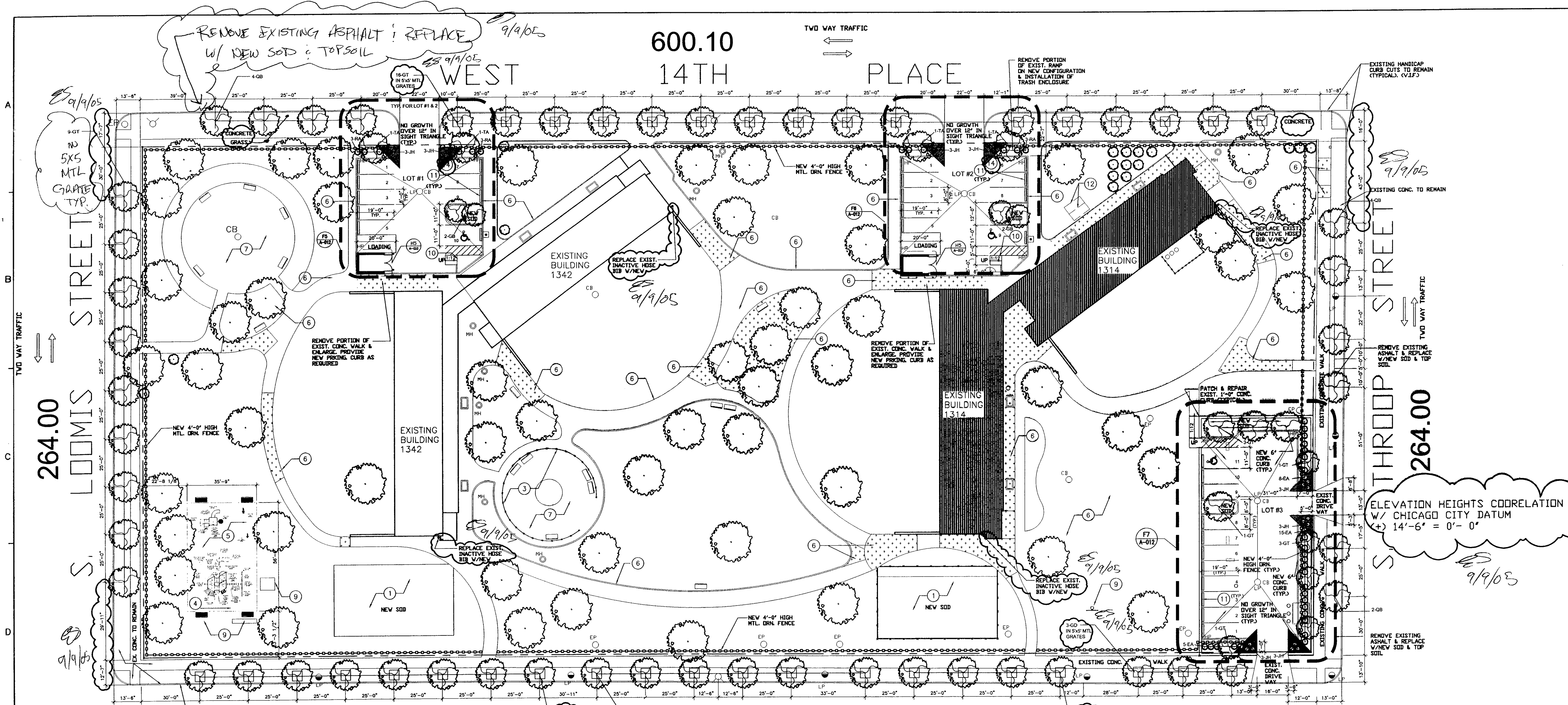
General Notes

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



VOID
9/9/05
EK



SITE PLAN KEY NOTES

- 1 REMOVE ASHALT PAVING, FENCE AND FOOTINGS. CLEAR SOIL OF ANY PAVING MATERIAL, AND TILL. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL SOD AND SHRUBS AS SHOWN.
- 2 REMOVE EXISTING ASHALT PARKING AREA AND PREVENT DEBRIS FROM ENTERING AREA DRAIN. REPLACE WITH NEW ASHALT PAVING, STRIPING, SIGNAGE, CURB STOPS, AND LIGHT FIXTURES. PROVIDE POSITIVE DRAINAGE TO EXIST. AREA DRAINS.
- 3 REMOVE EXISTING CHAIN LINK FENCE & FOOTINGS AND PATCH ALL ADJACENT CONCRETE WALKS, ASPHALT & SOD.
- 4 PROVIDE AND INSTALL NEW SOFT SURFACE MATERIAL AT NEW PLAY AREA/EQUIPMENT.
- 5 PROVIDE AND INSTALL NEW MODULAR PLAY EQUIPMENT.
- 6 REPAIR P. CONCRETE SIDEWALKS WHERE REQ'D. PATCH SPALLING AREAS, REMOVE AND REPLACE CRUMBLING AREAS, REMOVE AND REPLACE AREAS WITH UNEVEN PAVEMENT GREATER THAN 1/4".
- 7 REMOVE DAMAGED ASPHALT PAVING, FENCE AND FOOTINGS. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL NEW ASPHALT PAVING.
- 8 INSTALL NEW MASONRY TRASH ENCLOSURE. SEE DETAIL & PLAN ON SHEET A-010.
- 9 REMOVE EXISTING PLAYGROUND EQUIPMENT.
- 10 PROVIDE NEW 5'-0" (V.I.F.) ASPHALT RAMP (6" RISE) W/STRIPING FOR WHEEL CHAIR ACCESS.
- 11 PROVIDE NEW PREFABRICATED CONCRETE WHEEL STOP.
- 12 REMOVE EXISTING UST'S & PIPING (SEE PHASE I & II ENVIRONMENTAL REPORTS & SPECS.)
- 13 PROVIDE & INSTALL NEW BENCHES SEE CIVIL DETAILS.
- 14 REMOVE EXISTING RAMP & BOLLARDS & PROVIDE NEW CURBS/ASPHALT PAVING & CONCRETE FOR NEW PARKING CONFIGURATION.

SYMBOLS

- DAMAGED CONCRETE OR BITUMINOUS PAVEMENT
- SOFT SURFACE
- PROPERTY LINE
- NEW ORNAMENTAL FENCE
- CHAIN LINK FENCE
- ELECTRIC POLES
- LIGHT POLES
- FIRE HYDRANT
- CATCH BASIN
- MANHOLE
- EXISTING WD BENCH TO BE REPAINTED
- NEW 5'-0" BENCH
- EXISTING TREE
- EXISTING SHRUB
- NEW TREE
- NEW SHRUB
- NEW 8" DIA. CONC. FILLED BOLLARD
- H.C. (\$150.00 FINE) SIGN

E10 SITE PLAN

SCALE 1/32"=1'-0"

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1314-1342 W. 14TH PLACE, CHICAGO, ILLINOIS, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE. EXISTING TREES ARE TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER IF DAMAGED.

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1314-1342 W. 14TH PLACE, CHICAGO, ILLINOIS, HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

PLANTING TIME: DECEMBER 15, 2005

VEHICULAR USE AREA-THROOP LOT: 6,042 SQ.FT. INTERNAL LANDSCAPE AREA REQUIRED: 453 SQ.FT. INTERNAL LANDSCAPE AREA PROVIDED: 499 SQ.FT. TREES REQUIRED AND PROVIDED: 4

VEHICULAR USE AREA-1314 LOT: 3,840 SQ.FT. INTERNAL LANDSCAPE AREA REQUIRED: 199 SQ.FT. INTERNAL LANDSCAPE AREA PROVIDED: 228 SQ.FT. TREES REQUIRED AND PROVIDED: 2

VEHICULAR USE AREA-1342 LOT: 4,054 SQ.FT. INTERNAL LANDSCAPE AREA REQUIRED: 202 SQ.FT. INTERNAL LANDSCAPE AREA PROVIDED: 209 SQ.FT. TREES REQUIRED AND PROVIDED: 2

PLANT MATERIAL LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	REMARKS
LARGE TREES	QUERCUS TRICOLOR 'SKYLINE'	SKYLINE HONEYLOCUST	40	2 1/2" CALIPER	B&B
	QUERCUS BICOLOR	SWAMP WHITE OAK	12	2 1/2" CALIPER	
	TILIA AMERICANA 'NIGHTMARE'	BREITENBURGER LINDEN	4	2 1/2" CALIPER	
	QUERCUS ROBUR	ROBUR COFFEE TREE	4	2 1/2" CALIPER	
SHRUBS	EUNYMIUS ALATUS COMPACTUS	SWAMP BURNING BUSH	28	30"	
	JUNIPERUS HORIZONTALIS	BLUE CHIP JUNIPER	24	30"	
	RIBES ALPINUM	ALPINE CURRANT	12	30"	

NOTES FOR SIDE WALK RECONSTRUCTION

- 1 RAMP SHALL BE LOCATED AS SHOWN ON PLANS IN ALIGNMENT WITH NORMAL SIDEWALK AND/OR CROSSWALKS AND SHALL HAVE SUFFICIENT CURB LENGTH AT THE CORNER TO PREVENT VEHICULAR ENCRoACHMENT.
- 2 CURB RAMP AT MARKED CROSSING SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS EXCLUDING ANY FLARED SIDES.
- 3 THE DESIRABLE MAXIMUM SLOPE OF RAMP SHALL BE 1:12. IN UNUSUAL SITUATIONS, THE ABSOLUTE MAXIMUM SLOPE FOR THE RAMP SHALL BE 1:8. HOWEVER, THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN 48", THE ABSOLUTE MAXIMUM SLOPE SHALL BE 1:12.
- 4 THE DESIRABLE MAXIMUM SLOPE OF THE SIDE FLARE SHALL BE 1:10 AND THE MINIMUM WIDTH OF THE SIDE FLARE SHALL BE ONE (1) FOOT.
- 5 RAMP SHALL BE CONSTRUCTED OF P.C. CONCRETE IN ACCORDANCE WITH ARTICLE 624 OF THE STANDARD SPECIFICATION, EXCEPT A TEXTURED MATERIAL FINISH WILL BE REQUIRED IN ACCORDANCE WITH ADA.
- 6 THE THICKNESS OF RAMP SHALL BE THE SAME AS THE ADJACENT SIDEWALKS WITH A MINIMUM THICKNESS OF 5 INCHES. THE RAMP AREAS WILL BE DETERMINED BY MEASURING THE WIDTH AND LENGTH ON A HORIZONTAL PLANE. THE AVERAGE WIDTHS WILL BE MEASURED TO INCLUDE THE SIDE CURBS OR FLARES (EDGE TREATMENT). AND THE LENGTH WILL BE MEASURED HORIZONTAL FROM THE TOP TO THE BOTTOM OF THE RAMP.
- 7 3/4" PREFORMED JOINT FILLER (PJF) SHALL BE INSTALLED ON THE SIDES OF RAMP WHERE THE RAMP ABUTS ADJACENT SIDEWALKS IN ACCORDANCE WITH THE "DETAIL OF PORTLAND CEMENT CONCRETE SIDEWALK CONSTRUCTION".
- 8 RAMP TEXTURING IS TO BE DONE ACCORDING TO THE REQUIREMENT OF THE AMERICAN DISABILITIES ACT. THE TEXTURING WILL CONSIST OF TRUNCATED DOMES IN A PATTERN WHICH IS SHOWN. THE DIAMETER SHALL BE 0.9" NOMINAL, THE HEIGHT SHALL BE 0.2" NOMINAL AND THE SPACING CENTER TO CENTER SHALL BE 2.35" NOMINAL.
- 9 IN NO CASE SHALL EXPANSION JOINTS THAT ARE CONSTRUCTED IN CURBS AND GUTTERS AT OR NEAR CORNER RADII, BE LOCATED WITHIN THE HANDICAP RAMP AREAS.

NOTES FOR SIDEWALK JOINTS:

- 1 TRANSVERSE JOINTS OF A TYPE SIMILAR TO THAT USED IN THE ADJACENT PAVEMENT SHALL BE INSTALLED IN ALL CURBS AND GUTTERS IN PROLONGATION WITH THE JOINTS IN THE PAVEMENT. IF THE CURB & GUTTER IS CONSTRUCTED ADJACENT TO A FLEXIBLE BASE PAVEMENT, 1" THICK EXPANSION JOINTS COMPOSED OF BITUMINOUS PREFORMED JOINT FILLER SHALL BE INSTALLED AT POINTS OF CURVATURE AND AT CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL ALSO BE PLACED BETWEEN THESE EXPANSION JOINTS AT A DISTANCE NOT TO EXCEED 20'. ALL TIE BARS SHALL BE CORRUGATED. ALL DOWEL BARS SHALL BE SMOOTH.
- 2 EXPANSION JOINTS ARE TO BE 40'-0" O.C. MAX. AND AT THE BACK OF CURBS CHANGE OF DIRECTION, OTHER WALKS, UTILITY APPURTENANCES OR FACE OF STRUCTURES.

PLAYGROUND EQUIPMENT LIST

Big Kids Unit - Ages 5-12

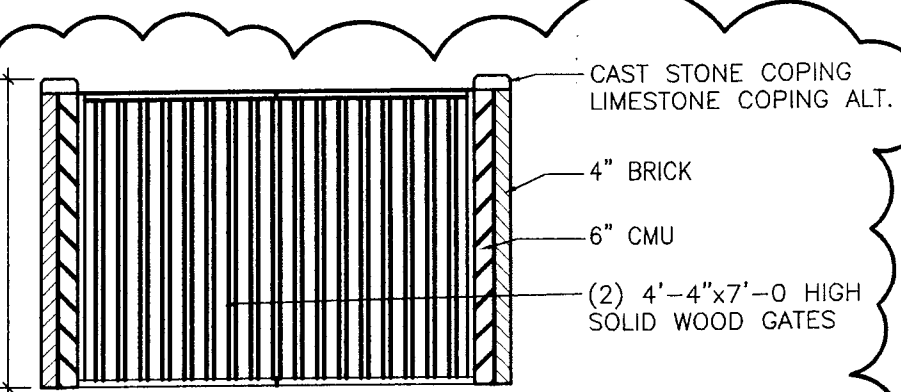
Description	Qty.
48" Triangular Deck	8
Wildside Entrance	1
Wildside Straight Section	4
Wildside Right Section	1
Wildside Left Section	2
Wildside End Section	1
Triangle Transfer Platform	1
Eagle Birch Panel	1
Talk Tubes	2
Swivel Master	1
Straight Horizontal Loop Ladder	1
Cargo Net Wall Attachment	1
Double Steering Wheel Panel	1
Leaning Wall Climber	1
Stepped Platform	2
Truck Climber	1
Chain Link Climber	1
Double Seat Panel	1
Tidal Wave Slide	1
Age Appropriate Sign, English (5-12)	1
Age Appropriate Sign, Spanish (5-12)	1

Tot Unit - Ages 2-5

Description	Qty.
48" Square Deck	1
Circled Slide	1
Clover Leaf Climber	1
Steering Wheel Panel	1
Crunch Bar	1
Transfer Point	1
Access Attachment	1
Age Appropriate Sign, English (2-5)	1
Age Appropriate Sign, Spanish (2-5)	1
Clifford	1
Fluffy	1
Coil Springs (inground mountings)	2

H5 TRASH ENCLOSURE DETAIL

SCALE 1/4"=1'-0"



H6 TRASH ENCLOSURE ELEVATION

SCALE 1/4"=1'-0"



CHANGE.

CHICAGO HOUSING AUTHORITY

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SMITH HARDING

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Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

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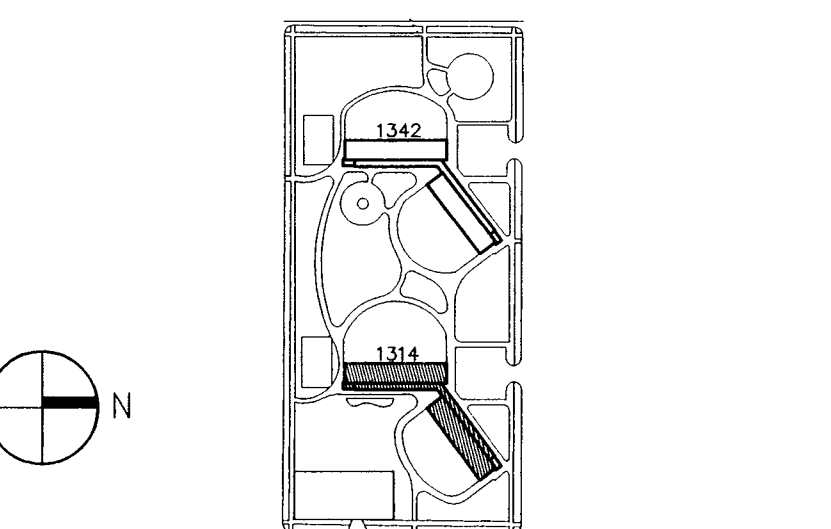
General Notes

1. All work shall be in accordance with the latest edition of the Chicago Building Code, the Chicago Zoning Ordinance, and the Chicago Landmark Ordinance, unless otherwise specified.

RAFAEL HERNANDEZ
BY: [Signature]

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
6	8.31.05	ISSUED FOR PERMIT	
5	10.8.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

SITE PLAN

1314 WEST 15TH STREET FAMILY DEVELOPMENT			HUD NUMBER RH-7
DATE 10/08/04	SCALE 1/32"=1'-0"	JOB NO. 2003005.01	SHEET NUMBER A-010
DRAWN KW	CHECKED ECS	APPROVED ECS	



Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
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Bid Documents

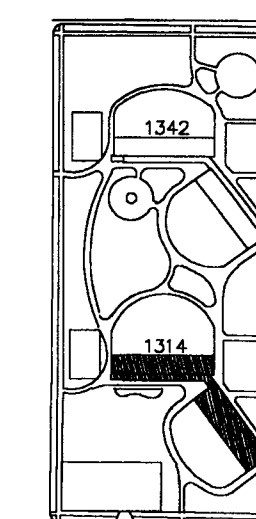
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General Notes

NOTE: FOR REFERENCE ONLY
SCOPE OF WORK ON
1314 BUILDING

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT

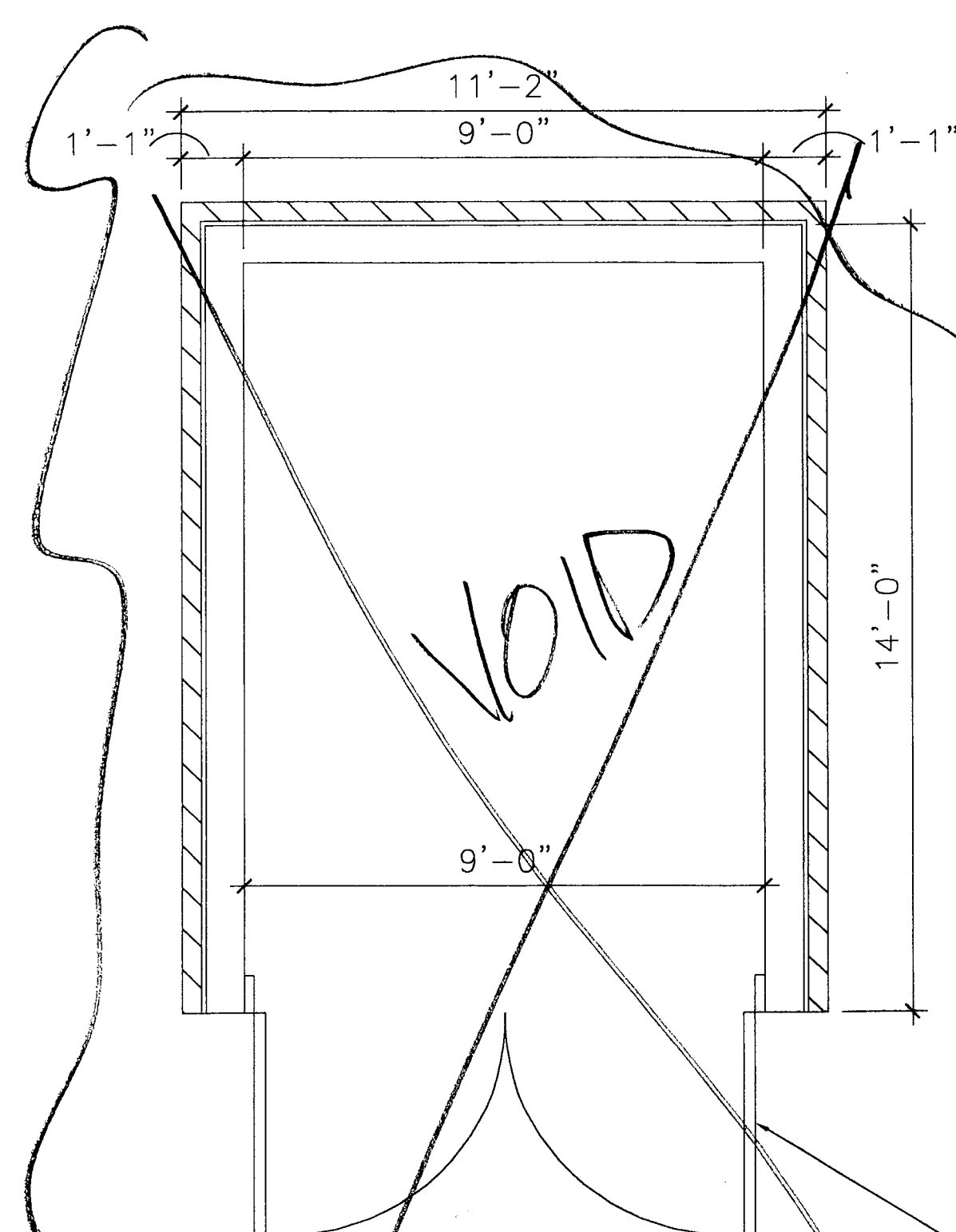


4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMI
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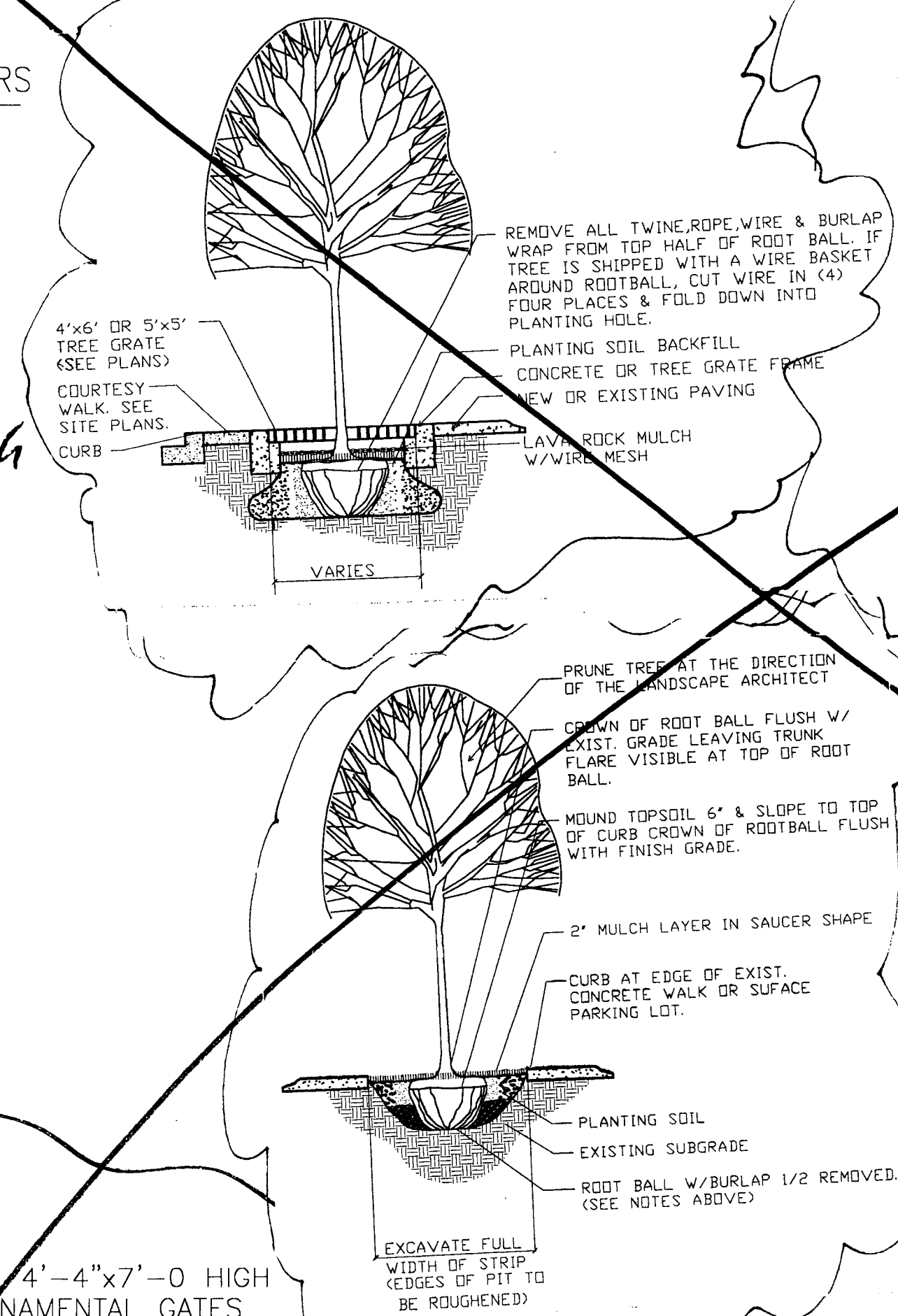
VOID
9/9/05
R



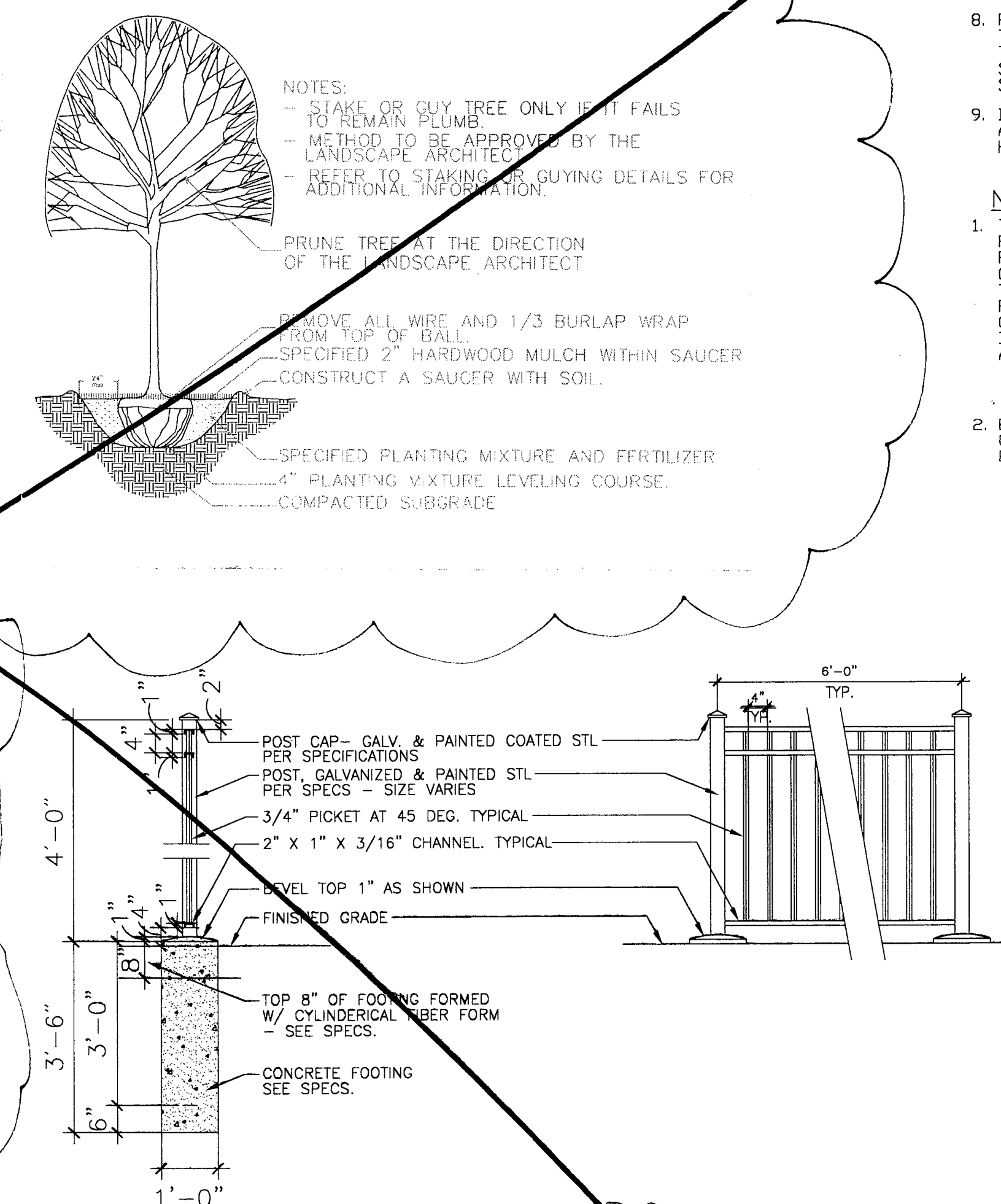
G5 CHAIN LINK FENCE DETAIL AROUND GENERATORS



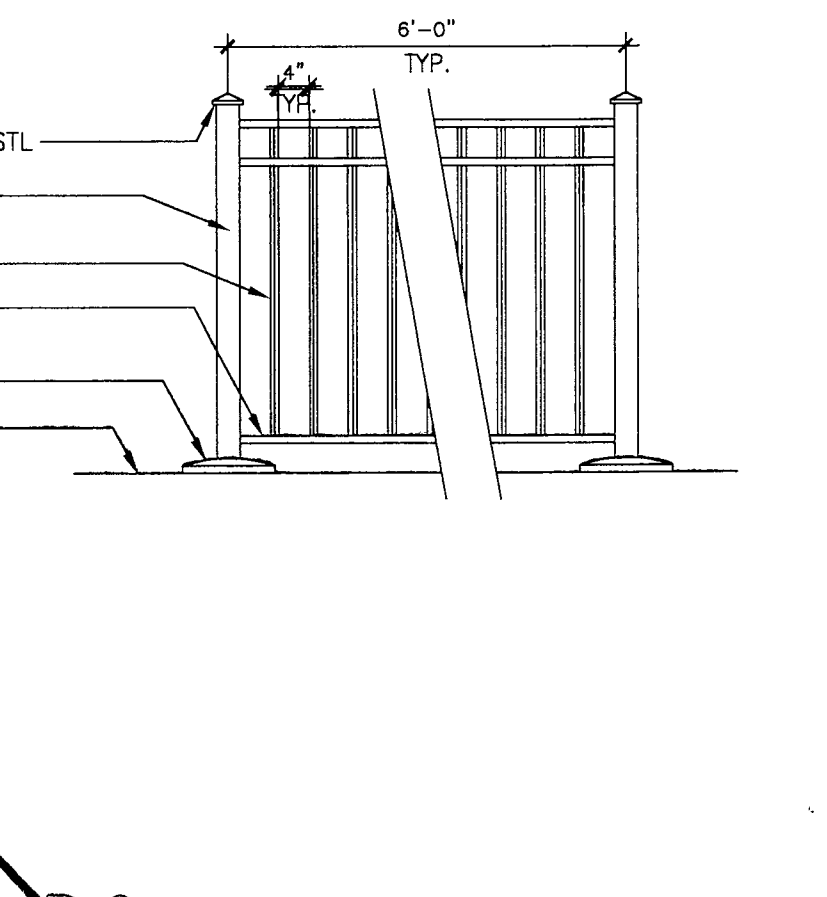
E1 ~~1~~ TRASH ENCLOSURE DETAIL
SCALE $\frac{3}{16}'' = 1'-0''$



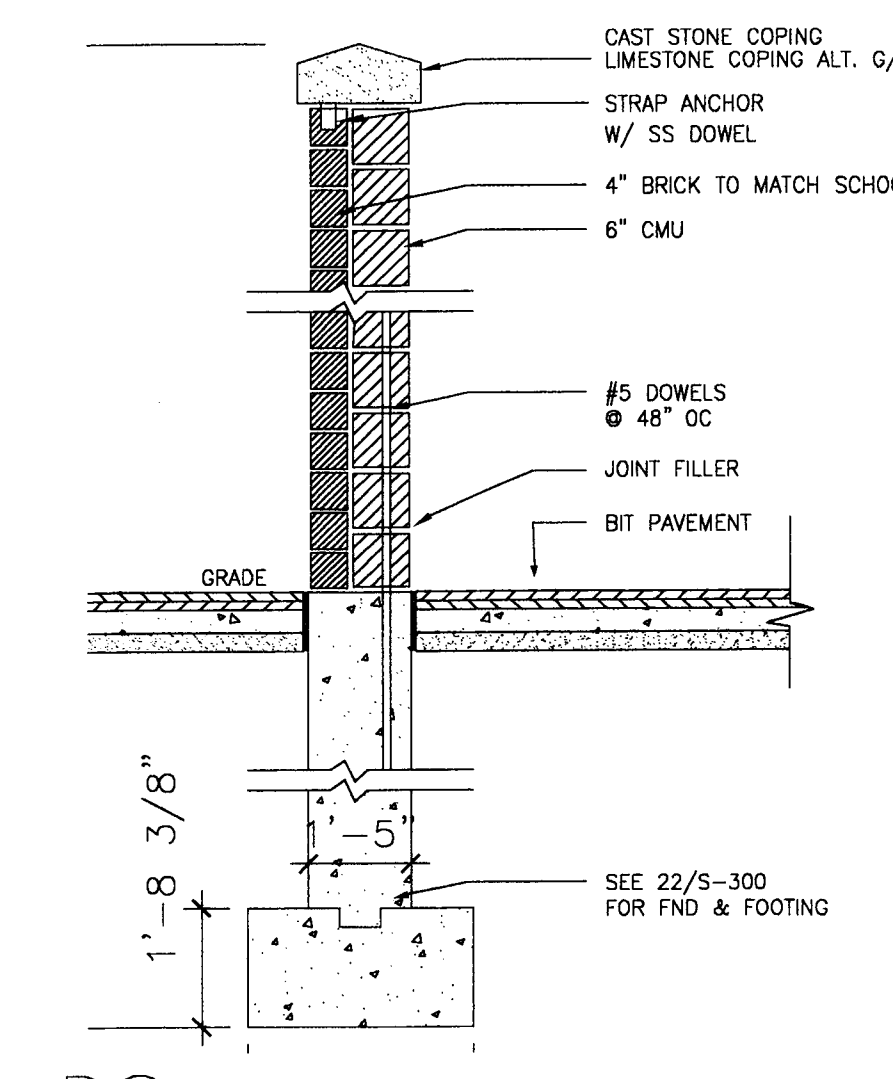
— (2) 4'-4"x7'-0 HIGH
ORNAMENTAL GATES



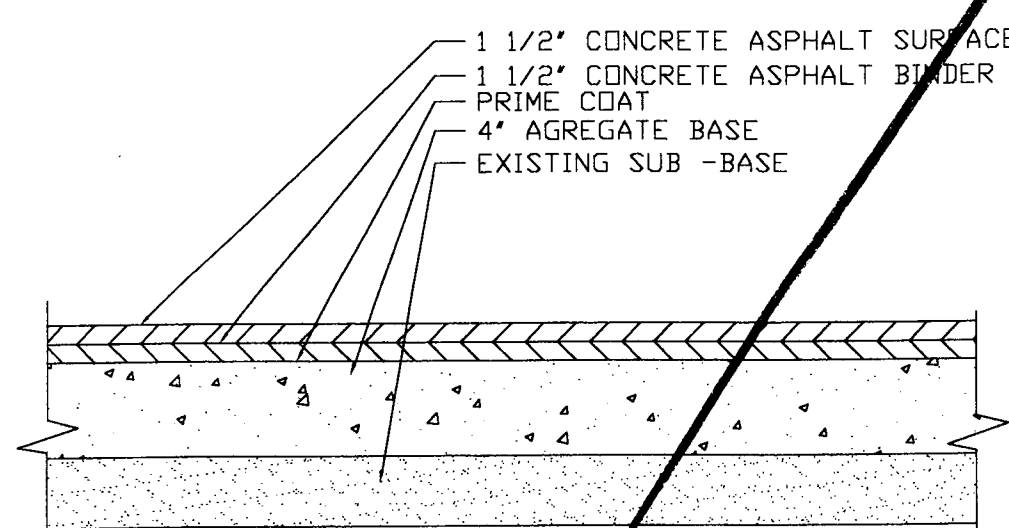
D10 ORNAMENTAL FENCE SECTION
SCALE 3/8"=1'-0"



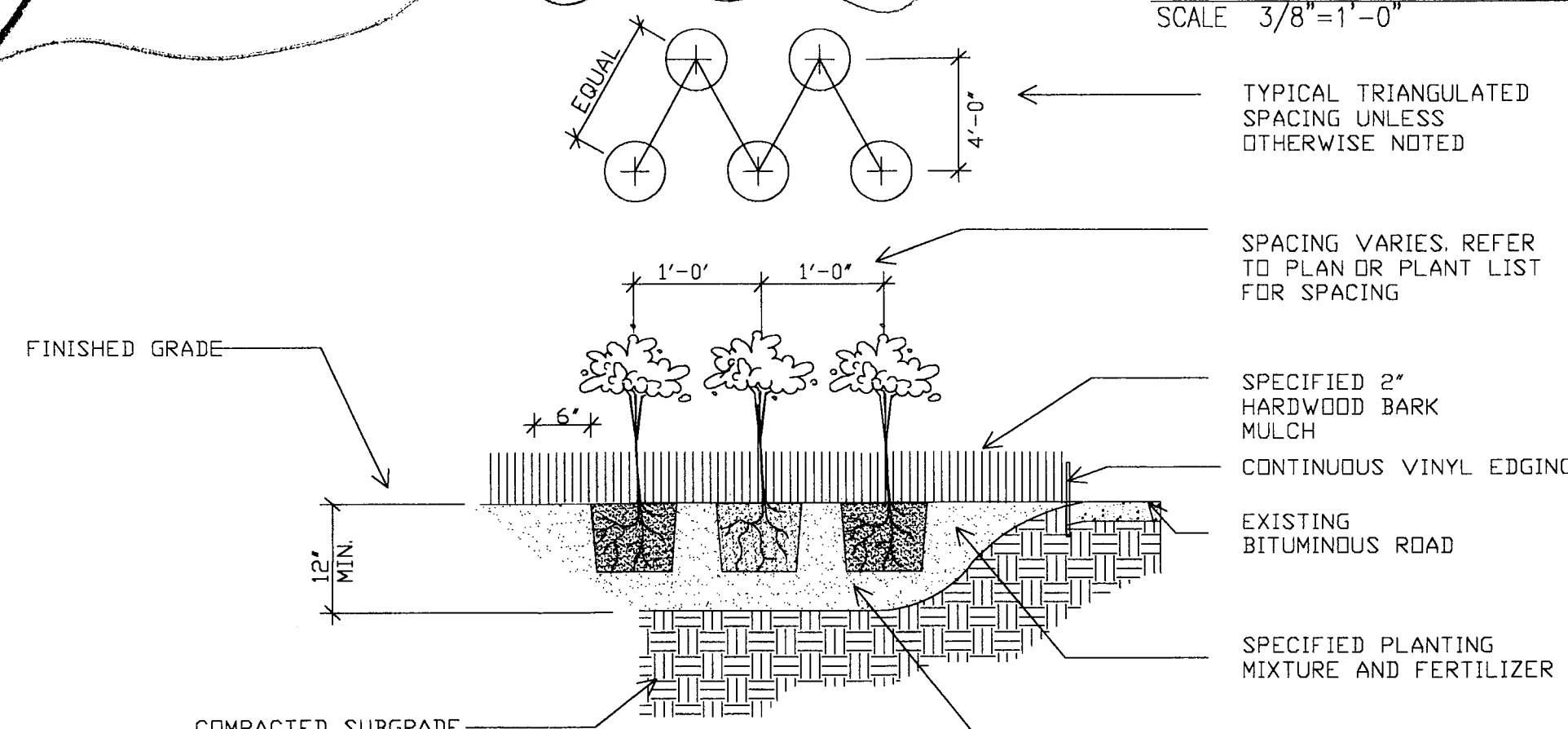
~~D9~~ ORNAMENTAL FENCE ELEVATION
SCALE $3/8" = 1'-0"$



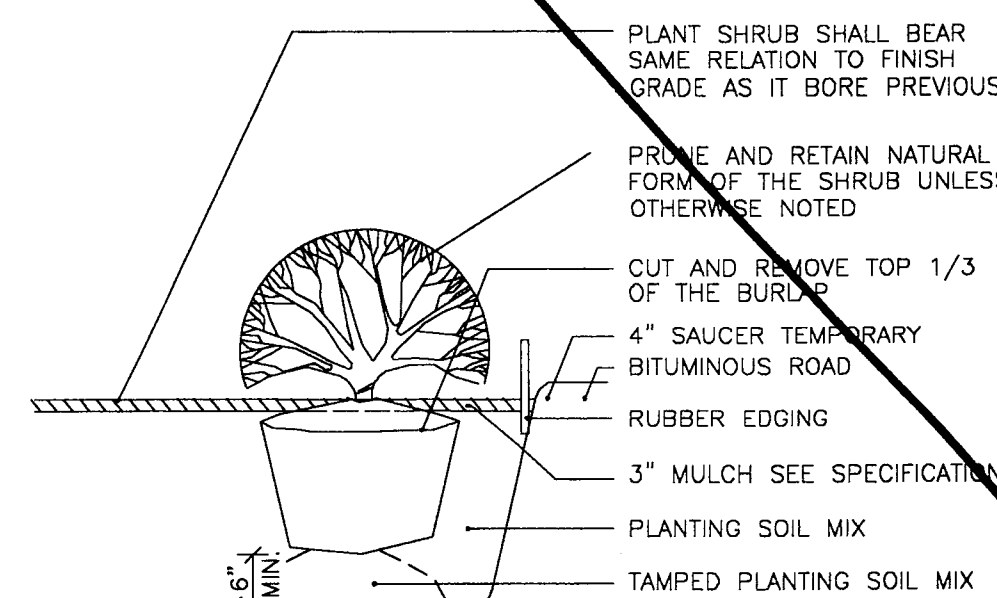
D8 ENCLOSURE WALL SECTION
SCALE 3/8"=1'-0"



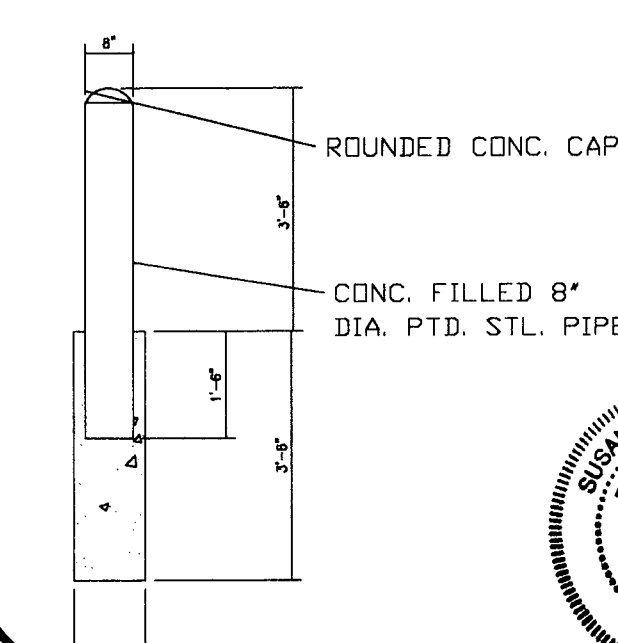
H3 BITUMINOUS PAVEMENT DETAIL
SCALE NOT TO SCALE



C10 PERENNIAL DETAIL
SCALE: 3/8"=1'-0"



C7 TYPICAL SHRUB DETAIL
SCALE: 3/8"=1'-0"



~~C4 BOLLARD DETAIL~~
~~SCALE: NTS~~

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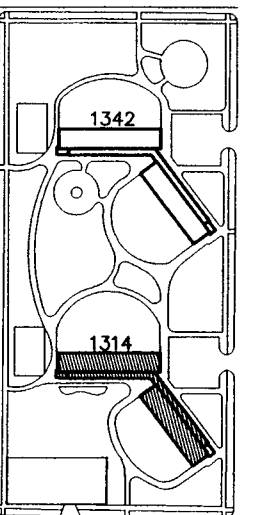
General Notes

SEP 19 2005

RAFAEL HERNANDEZ

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
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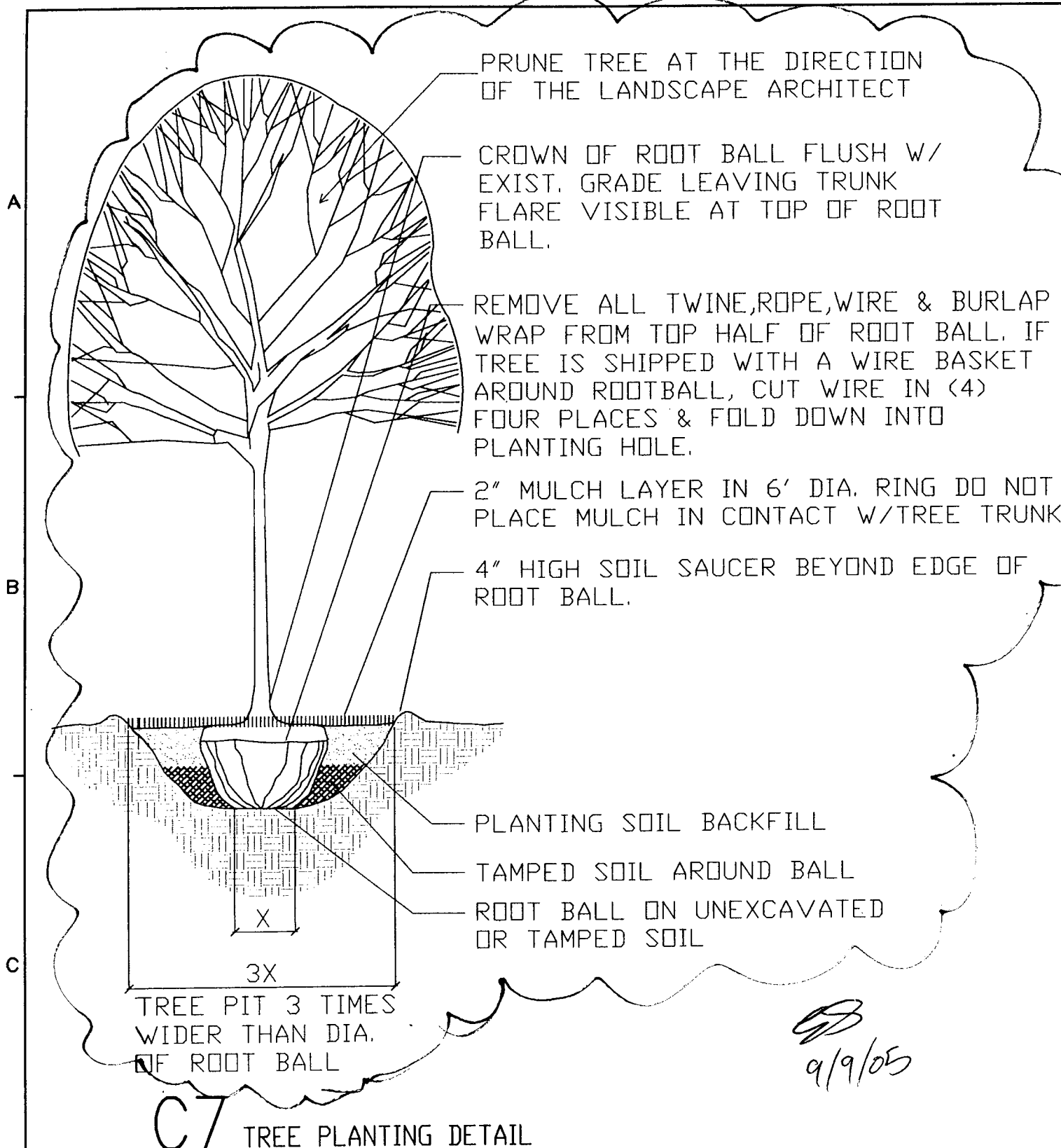
FAX (312) 655-1105

SITE/LANDSCAPE DETAILS

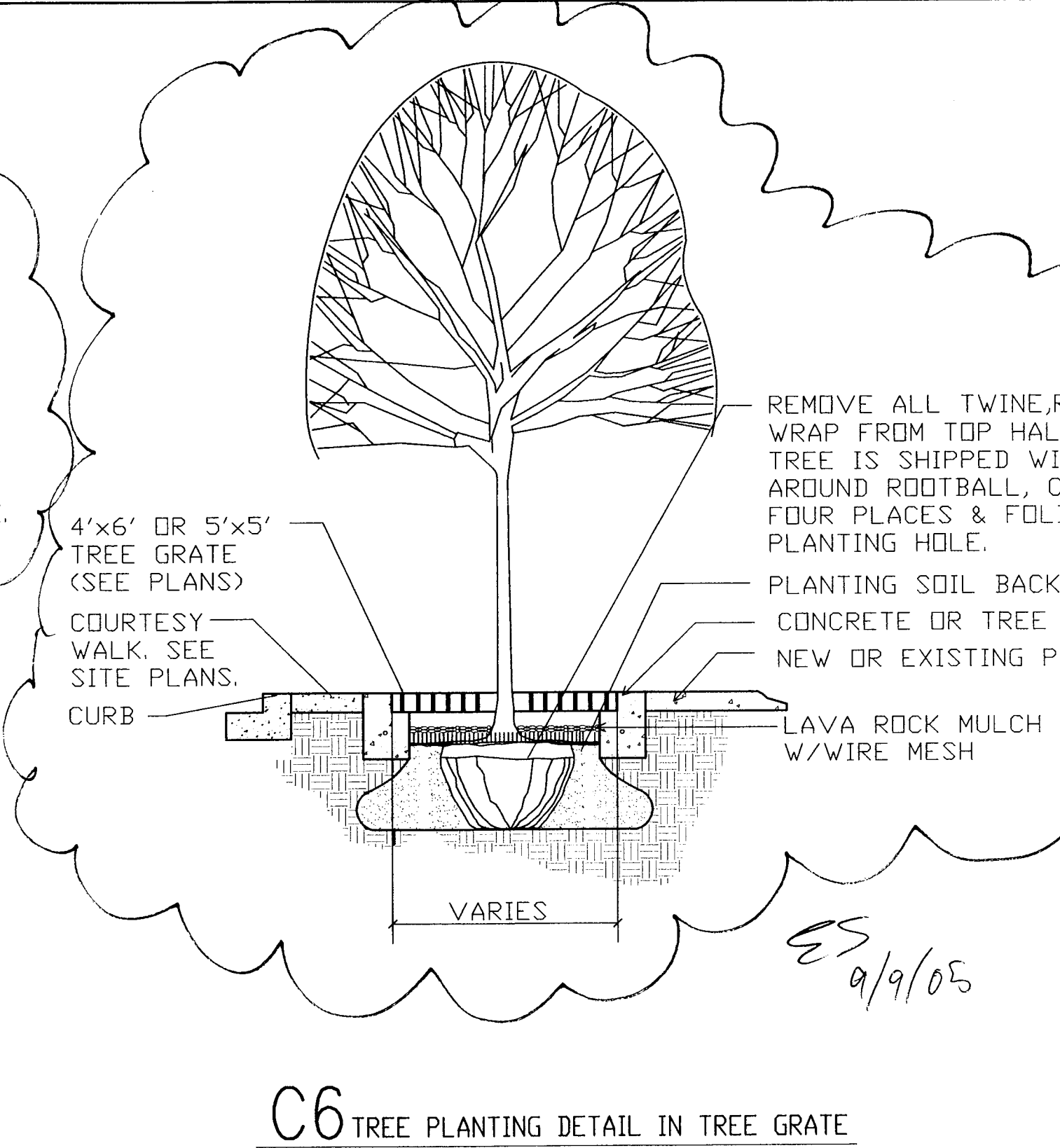
1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

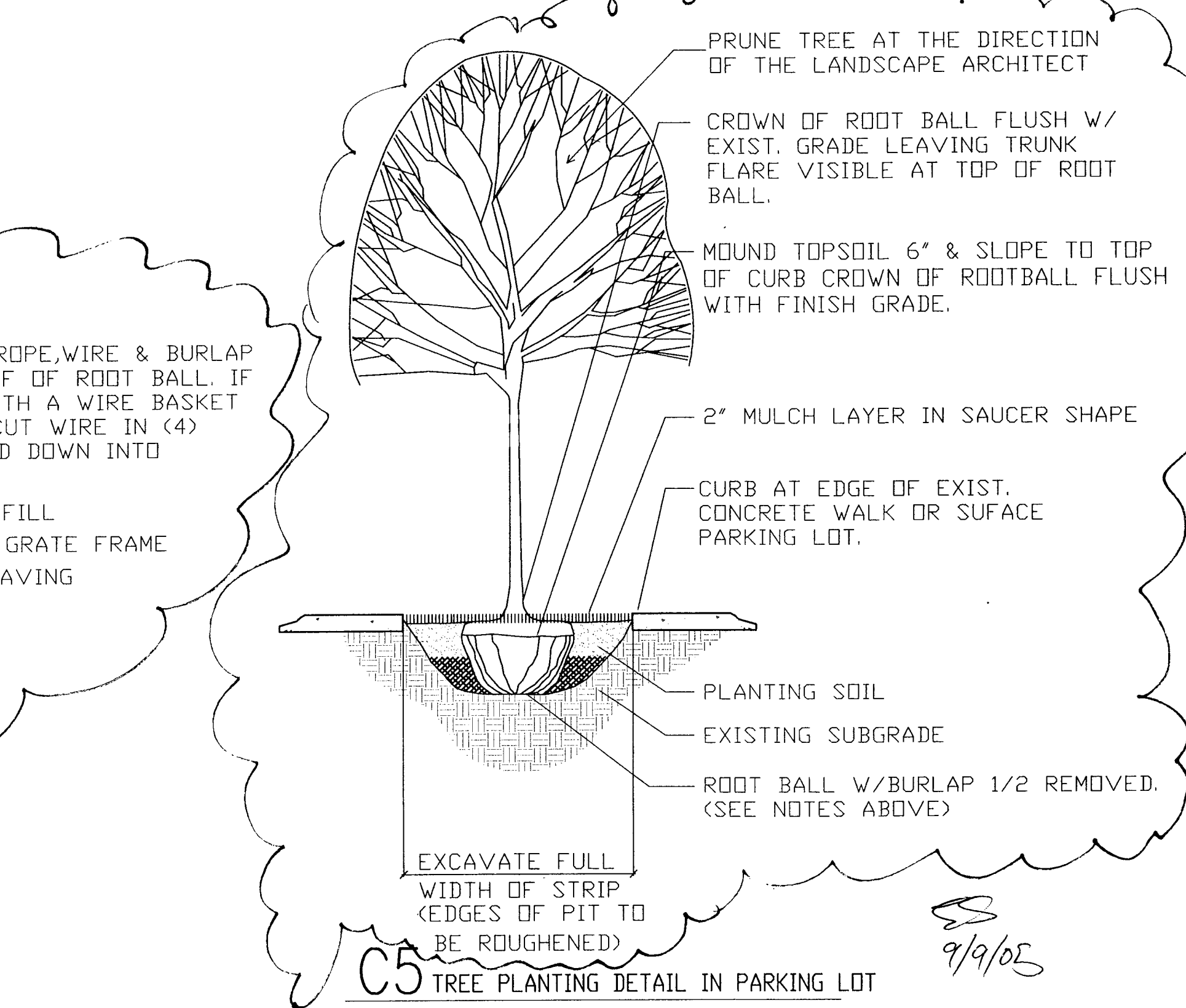
DATE	SCALE	JOB NO.	SHEET NUMBER
10/08/04	VARIES	2003005.01	A-011
DRAWN	CHECKED	APPROVED	
KW	ECS	ECS	



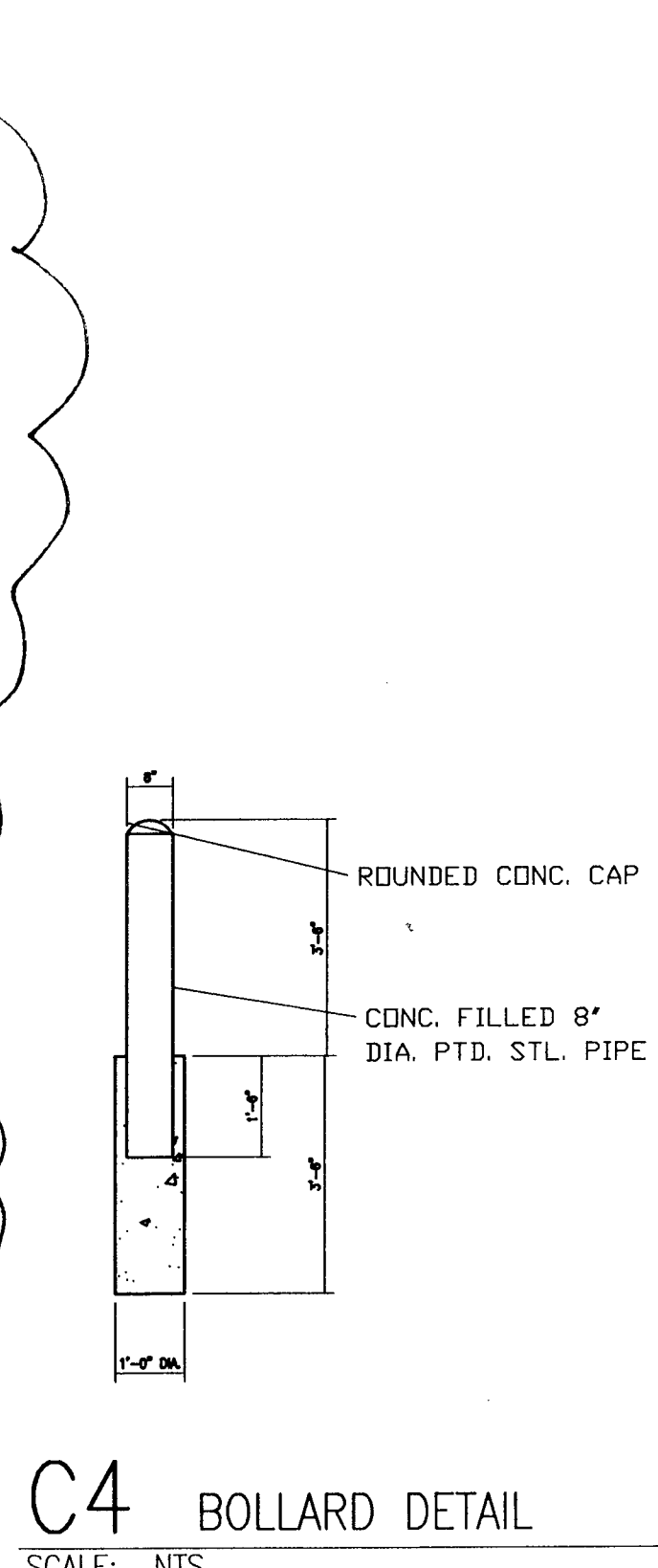
C7 TREE PLANTING DETAIL
SCALE: NOT TO SCALE



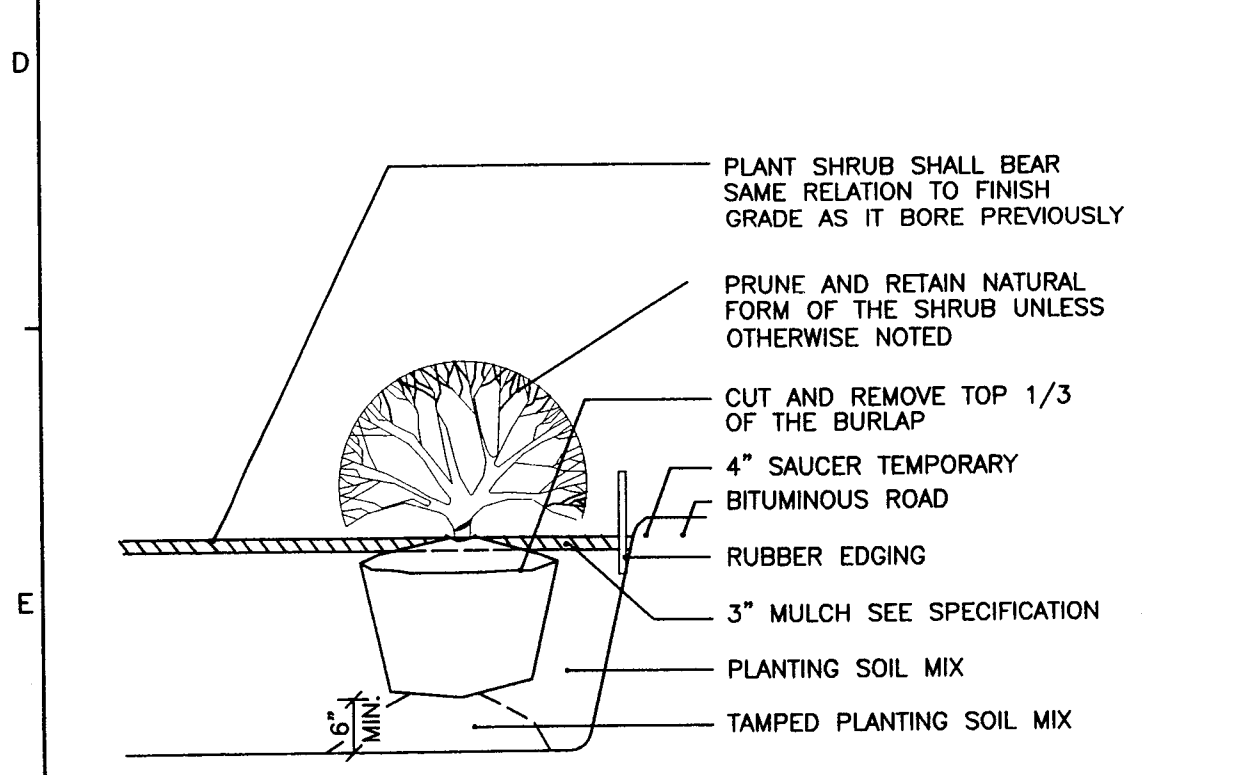
C6 TREE PLANTING DETAIL IN TREE GRATE
SCALE: NOT TO SCALE



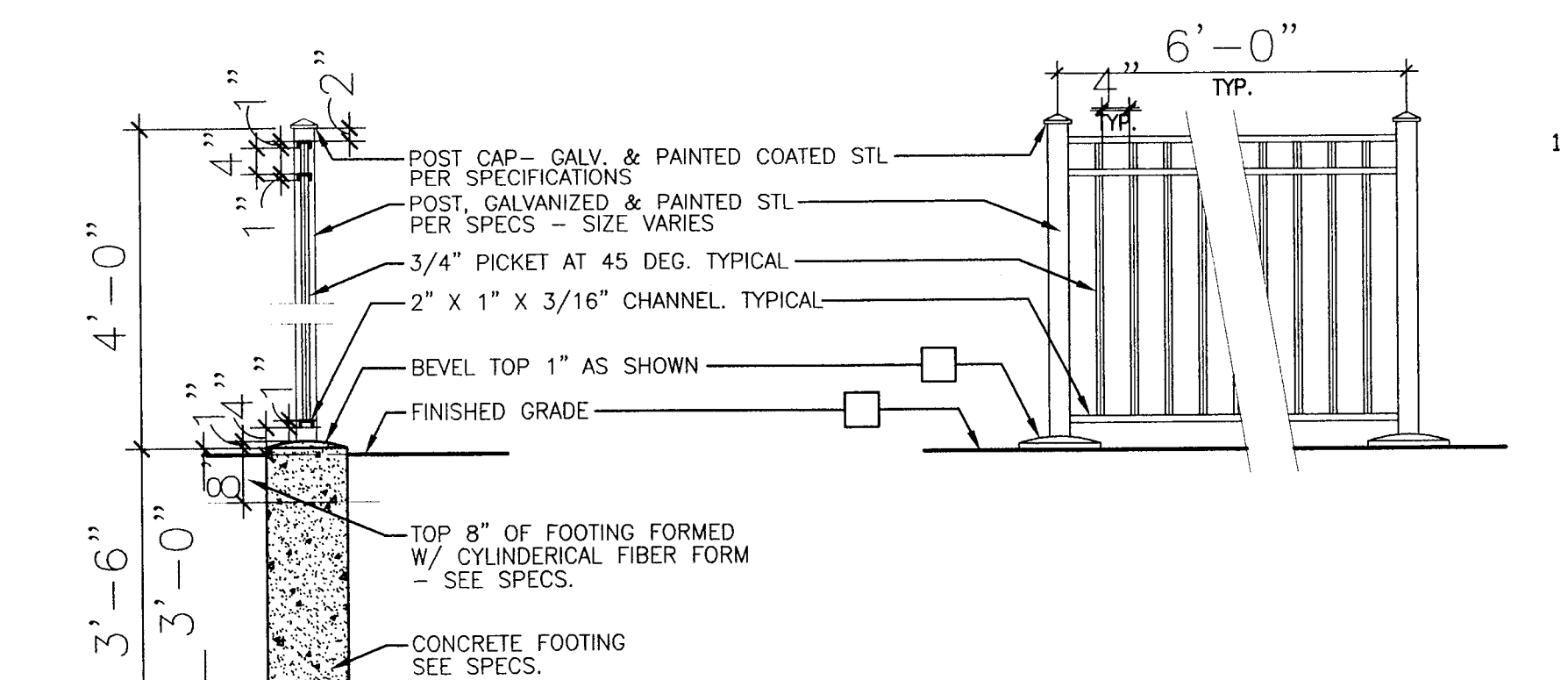
C5 TREE PLANTING DETAIL IN PARKING LOT
SCALE: NOT TO SCALE



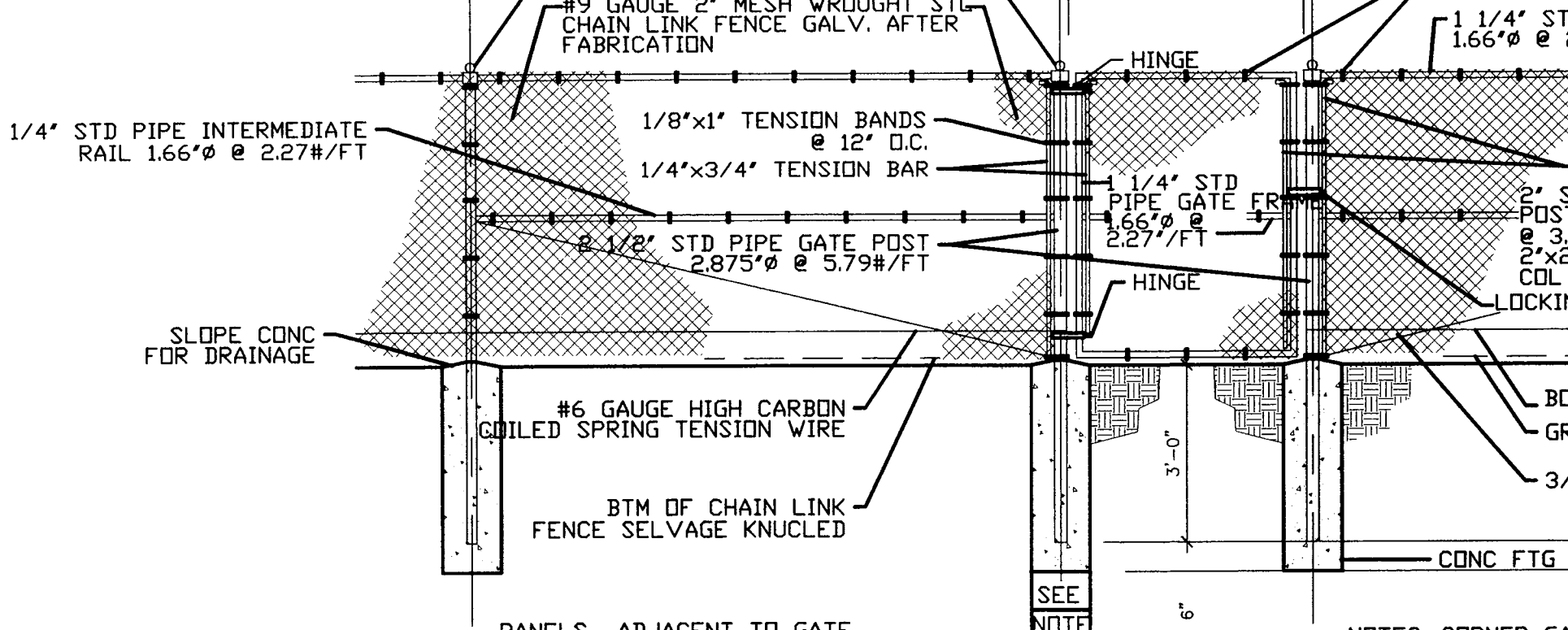
C4 BOLLARD DETAIL
SCALE: NTS



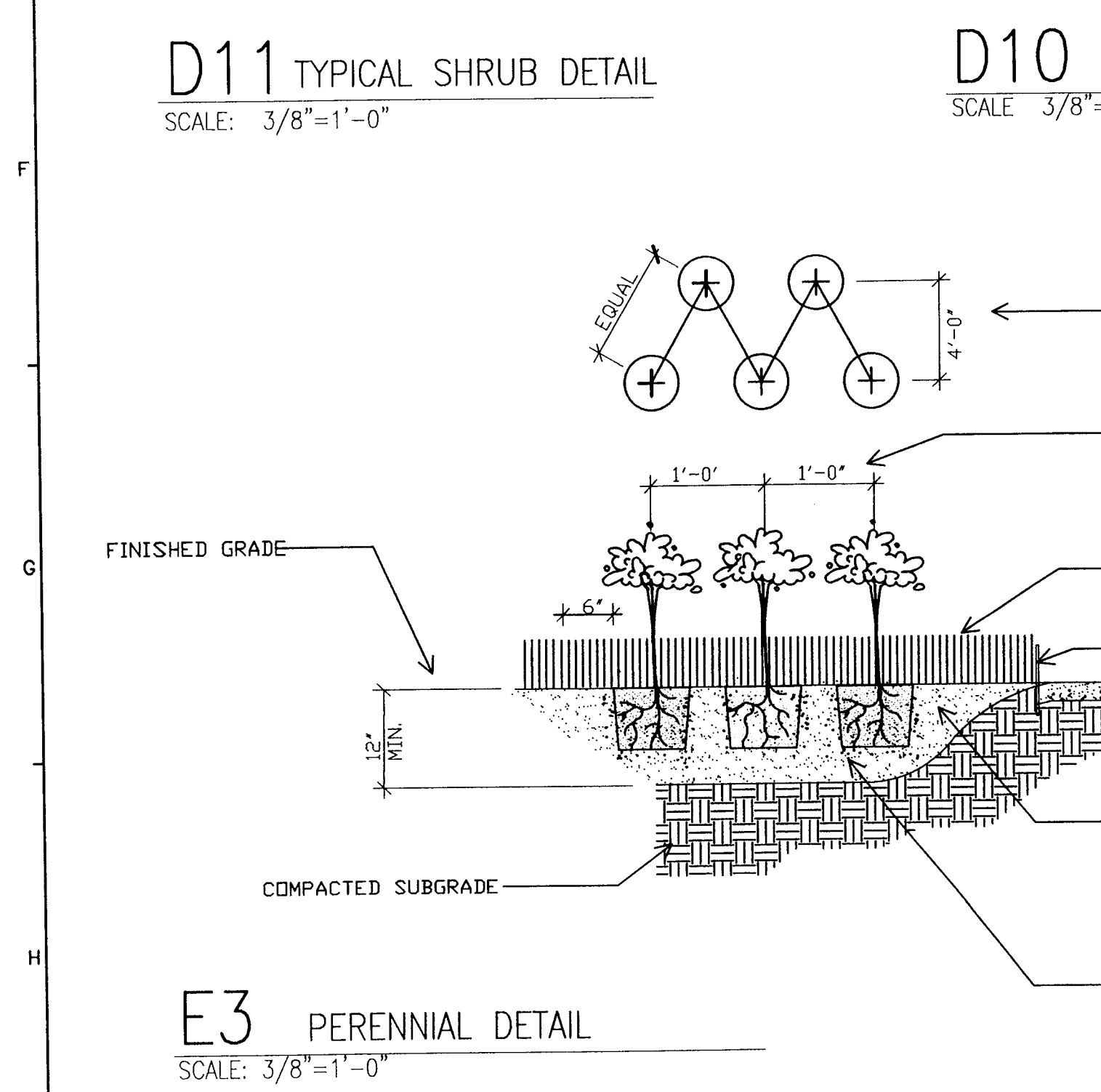
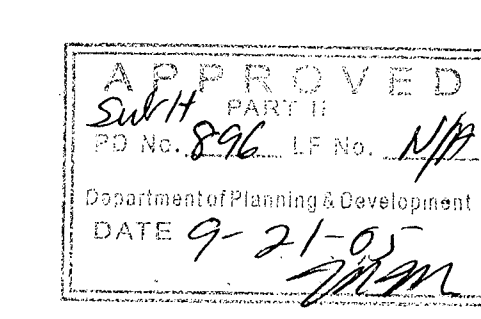
D11 TYPICAL SHRUB DETAIL
SCALE: 3/8"=1'-0"



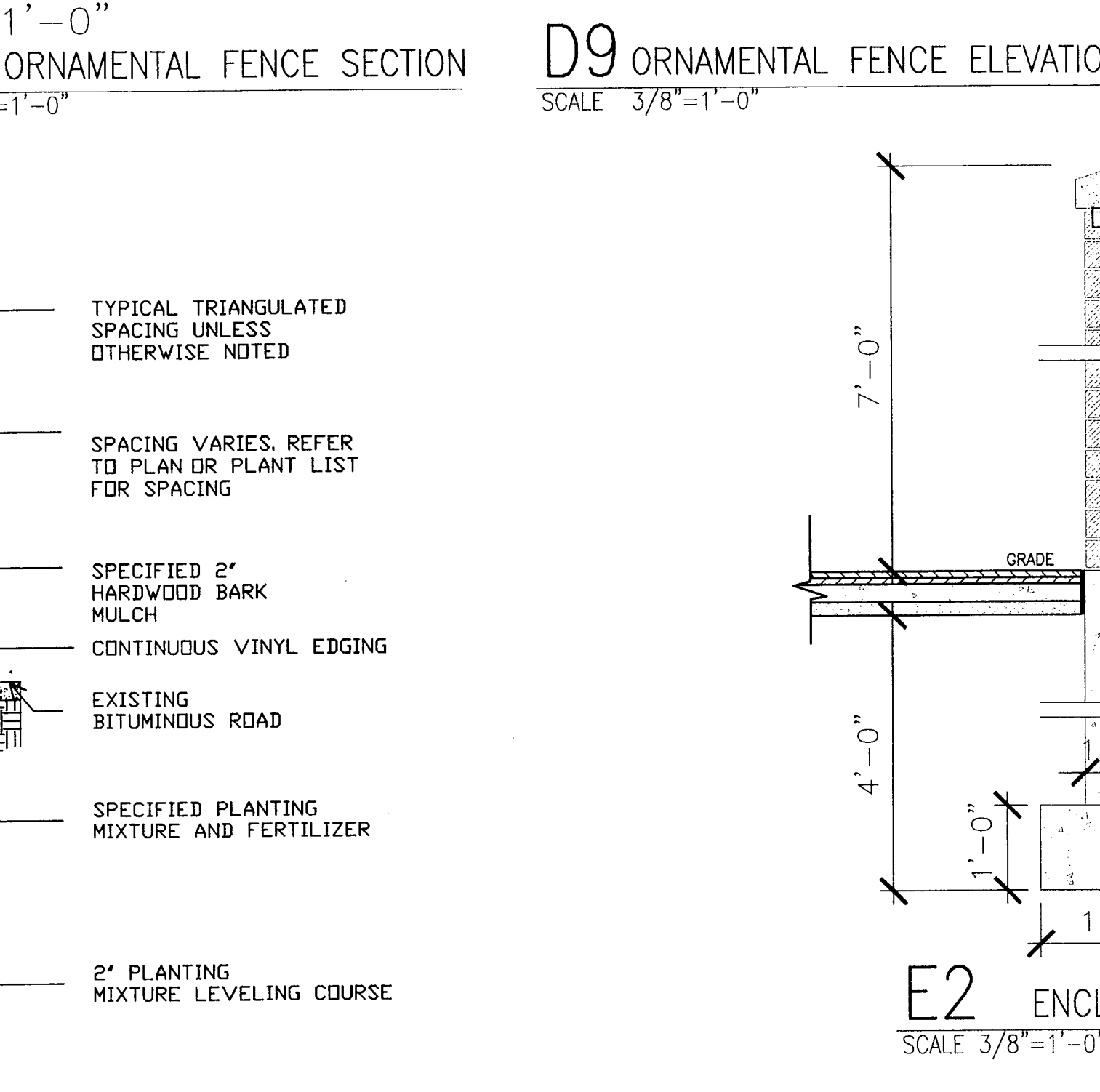
D10 ORNAMENTAL FENCE SECTION
SCALE: 3/8"=1'-0"



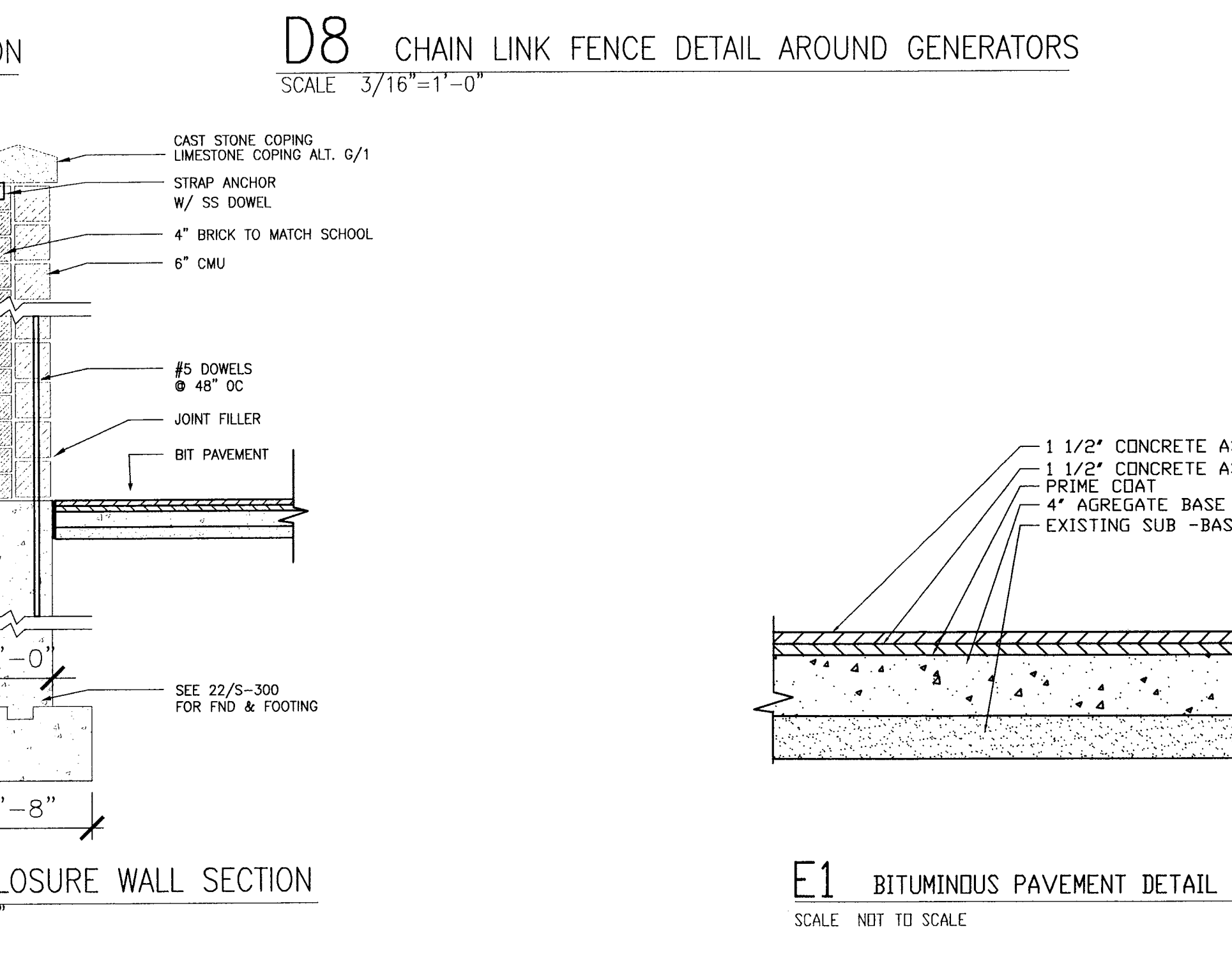
D8 CHAIN LINK FENCE DETAIL AROUND GENERATORS
SCALE: 3/16"=1'-0"



E3 PERENNIAL DETAIL
SCALE: 3/8"=1'-0"

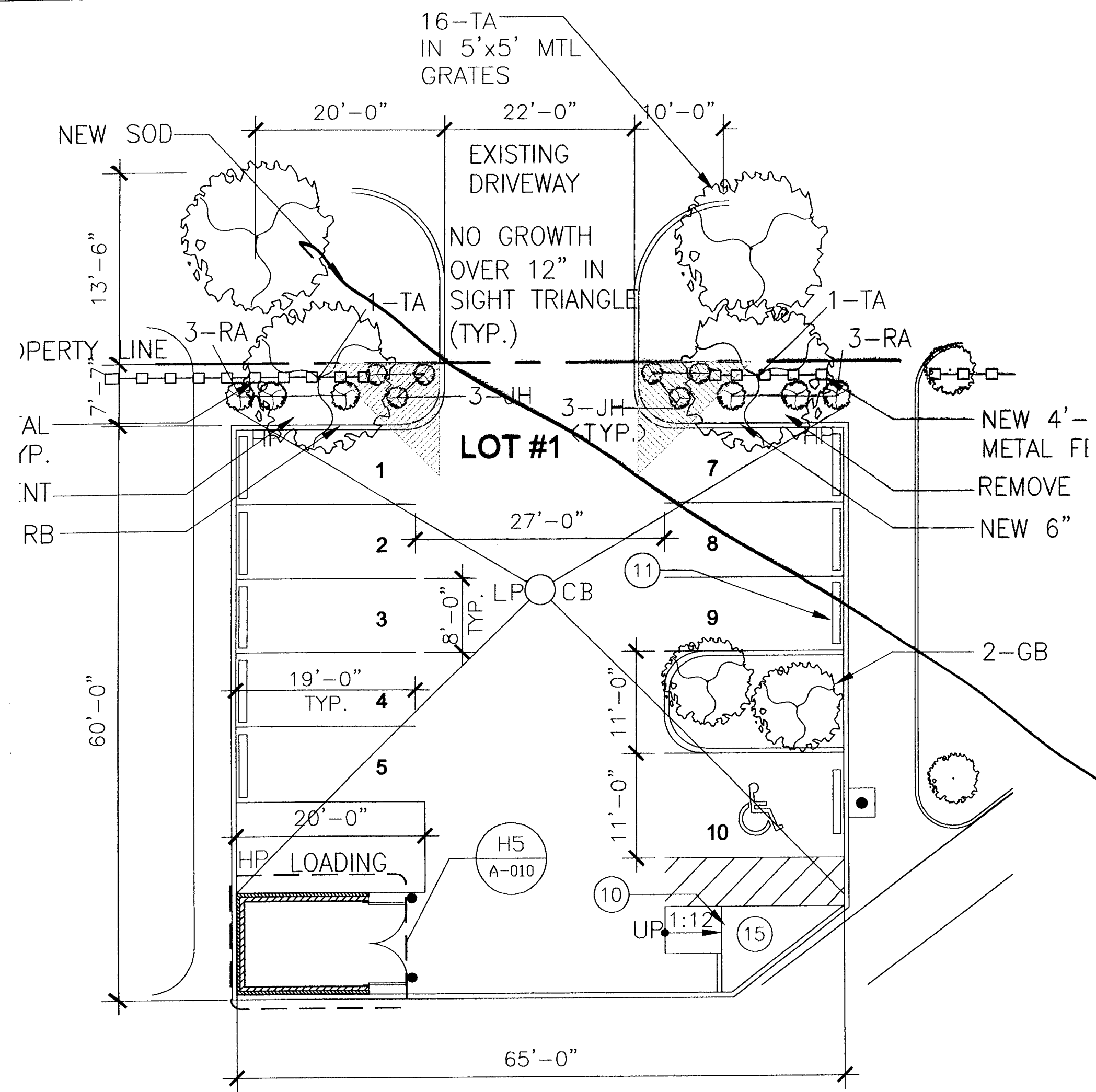


E2 ENCLOSURE WALL SECTION
SCALE: 3/8"=1'-0"

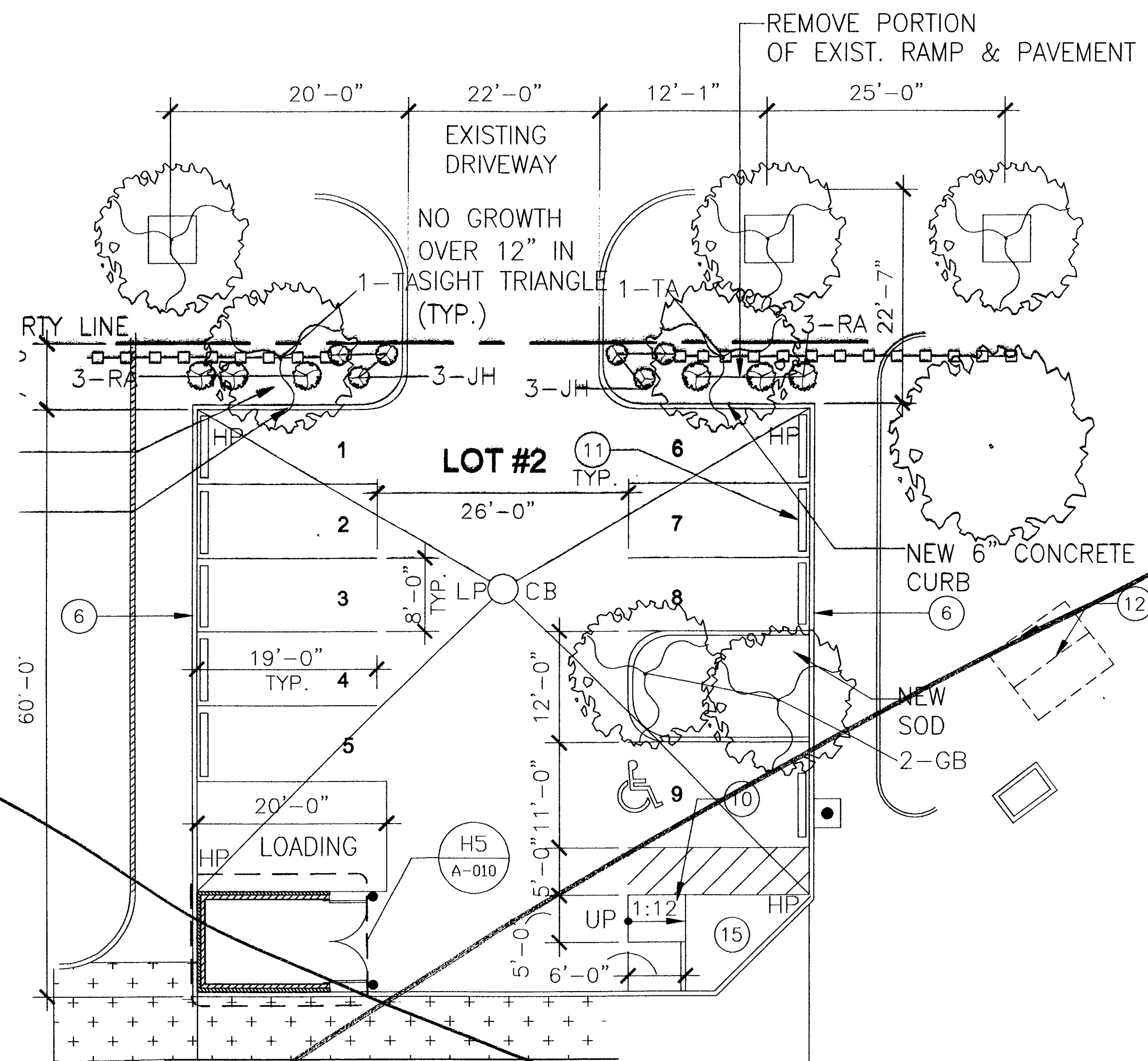


E1 BITUMINOUS PAVEMENT DETAIL
SCALE: NOT TO SCALE

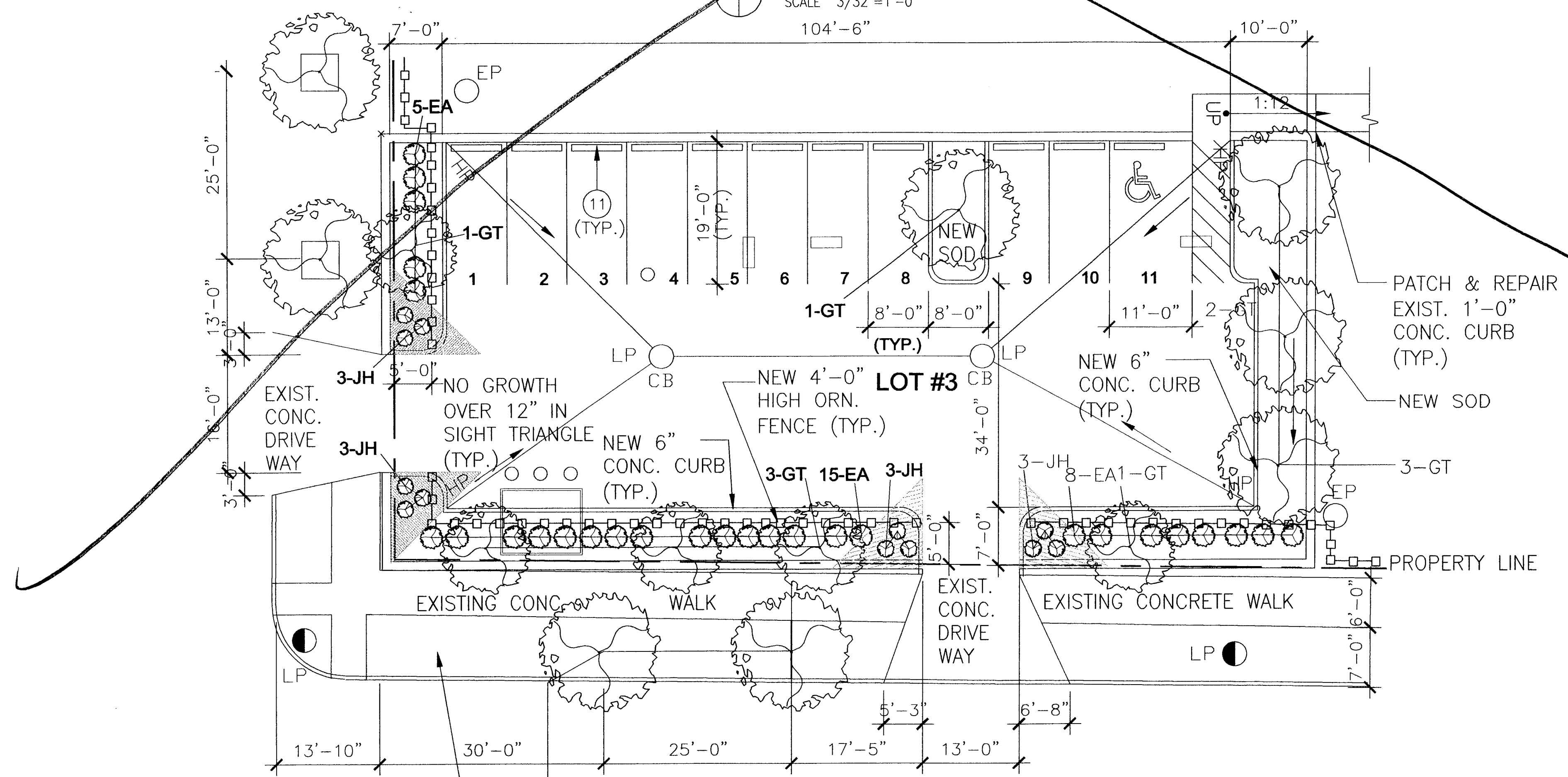




F5 ENLARGED PARKING LOT PLAN (NORTHWEST)
SCALE 3/32"=1'-0"



F6 ENLARGED PARKING LOT PLAN (NORTHEAST)
SCALE 3/32"=1'-0"



F7 ENLARGED PARKING LOT PLAN (SOUTHEAST)
SCALE 3/32"=1'-0"

SITE PLAN KEY NOTES

- ① REMOVE A.C. PAVING, FENCE AND FOOTINGS. CLEAR SOIL OF ANY PAVING MATERIAL, AND TILL. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL SOD AND SHRUBS.
- ② REMOVE EXISTING ASPHALT PARKING AREA AND PREVENT DEBRIS FROM ENTERING AREA DRAIN. REPLACE WITH NEW ASPHALT PAVING, STRIPING, SIGNAGE, CURB STOPS, AND LIGHT FIXTURES. PROVIDE POSITIVE DRAINAGE TO EXIST. AREA DRAINS.
- ③ REMOVE EXISTING CHAIN LINK FENCE & FOOTINGS AND PATCH ALL ADJACENT CONCRETE WALKS & SOD.
- ④ PROVIDE AND INSTALL NEW SOFT SURFACE MATERIAL AT NEW PLAY AREA/EQUIPMENT.
- ⑤ PROVIDE AND INSTALL NEW MODULAR PLAY EQUIPMENT.
- ⑥ REPAIR P. CONCRETE SIDEWALKS WHERE REQ'D. PATCH SPALLING AREAS, REMOVE AND REPLACE CRUMBLING AREAS, REMOVE AND REPLACE AREAS WITH UNEVEN PAVEMENT GREATER THAN 1/4".
- ⑦ REMOVE DAMAGED ASPHALT PAVING, FENCE AND FOOTINGS. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL NEW ASPHALT PAVING.
- ⑧ INSTALL NEW MASONRY TRASH ENCLOSURE.
- ⑨ REMOVE EXISTING PLAYGROUND EQUIPMENT.
- ⑩ PROVIDE NEW 5'-0" (V.I.F.) WIDE RAMP (6" RISE) W/STRIPING FOR WHEEL CHAIR ACCESS
- ⑪ PROVIDE NEW PREFABRICATED CONCRETE WHEEL STOP
- ⑫ REMOVE EXISTING UST'S & PIPING (SEE PHASE I & II ENVIRONMENTAL REPORTS & SPECS.)

SYMBOLS

- DAMAGED CONCRETE OR BITUMINOUS PAVEMENT
- SOFT SURFACE
- PROPERTY LINE
- NEW ORNAMENTAL FENCE
- CHAIN LINK FENCE
- ELECTRIC POLES
- LIGHT POLES
- FIRE HYDRANT
- CATCH BASIN
- MANHOLE
- EXISTING WD BENCH TO BE REPAINTED
- NEW 5'-0" BENCH
- EXISTING TREE
- EXISTING SHRUB
- NEW TREE
- NEW SHRUB
- NEW 8" DIA. CONC FILLED BOLLARD
- H.C. (\$150.00 FINE)

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
675 West Jackson 3rd Floor
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

Bid Documents

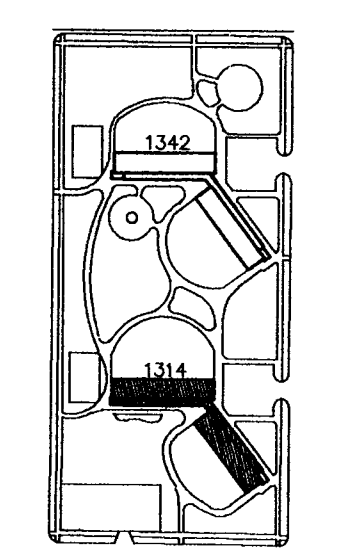
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General Notes

**NOTE: FOR REFERENCE ONLY
SCOPE OF WORK ON
1314 BUILDING**

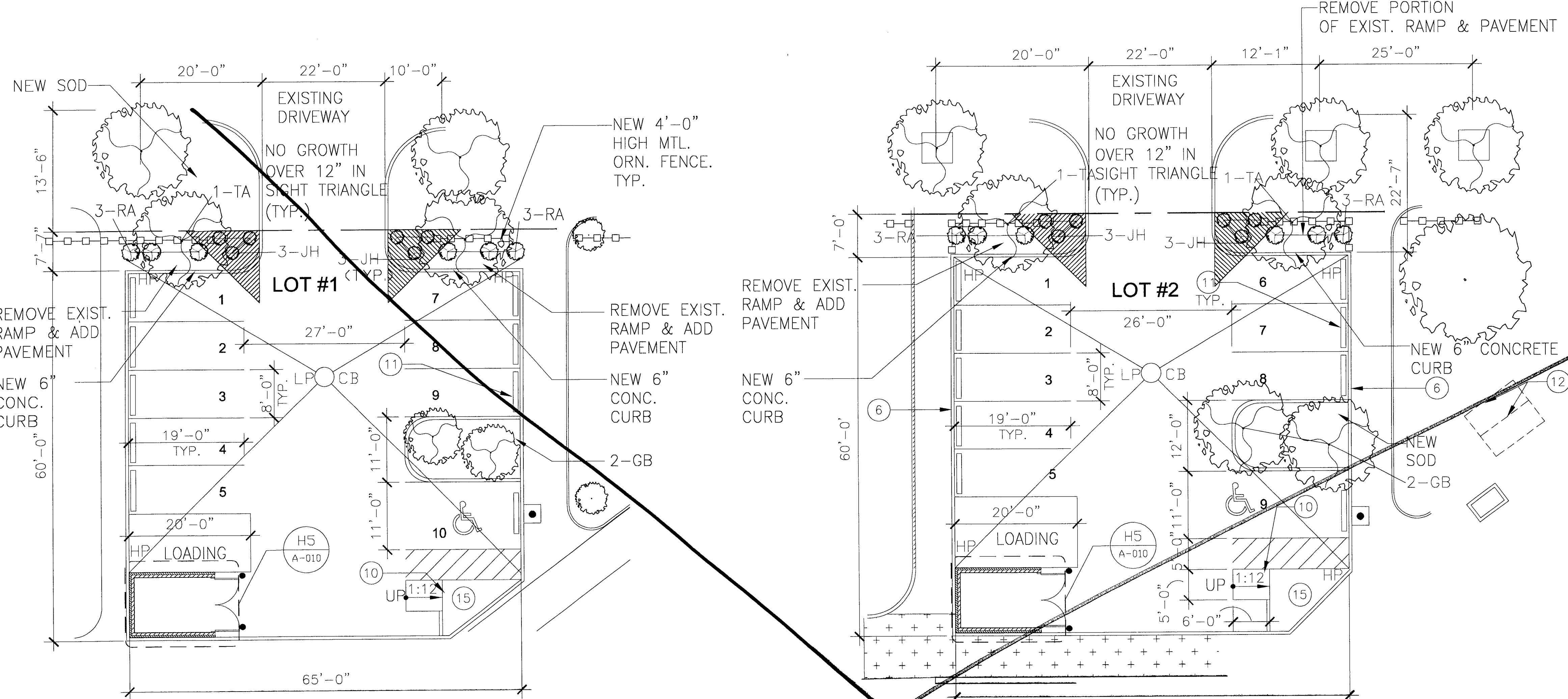
Key Plan

DENOTES SCOPE OF WORK / CONTRACT LIMIT



1101P
3/4/05

11/12



- SITE PLAN KEY NOTES**
1. REMOVE A.C. PAVING, FENCE AND FOOTINGS. CLEAR SOIL OF ANY PAVING MATERIAL, AND TILL. PREVENT DEBRIS FROM ENTERING AREA DRAIN. GRADE AREA TO T.O. AREA DRAIN. PROVIDE AND INSTALL SOD AND SHRUBS.
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- SYMBOLS**
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 - SOFT SURFACE
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 - NEW 5'-0" BENCH
 - EXISTING TREE
 - EXISTING
 - NEW TRI
 - NEW SH
 - NEW 8" FILLED E
 - H.C. (\$1)

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dbHMS ENGINEERING
Willows Springs, Illinois
MCP Engineers

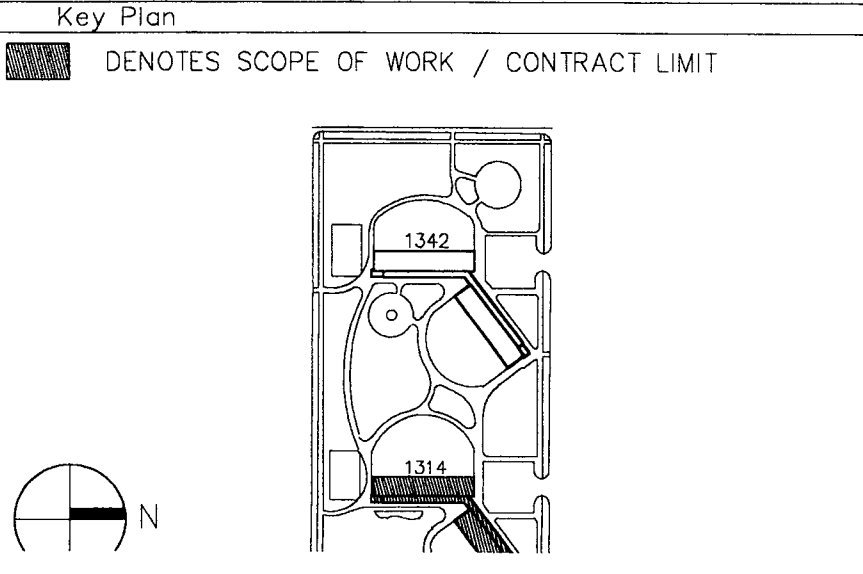
MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

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General Notes

NOTE: FOR REFERENCE ONLY
SCOPE OF WORK ON
1314 BUILDING

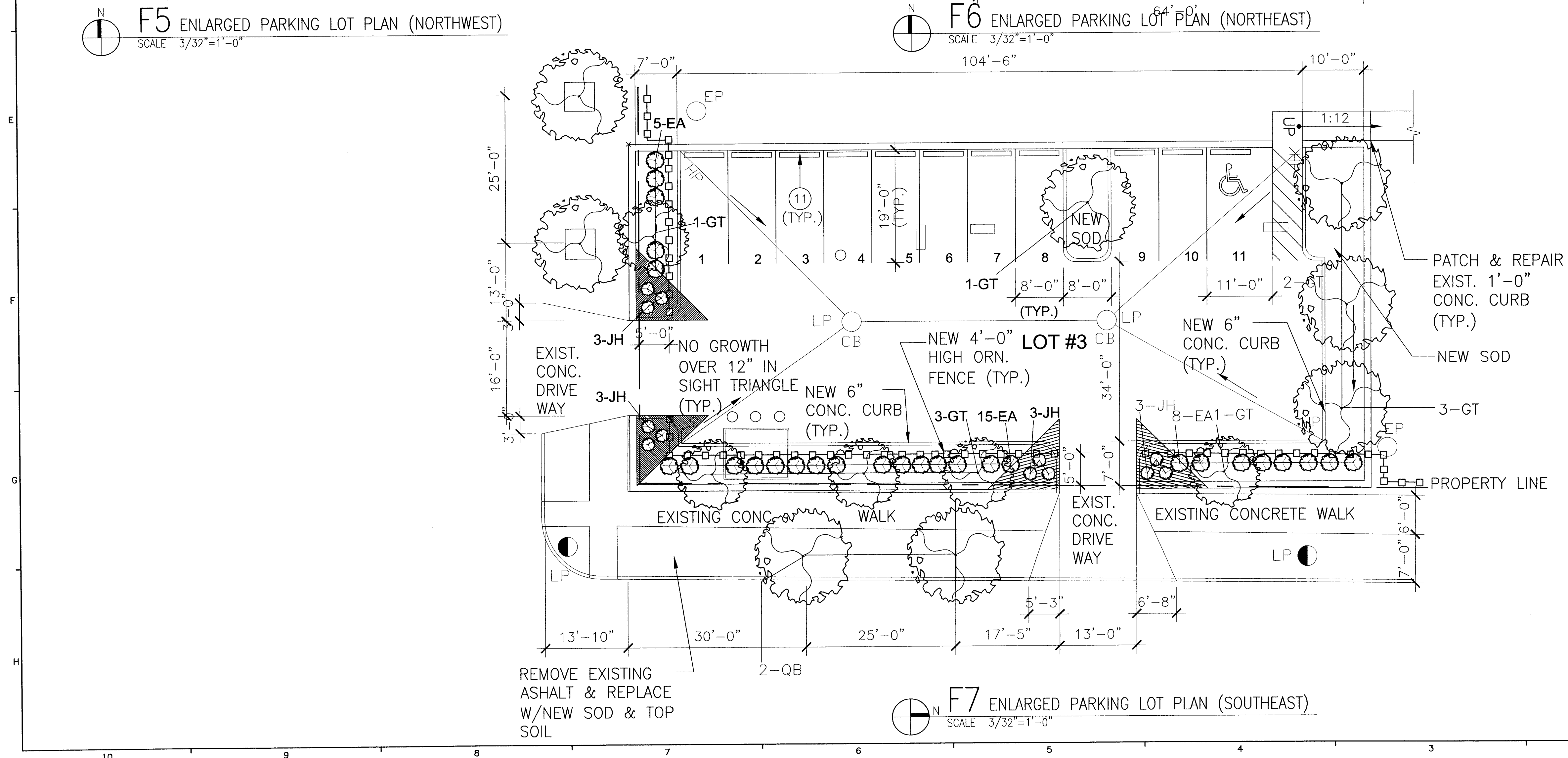
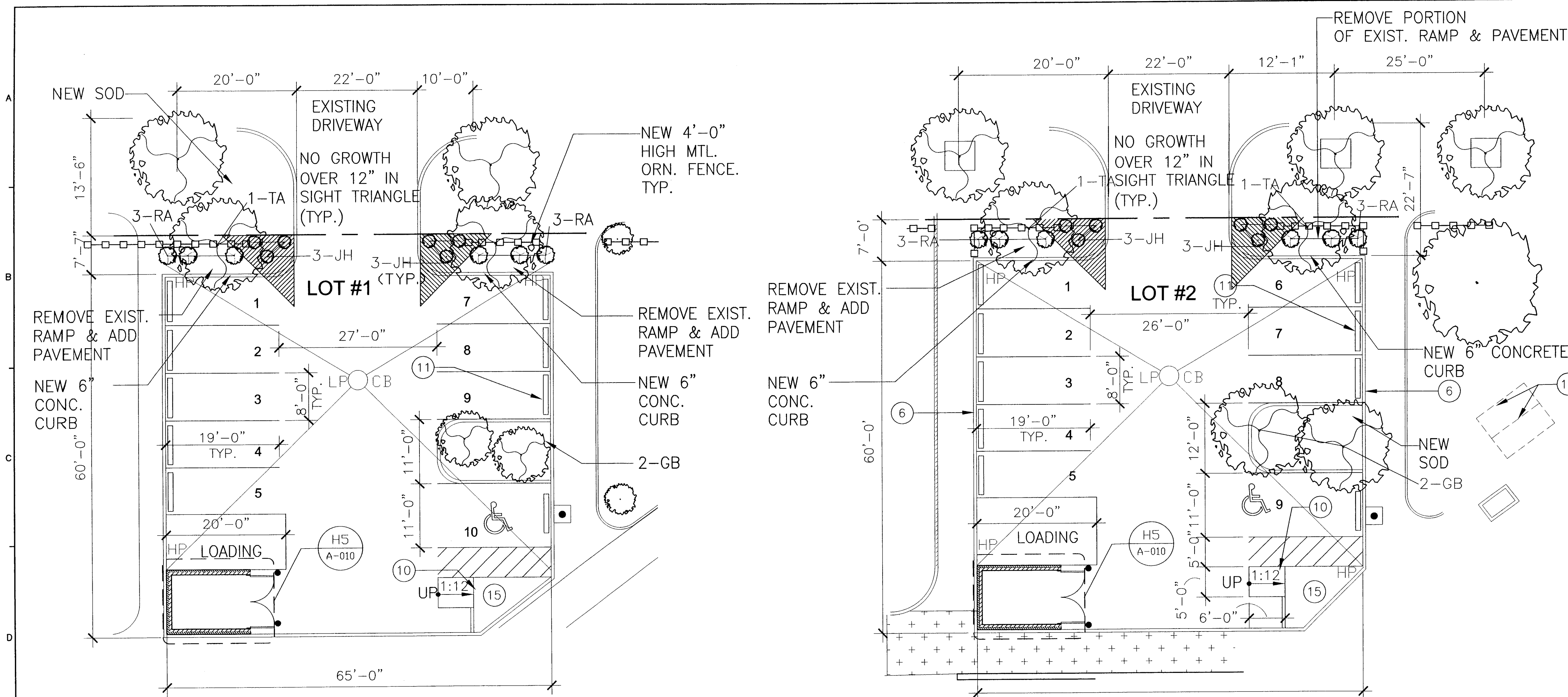


F5 ENLARGED PARKING LOT PLAN (NORTHWEST)
SCALE 3/32"=1'-0"

F6 ENLARGED PARKING LOT PLAN (NORTHEAST)
SCALE 3/32"=1'-0"

F7 ENLARGED PARKING LOT PLAN (SOUTHEAST)
SCALE 3/32"=1'-0"

VOID
9/9/05
EG



SITE PLAN KEY NOTES

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- NEW 8" DIA. CONC. FILLED BOLLARD
- H.C. (\$150.00 FINE) SIGN

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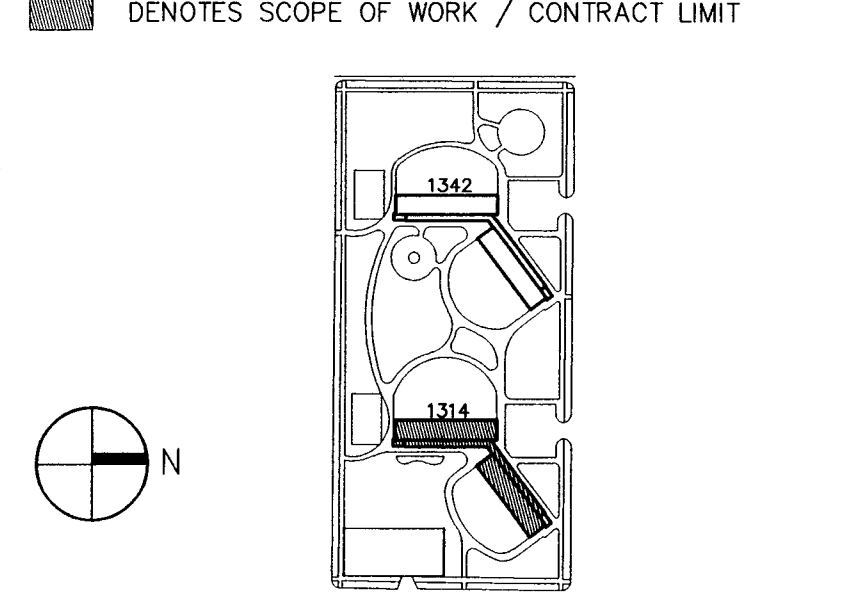
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General Notes

NOTE: FOR REFERENCE ONLY
SCOPE OF WORK ON
1314 BUILDING

Key Plan



NO.	DATE	DESCRIPTION	BY
6	8.31.05	ISSUED FOR PERMIT	
5	10.8.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

ENLARGED SITE/PARKING PLAN

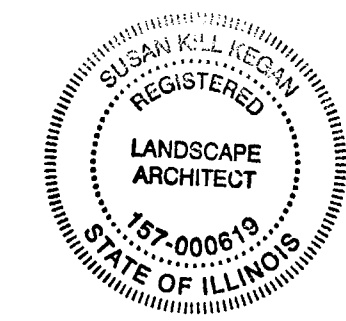
1314 WEST 15TH STREET
FAMILY DEVELOPMENT

DATE 10/08/04 SCALE 3/32"=1'-0" JOB NO. 2003005.01 SHEET NUMBER A-012

DRAWN KW CHECKED ECS APPROVED ECS

SEP 16 2005

RAFAEL HERNANDEZ
ARCHITECT



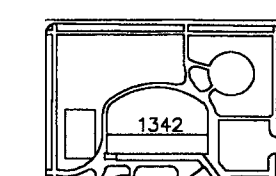
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General Notes

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT

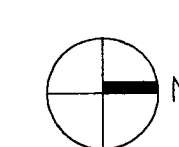


GENERAL NOTES

1. REMOVE ALL EXISTING FLOOR TILE AND ABATE AS REQUIRED. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH- SEE ROOM FINISH SCHEDULE.
2. REMOVE ALL DEBRIS AND EQUIPMENT TO BE REMOVED AND CLEAN ALL COMMON AND SUPPORT AREAS, INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES PER THE SPECIFICATIONS.
3. ALL PAINTED WALLS AND CEILINGS TO RECEIVE NEW PAINT. REPAIR WALLS AFTER ALL PATCHING/ CONSTRUCTION IS COMPLETE.
4. PROVIDE FIRESTOPPING AT PENETRATIONS WHERE REQUIRED.
5. REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.
6. PATCH AND REPAIR INTERIOR WALLS AND CEILINGS. RESTORE WALLS AND CEILING TO NEW CONDITION. PAINT ENTIRE ROOM WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. REPLACE EXISTING FLOORING WITH NEW. COLOR SELECTED BY ARCHITECT. TYPICAL FOR ALL UNITS AND ALL FLOORS.
7. REPLACE EXISTING REFRIGERATOR AND RANGE WITH NEW. TYPICAL FOR ALL UNITS AND ALL FLOORS.
8. REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.

KEY TO PLANS

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR



H3 BASEMENT PLAN
SCALE 1/8"=1'-0"

SCOPE OF WORK

THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

1. SELECTIVE SITE/INTERIOR APT. UNIT DEMOLITION COMMON AREA DEMOLITION TO ACCOMPLISH THE NEW WORK SHOWN.
2. PATCH, REPLACE, REPAIR AND/OR EXTEND PORTIONS OF EXISTING CONCRETE & ASPHALT PAVED AREAS WHERE SHOWN.
3. REPAVE AND STRIP EXISTING PARKING LOTS, PATCH CURBS AND ADD LOADING, AND TRASH AREAS WHERE SHOWN.
4. INSTALLATION OF NEW FENCES, LANDSCAPING AND PLAYGROUND EQUIP./SURFACING & REFURBISHING OF SIMILAR EXISTING AREAS.
5. REWORKING OF REMODELING OF AND ADDITIONS TO EXISTING BUILDING ENTRY LOBBIES, COMMON HALLWAY AREAS, GALLERIES, MANAGEMENT OFFICES, BASEMENTS AND MULTIPURPOSE AREAS.
6. REFURBISHING OF EXISTING AND INSTALLATION OF NEW ELEVATORS AND OR CONSTRUCTION OF EXISTING MASONRY ELEVATOR SHAFTS.
7. COMPLETE RENOVATION AND REMODELING OF INDIVIDUAL APARTMENT UNITS INCLUSIVE OF NEW KITCHEN CABINETS, APPLIANCES, AND KIT./BATH PLUMBING FIXTURES.
8. ADA MODIFICATIONS TO INTERIOR APT. UNITS, MANAGEMENT OFFICES AND SELECTIVE EXTERIOR LOCATIONS.
9. ALL BUILDING ROOFS ARE EXISTING, AND HAVE NO WORK SCHEDULED AS PART OF THIS WORK WITH THE EXCLUSION OF NEW ELEVATOR SHAFTS AND THEIR IMPACT ON EXISTING ROOF DRAINAGE.
10. NEW WORK INCLUDES NEW INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE, ALUMINUM STORE FRONT(S) ENTRIES, TILE, PAINTING, AND MISC. FINISHES.
11. NEW WORK INCLUDES NEW GLAZING SYSTEMS AT THE EXISTING WINDOW WELLS.

VOID
3/4/05

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General Notes

1. REMOVE ALL EXISTING FLOOR TILE AND ABATE 100%. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH—SEE ROOM FINISH SCHEDULE.

2. REMOVE ALL DEBRIS AND EQUIPMENT, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES.

3. PROVIDE FIRESTOPPING AT ALL PENETRATIONS BETWEEN UNIT FLOORS AND WHERE REQUIRED.

4. REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.

5. PATCH AND REPAIR INTERIOR WALLS AND CEILINGS, RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ALL WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. SEE SCHEDULE SHEET A-500.

6. ALL UNITS SHALL RECEIVE NEW VCT FLOORING, COLOR SELECTED BY ARCHITECT THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.

7. REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.

8. GC TO REMOVE KITCHEN APPLIANCES TO BE SALVAGED AND STORED PER THE OWNER'S DISPOSITION. ALL OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.

9. ALL EXISTING CEILING AND WALL MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS AND COORDINATE WITH ELECTRICAL DRAWINGS U.N.O.

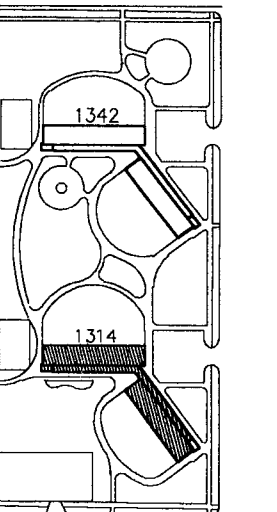
10. REMOVE ALL EXISTING METAL SECURITY DOORS AND HARDWARE. PREPARE SURFACES FOR NEW DOOR AND FENCES.

11. EXISTING WALLS AND DOORS TO BE REMOVED FOR INSTALLATION OF NEW LARGER DOORS AND MASONRY OPENINGS TYPICAL AT ALL ADA UNIT ENTRIES. NON ADA UNITS TO RECEIVE NEW DOOR AND FRAMES ONLY.

12. RAILINGS ON ALL STAIRS SHALL COMPLY WITH ADA CODE SEE SHEET A-500 FOR DETAIL.

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
5	10.8.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUB PREAPPLICATION	

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(312) 742 5500 FAX (312) 655-1105

BASEMENT PLAN

DATE 10/08/04	SCALE 1/8"=1'-0"	JOB NO. 2003005.01	SHEET NUMBER A-100
DRAWN GCF	CHECKED ECS	APPROVED ECS	HUD NUMBER RH-7

KEY TO PLANS

--- EXISTING PARTITION TO BE REMOVED
--- EXISTING PARTITION TO REMAIN
--- NEW PARTITION
--- EXISTING DOOR TO BE REMOVED
--- EXISTING DOOR TO REMAIN
--- NEW DOOR
PROVIDE AND INSTALL NEW DOOR FRAME AND HARDWARE. SEE DOOR SCHEDULE SHEET A-500.

GENERAL NOTES

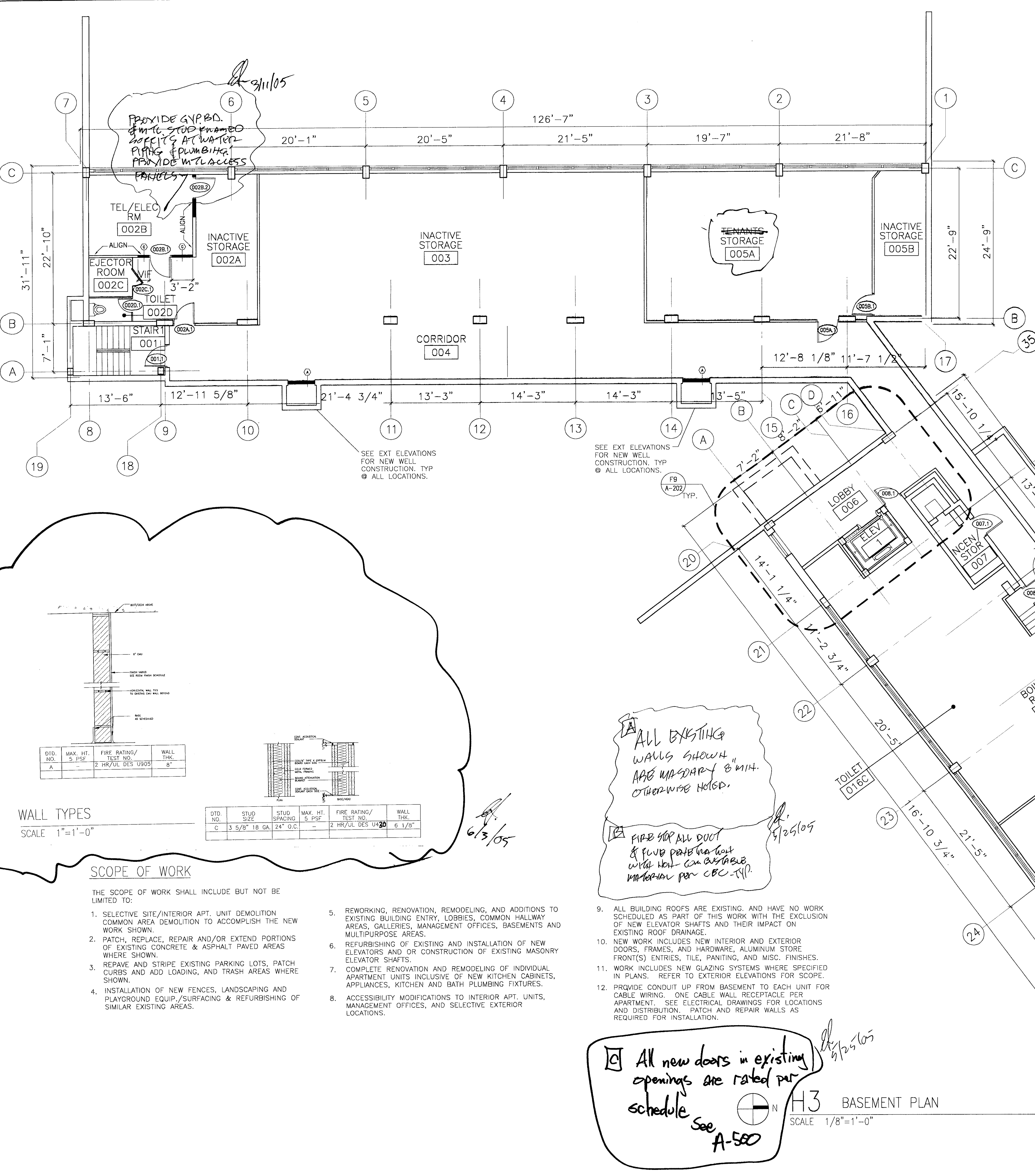
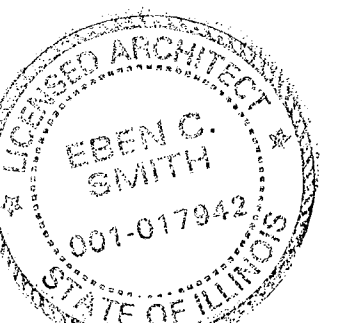
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3. PROVIDE FIRESTOPPING AT ALL PENETRATIONS BETWEEN UNIT FLOORS AND WHERE REQUIRED.
4. REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.
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H3 BASEMENT PLAN
SCALE 1/8"=1'-0"

ALL EXISTING WALLS SHOWN ARE MASONRY 8" MIN. OTHERWISE NOTED.

FIRE STOP ALL DOOR & FLOOR PENETRATIONS WITH 101-CONCRETE MATERIAL PER CBC-TYP.

All new doors in existing openings are rated per schedule See A-500



DTD. NO.	MAX. HT. 5' PSF	FIRE RATING/TEST NO.	WALL THK.
A	2	HR/UL DES U905	8"

WALL TYPES
SCALE 1"=1'-0"

DTD. NO.	STUD SIZE	STUD SPACING	MAX. HT. 5' PSF	FIRE RATING/TEST NO.	WALL THK.
C	3 5/8" 18 GA.	24" O.C.	2	HR/UL DES U920	6 1/8"

SCOPE OF WORK

THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

1. SELECTIVE SITE/INTERIOR APT. UNIT DEMOLITION COMMON AREA DEMOLITION TO ACCOMPLISH THE NEW WORK SHOWN.
2. PATCH, REPLACE, REPAIR AND/OR EXTEND PORTIONS OF EXISTING CONCRETE & ASPHALT PAVED AREAS WHERE SHOWN.
3. REPAVE AND STRIPE EXISTING PARKING LOTS, PATCH CURBS AND ADD LOADING, AND TRASH AREAS WHERE SHOWN.
4. INSTALLATION OF NEW FENCES, LANDSCAPING AND PLAYGROUND EQUIP./SURFACING & REFURBISHING OF SIMILAR EXISTING AREAS.
5. REWORKING, RENOVATION, REMODELING, AND ADDITIONS TO EXISTING BUILDING ENTRY, LOBBIES, COMMON HALLWAY AREAS, GALLERIES, MANAGEMENT OFFICES, BASEMENTS AND MULTIPURPOSE AREAS.
6. REFURBISHING OF EXISTING AND INSTALLATION OF NEW ELEVATORS AND OR CONSTRUCTION OF EXISTING MASONRY ELEVATOR SHAFTS.
7. COMPLETE RENOVATION AND REMODELING OF INDIVIDUAL APARTMENT UNITS INCLUSIVE OF NEW KITCHEN CABINETS, APPLIANCES, KITCHEN AND BATH PLUMBING FIXTURES.
8. ACCESSIBILITY MODIFICATIONS TO INTERIOR APT. UNITS, MANAGEMENT OFFICES, AND SELECTIVE EXTERIOR LOCATIONS.

9. ALL BUILDING ROOFS ARE EXISTING, AND HAVE NO WORK SCHEDULED AS PART OF THIS WORK WITH THE EXCLUSION OF NEW ELEVATOR SHAFTS AND THEIR IMPACT ON EXISTING ROOF DRAINAGE.
10. NEW WORK INCLUDES NEW INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE, ALUMINUM STORE FRONT(S) ENTRIES, TILE, PAINTING, AND MISC. FINISHES.
11. WORK INCLUDES NEW GLAZING SYSTEMS WHERE SPECIFIED IN PLANS. REFER TO EXTERIOR ELEVATIONS FOR SCOPE.
12. PROVIDE CONDUIT UP FROM BASEMENT TO EACH UNIT FOR CABLE WIRING. ONE CABLE WALL RECEPTACLE PER APARTMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DISTRIBUTION. PATCH AND REPAIR WALLS AS REQUIRED FOR INSTALLATION.

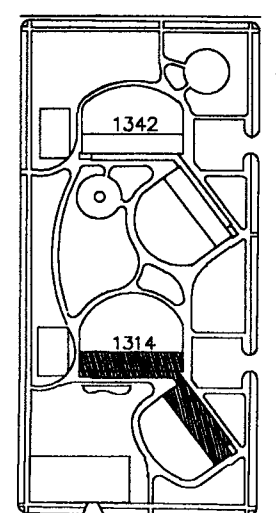
Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



4 | 09.07.04 | ISSUED FOR 100% CD REVIEW & PFRMIT

KEY TO PLANS

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW DOOR
- NEW WINDOW

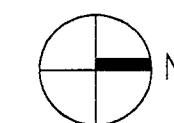
GENERAL NOTES

- REMOVE ALL EXISTING FLOOR TILE AND ABATE AS REQUIRED. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH- SEE ROOM FINISH SCHEDULE.
 - REMOVE ALL DEBRIS AND EQUIPMENT TO BE REMOVED, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES PER THE SPECIFICATION.
 - ALL PAINTED WALLS AND CEILINGS TO RECEIVE NEW PAINT. REPAINT WALLS AFTER ALL PATCHING/ CONSTRUCTION IS COMPLETE.
 - PROVIDE FIRESTOPPING AT PENETRATIONS WHERE REQUIRED.
 - REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.
 - PATCH AND REPAIR INTERIOR WALLS AND CEILINGS. RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ENTIRE ROOMS AND CEILING, COLOR AS SELECTED BY ARCHITECT. REPLACE EXISTING FLOORING WITH NEW. COLOR SELECTED BY ARCHITECT. TYPICAL FOR ALL UNITS AND ALL FLOORS.
 - REPLACE EXISTING REFRIGERATOR AND RANGE WITH NEW. TYPICAL FOR ALL UNITS AND ALL FLOORS.
- REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.

SCOPE OF WORK

THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

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- NEW WORK INCLUDES NEW INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE, ALUMINUM STORE FRONT(S) ENTRIES, TILE, PAINTING, AND MISC. FINISHES.



H3 GROUND FLOOR PLAN
SCALE 1/8"=1'-0"

VOLD
3/1/09

Bid Documents

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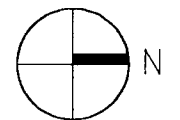
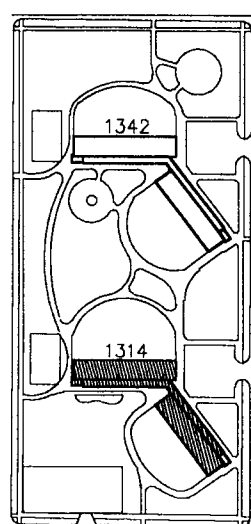
General Notes

REFER TO A-200 FOR ENLARGED UNIT PLANS AND A-201 FOR ENLARGED OFFICE PLAN.

PROVIDE 12" X 18" SIGNAGE @ EXIT DOORS BOLTED ON WALL TO INDICATE MAIN ENTRANCE FOR HANDICAP ACCESSIBILITY. REFER TO SHEET A-500, DOOR SCHEDULE AND SIGNAGE.

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
5	10.8.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

GROUND FLOOR PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT
HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
10/08/04	1/8"=1'-0"	2003005.01	A-101
DRAWN BWH	CHECKED ECS	APPROVED ECS	

KEY TO PLANS

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR
- PROVIDE AND INSTALL NEW DOOR, FRAME, AND HARDWARE. SEE DOOR SCHEDULE SHEET A-500.

GENERAL NOTES

- REMOVE ALL EXISTING FLOOR TILE AND ABATE 100%. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH-SEE ROOM FINISH SCHEDULE.
- REMOVE ALL DEBRIS AND EQUIPMENT, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES.
- PROVIDE FIRESTOPPING AT ALL PENETRATIONS BETWEEN UNIT FLOORS AND WHERE REQUIRED.
- REPLACE HOT AND COLD WATER DISTRIBUTION SYSTEMS, BOILER, HOT WATER HEAT RISERS AND RADIATORS, DOMESTIC HOT AND COLD WATER TANKS. SEE MECHANICAL DRAWINGS FOR DETAILS.
- PATCH AND REPAIR INTERIOR WALLS AND CEILINGS, RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ALL WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. SEE SCHEDULE.
- ALL UNITS SHALL RECEIVE NEW VCT FLOORING, COLOR SELECTED BY ARCHITECT THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
- REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.
- GC TO REMOVE KITCHEN APPLIANCES TO BE SALVAGED AND STORED PER THE OWNER'S DISPOSITION. ALL OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.
- ALL EXISTING CEILING AND WALL MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS AND COORDINATE WITH ELECTRICAL DRAWINGS U.N.O.
- REMOVE ALL EXISTING METAL SECURITY DOORS AND HARDWARE. PREPARE SURFACES FOR NEW DOOR AND FENCES.
- EXISTING WALLS AND DOORS TO BE REMOVED FOR INSTALLATION OF NEW LARGER DOORS AND MASONRY OPENINGS. TYPICAL AT ALL ADA UNIT ENTRIES. NON ADA UNITS TO RECEIVE NEW DOOR AND FRAMES ONLY.
- RAILINGS ON ALL STAIRS SHALL COMPLY WITH ADA CODE SEE SHEET A-500 FOR DETAIL.

Provide 12" x 18" signage @ exit doors bolted on wall to indicate main entrance for handicap accessibility
Refer to sheet A-500 - Door Schedule and Signage
Typical @ both stairs

A All existing walls shown are masonry 8" min. unless otherwise noted

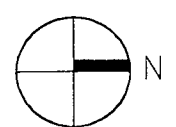
B Fire stop all duct & flue penetration w/ non combustible material per CRC - TYP

C All new doors in existing openings are rated per schedule. SEE A-500

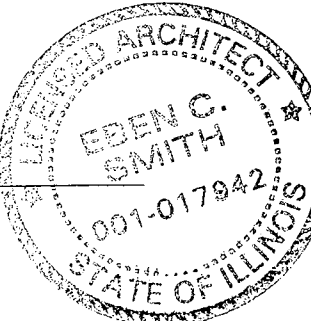
SCOPE OF WORK

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- WORK INCLUDES NEW GLAZING SYSTEMS WHERE SPECIFIED IN PLANS. REFER TO EXTERIOR ELEVATIONS FOR SCOPE.
- PROVIDE AND INSTALL NEW PRE-FABRICATED ALUMINUM ENCLOSURE AROUND ALL EXPOSED MECHANICAL HOT WATER RISERS AND RETURNS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COLOR TO MATCH ADJACENT WALL COLOR, AS SELECTED BY ARCHITECT.
- PROVIDE CONDUIT UP FROM BASEMENT TO EACH UNIT FOR CABLE WIRING. ONE CABLE WALL RECEPTACLE PER APARTMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DISTRIBUTION. PATCH AND REPAIR WALLS AS REQUIRED FOR INSTALLATION.



H3 GROUND FLOOR PLAN
SCALE 1/8"=1'-0"



Bid Documents

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General Notes

GENERAL NOTES

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2. REMOVE ALL DEBRIS AND EQUIPMENT TO BE REMOVED, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES PER THE SPECIFICATION.
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8. REMOVE ALL DEBRIS, OLD EQUIPMENT, UNUSED STORED ITEMS AND THOROUGHLY CLEAN ALL COMMON AND SUPPORT AREA INCLUDING STAIRWELLS, MECHANICAL ROOMS, BASEMENT, ETC.

KEY TO PLANS

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW DOOR
- NEW BI-FOLD DOOR
- NEW WINDOW

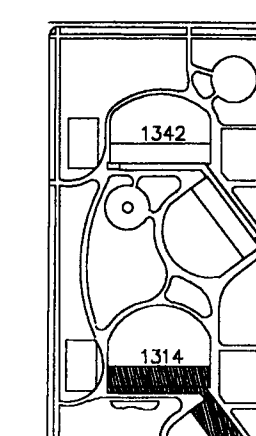
TYP. ACCESSIBLE @ 4TH FLOOR.
ADAPTABLE TYPICAL UNITS @ 1ST,
2ND, 3RD, 5TH, 6TH & 7TH FLOORS.
ALL OTHER UNITS VISITABLE.

SCOPE OF WORK

THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

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H3 TYPICAL FLOOR PLAN
SCALE 1/8"=1'-0"



Key Plan
DENOTES SCOPE OF WORK / CONTRACT LIMIT

VAD
3/4/05

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General Notes

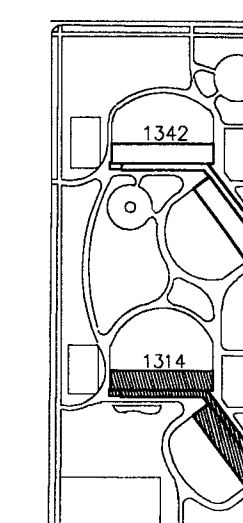
NOTES TO THE BIDDER

Design by Smith, Harding & Associates, Inc.
Architect
1314 West 15th Street
Chicago, IL 60604
SEP 16 2005

RAFAEL HERNANDEZ
Associate Director
BY: *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
5	10.8.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
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1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

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CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

TYPICAL (2nd-7th) FLOOR PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

DATE 10/08/04 SCALE JOB NO. 2003005.01 SHEET NUMBER
DRAWN BWH CHECKED ECS APPROVED ECS A-102

KEY TO PLANS

- EXISTING PARTITION TO BE REMOVED
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR
PROVIDE AND INSTALL NEW DOOR, FRAME, AND HARDWARE. SEE DOOR SCHEDULE SHEET A-500.

GENERAL NOTES

- REMOVE ALL EXISTING FLOOR TILE AND ABATE 100%. PREPARE FLOOR SUBSTRATE TO RECEIVE NEW FINISH-SEE ROOM FINISH SCHEDULE.
- REMOVE ALL DEBRIS AND EQUIPMENT, AND CLEAN ALL COMMON AND SUPPORT AREAS INCLUDING STAIRWELLS, HALLS, CLOSETS, MECHANICAL ROOMS AND GALLERIES.
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- PATCH AND REPAIR INTERIOR WALLS AND CEILINGS. RESTORE WALLS AND CEILING TO NEW CONDITION, PAINT ALL WALLS AND CEILING, COLOR AS SELECTED BY ARCHITECT. SEE SCHEDULE.
- ALL UNITS SHALL RECEIVE NEW VCT FLOORING, COLOR SELECTED BY ARCHITECT THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
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- REMOVE ALL EXISTING METAL SECURITY DOORS AND HARDWARE. PREPARE SURFACES FOR NEW DOOR AND FENCES.
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- RAILINGS ON ALL STAIRS SHALL COMPLY WITH ADA CODE SEE SHEET A-500 FOR DETAIL.

13. ALL EXIT STAIRS ARE EXIST.
(CHC.) NON-COMBUSTIBLE
TYPICAL

FOR ALL OTHER CONDITIONS
Refer to A-202.

VENTILATION SCHEDULE

RM NO.	FLOOR NAME	ROOM NAME	USE OF SPACE	SQUARE FOOTAGE	REQD. LIGHT 16% (SQ. FT.)	ACTUAL LIGHT SQFT. SEE NOTE 2	REQD. NV 4% (SQ. FT.)	ACTUAL NV (SQ. FT.)
08-1	FIRST FLOOR	OFFICE	OFFICE	160	12.8	30.87	6.4	10.01
08-2		OFFICE	OFFICE	118	9.44	21.12	4.72	10.56
08-3		OFFICE	OFFICE	118	9.44	30.87	4.72	10.01
08-4		MANAGEMENT OFFICE	OFFICE	159	12.72	21.12	6.36	10.56
08-5		STORAGE	STORAGE	41	-	12.25	-	6.12
08-6		BATH	TOILET ROOM	41	-	4.25	-	4.25
08-7		BATH	TOILET ROOM	40	-	4.25	-	4.25
08-9		KITCHEN	KITCHEN	105	8.4	24.50	4.2	12.25
01-1	FIRST FLOOR (2TH)	LOBBY	LOBBY	125	10	-	5	-
01-1	(SEE PLANS)	LIVING AREA	LIVING QUARTERS	185	14.8	60.88	7.4	20.70
01-2		BEDROOM #2	LIVING QUARTERS	119	9.52	21.12	4.76	10.56
01-3		BEDROOM #1	LIVING QUARTERS	117	9.36	21.12	4.68	10.56
01-4		BATH	TOILET ROOM	43	-	4.25	-	4.25
01-5		KITCHEN	KITCHEN	85	6.8	12.25	3.4	6.12
01-1	FIRST FLOOR (2TH)	LIVING AREA	LIVING QUARTERS	187	14.96	60.88	7.48	20.70
01-2	(SEE PLANS)	BEDROOM #2	LIVING QUARTERS	116	9.28	21.12	4.64	10.56
01-3		BEDROOM #1	LIVING QUARTERS	121	9.68	21.12	4.84	10.56
01-4		BATH	TOILET ROOM	38	-	4.25	-	4.25
01-5		KITCHEN	KITCHEN	87	6.96	12.25	3.48	6.12
02-1	(TYP. UNIT)	LIVING AREA	LIVING QUARTERS	159	12.72	30.87	6.36	10.01
02-2		BEDROOM #1	LIVING QUARTERS	118	9.44	21.12	4.72	10.56
02-3		BATH	TOILET ROOM	44	-	4.25	-	4.25
02-5		KITCHEN	KITCHEN	36	2.88	24.50	1.44	12.25
02-1	(TYP. UNIT)	LIVING AREA	LIVING QUARTERS	159	12.72	30.87	6.36	10.01
02-2		BEDROOM #1	LIVING QUARTERS	118	9.44	21.12	4.72	10.56
02-3		BATH	TOILET ROOM	44	-	4.25	-	4.25
02-5		KITCHEN	KITCHEN	36	2.88	24.50	1.44	12.25

SCOPE OF WORK

THE SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO:

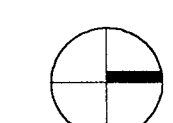
- SELECTIVE SITE/INTERIOR APT. UNIT DEMOLITION COMMON AREA DEMOLITION TO ACCOMPLISH THE NEW WORK SHOWN.
- PATCH, REPLACE, REPAIR AND/OR EXTEND PORTIONS OF EXISTING CONCRETE & ASPHALT PAVED AREAS WHERE SHOWN.
- REPAIR AND STRIKE EXISTING PARKING LOTS, PATCH CURBS AND ADD LOADING, AND TRASH AREAS WHERE SHOWN.
- INSTALLATION OF NEW FENCES, LANDSCAPING AND PLAYGROUND EQUIP./SURFACING & REFURBISHING OF SIMILAR EXISTING AREAS.
- REWORKING, RENOVATION, REMODELING, AND ADDITIONS TO EXISTING BUILDING ENTRY, LOBBIES, COMMON HALLWAY AREAS, GALLERIES, MANAGEMENT OFFICES, BASEMENTS AND MULTIPURPOSE AREAS.
- REFURBISHING OF EXISTING AND INSTALLATION OF NEW ELEVATORS AND OR CONSTRUCTION OF EXISTING MASONRY ELEVATOR SHAFTS.
- COMPLETE RENOVATION AND REMODELING OF INDIVIDUAL APARTMENT UNITS INCLUSIVE OF NEW KITCHEN CABINETS, APPLIANCES, KITCHEN AND BATH PLUMBING FIXTURES.
- ACCESSIBILITY MODIFICATIONS TO INTERIOR APT. UNITS, MANAGEMENT OFFICES, AND SELECTIVE EXTERIOR LOCATIONS.

- ALL BUILDING ROOFS ARE EXISTING. AND HAVE NO WORK SCHEDULED AS PART OF THIS WORK WITH THE EXCLUSION OF NEW ELEVATOR SHAFTS AND THEIR IMPACT ON EXISTING ROOF DRAINAGE.
- NEW WORK INCLUDES NEW INTERIOR AND EXTERIOR DOORS, FRAMES, AND HARDWARE, ALUMINUM STORE FRONT(S) ENTRIES, TILE, PANITING, AND MISC. FINISHES.
- WORK INCLUDES NEW GLAZING SYSTEMS WHERE SPECIFIED IN PLANS. REFER TO EXTERIOR ELEVATIONS FOR SCOPE.
- PROVIDE AND INSTALL NEW PRE-FABRICATED ALUMINUM ENCLOSURE AROUND ALL EXPOSED MECHANICAL HOT WATER RISERS AND RETURNS. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. COLOR TO MATCH ADJACENT WALL COLOR, AS SELECTED BY ARCHITECT.
- PROVIDE CONDUIT UP FROM BASEMENT TO EACH UNIT FOR CABLE WIRING. ONE CABLE WALL RECEPTACLE PER APARTMENT. SEE ELECTRICAL DRAWINGS FOR LOCATIONS AND DISTRIBUTION. PATCH AND REPAIR WALLS AS REQUIRED FOR INSTALLATION.

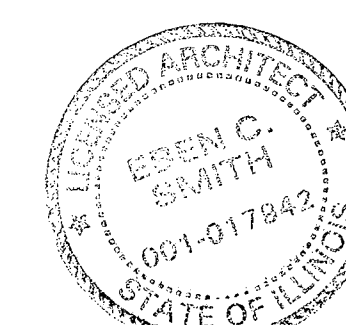
All new doors in existing openings are rated per schedule. SEE A-500

All existing walls shown are masonry 8" min unless otherwise noted.

Fire stop all ducts & flues Penetrations w/ non-combustible material per CBC - TYP



H3 TYPICAL FLOOR PLAN
SCALE 1/8"=1'-0"



Bid Documents

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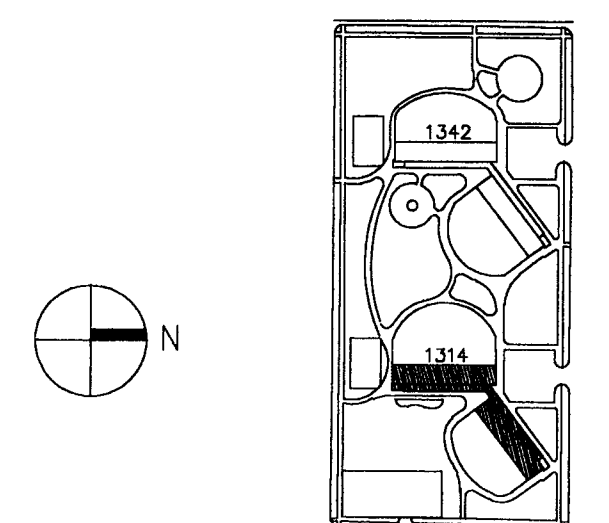
General Notes

APPROVED FOR THE CHICAGO HOUSING AUTHORITY
By: [Signature]
Date: 8/10/04
SFP 1.6 2005

RAFAEL HERNANDEZ
By: [Signature]

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

ENLARGED FLOOR PLANS

1314 WEST 15TH STREET FAMILY DEVELOPMENT			HUD NUMBER RH-7
DATE 8/10/04	SCALE 1/4"=1'-0"	JOB NO. 2003005.01	SHEET NUMBER A-200
DRAWN DG	CHECKED DAS	APPROVED PAH	SHT. 6 OF 10 SHTS.

KEY TO WALLS

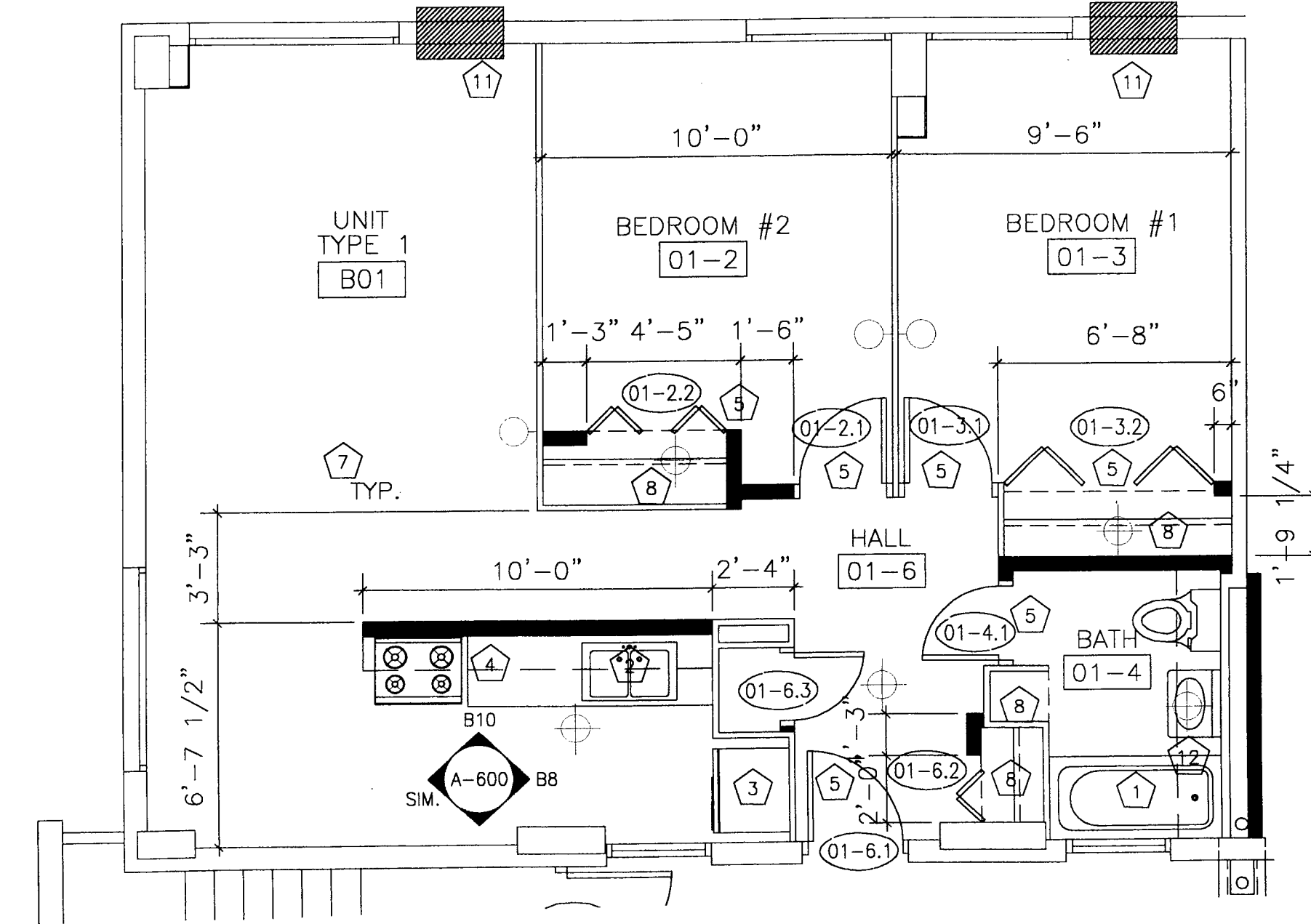
- == EXISTING PARTITION TO BE REMOVED IN ITS ENTIRETY.
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- ⌋ EXISTING DOOR TO BE REMOVED; REFINISH OR DEMOLISH— SEE ALTERATION KEY NOTES.
- ⌋ EXISTING DOOR TO REMAIN.
- ⌋ NEW DOOR.

ENLARGED UNIT FLOOR PLANS
GENERAL NOTES

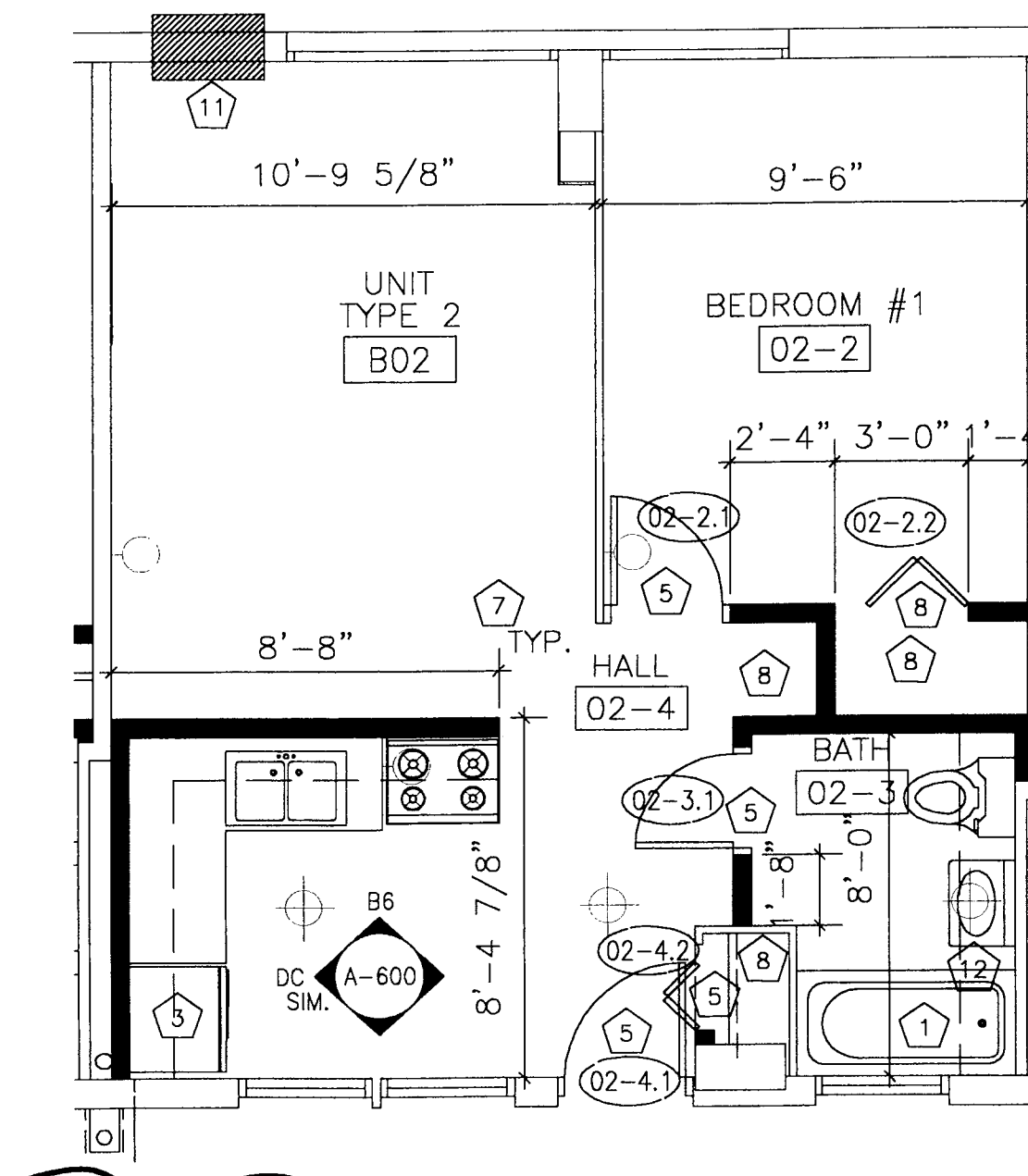
- ALL UNIT BATHROOMS SHALL RECEIVE NEW ACCESSORIES INCLUDING RECESSED MEDICINE CABINET WITH MIRROR, TOILET PAPER DISPENSER, TOWEL BARS AND ROBE HOOK.
- PER IAC, 20% OF RESIDENTIAL UNITS MUST BE ADAPTABLE FOR ACCESSIBILITY. BATHROOMS DESIGNATED "ADA" SHALL RECEIVE GRAB BARS AT WC AND BATHTUB.
- ALL UNITS SHALL RECEIVE NEW VCT FLOORING THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
- G.C. TO COORDINATE WITH OWNER KITCHEN APPLIANCES TO REMAIN. A TOTAL OF 75% OF REFRIGERATORS AND RANGES ARE TO BE REPLACED.
- ALL EXISTING CEILING-MOUNTED LIGHT FIXTURES SHALL BE REPLACED IN UNITS, U.N.O.
- INSTALL NEW GFCI OUTLETS IN KITCHENS AND BATHROOMS AS REQUIRED BY CHICAGO BUILDING CODE. SEE ELECTRICAL DRAWINGS.
- REPAIR PLASTER FINISHES AS INDICATED & WHERE DAMAGED. REPAINT WALLS & CEILINGS AFTER PATCHING/ CONSTRUCTION IS COMPLETE. —SEE ROOM FINISH SCHEDULE.

FLOOR PLAN KEY NOTES

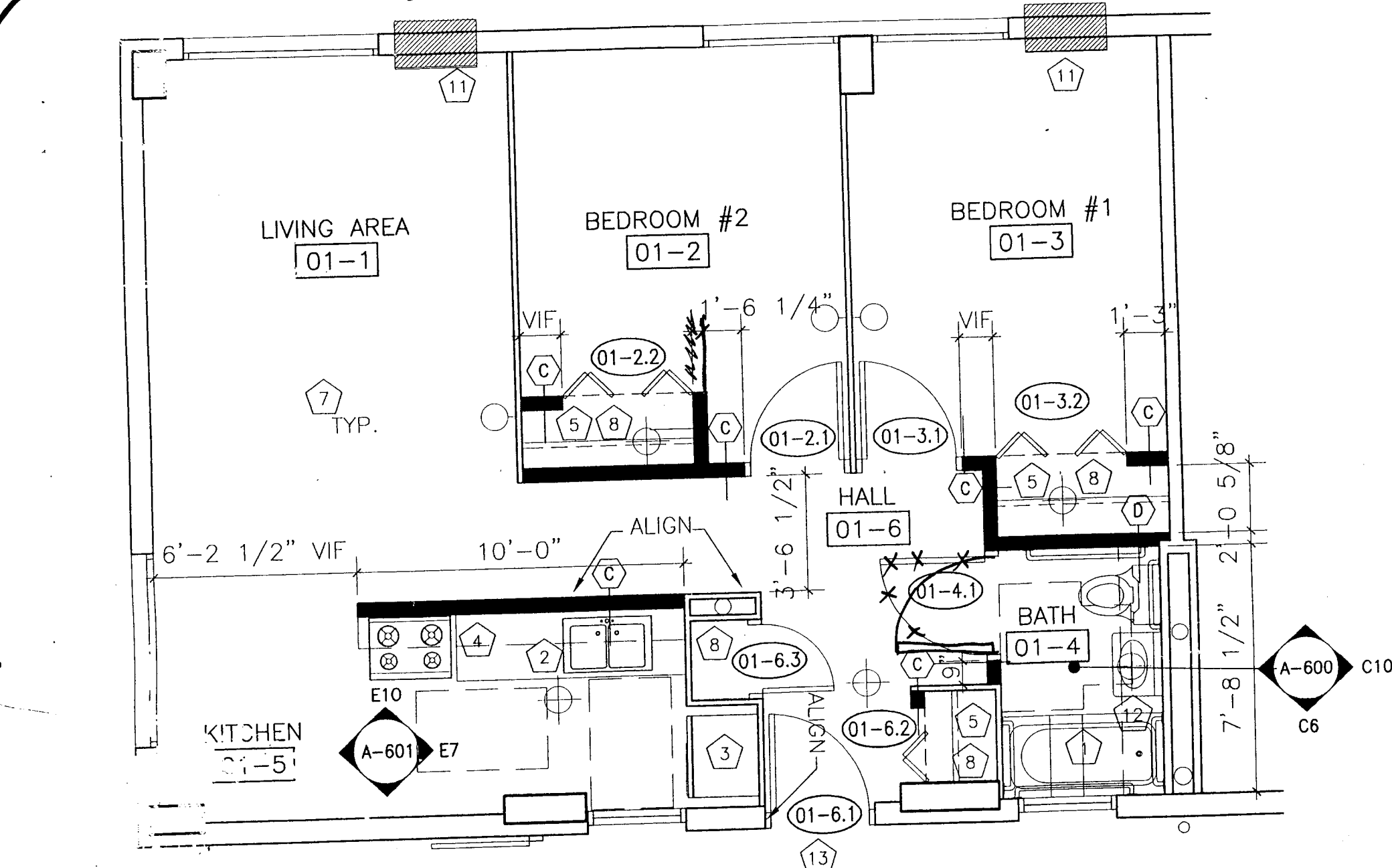
- INSTALL NEW TOILET, SINK, SHOWER AND TUB FIXTURES AND BATHROOM ACCESSORIES. REGLAZE EXISTING BATH TUB. SEE BATHROOM ELEVATIONS FOR SPECIFIC ACCESSORIES AND LOCATIONS.
- INSTALL NEW MILLWORK KITCHEN CABINETRY, PLAM COUNTERTOPS AND SST KITCHEN SINK AND FAUCET. WALL CABINETS TO RECEIVE UNDERMOUNT TASK LIGHTING. SEE REFLECTED CEILING PLANS AND LIGHT FIXTURE SCHEDULE.
- INSTALL NEW REFRIGERATOR, U.N.O. (75 % OF UNITS.)
- INSTALL NEW RANGE, U.N.O. (75% OF UNITS.) INSTALL NEW DUCT-FREE HOOD W/ INTEGRAL LIGHT BELOW UPPER CABINET (ALL UNITS).
- INSTALL NEW DOOR, HARDWARE AND HINGES.
- INSTALL NEW ADA COMPLIANT TOILET, SINK, GRAB BARS, ACCESSORIES, AND FAUCETS AS INDICATED ON BATHROOM ELEVATIONS. RELOCATE EXISTING BATHTUB AS SHOWN (ADA UNITS 'A AND B' ONLY) AND REGLAZE.
- INSTALL NEW VINYL COMPOSITION TILE
- NEW CLOSET HANGER ROD AND SHELF, TYP.
- INSTALL NEW DOOR, FRAME, HARDWARE AND HINGES.
- NEW ADJUSTABLE SHELVES BY CABINET MANUFACTURER
- INSTALL NEW THROUGH WALL AIR CONDITIONERS. SEE MECHANICAL DRAWINGS.
- PROVIDE AND INSTALL NEW DRYWALL AND METAL STUD SOFFIT.



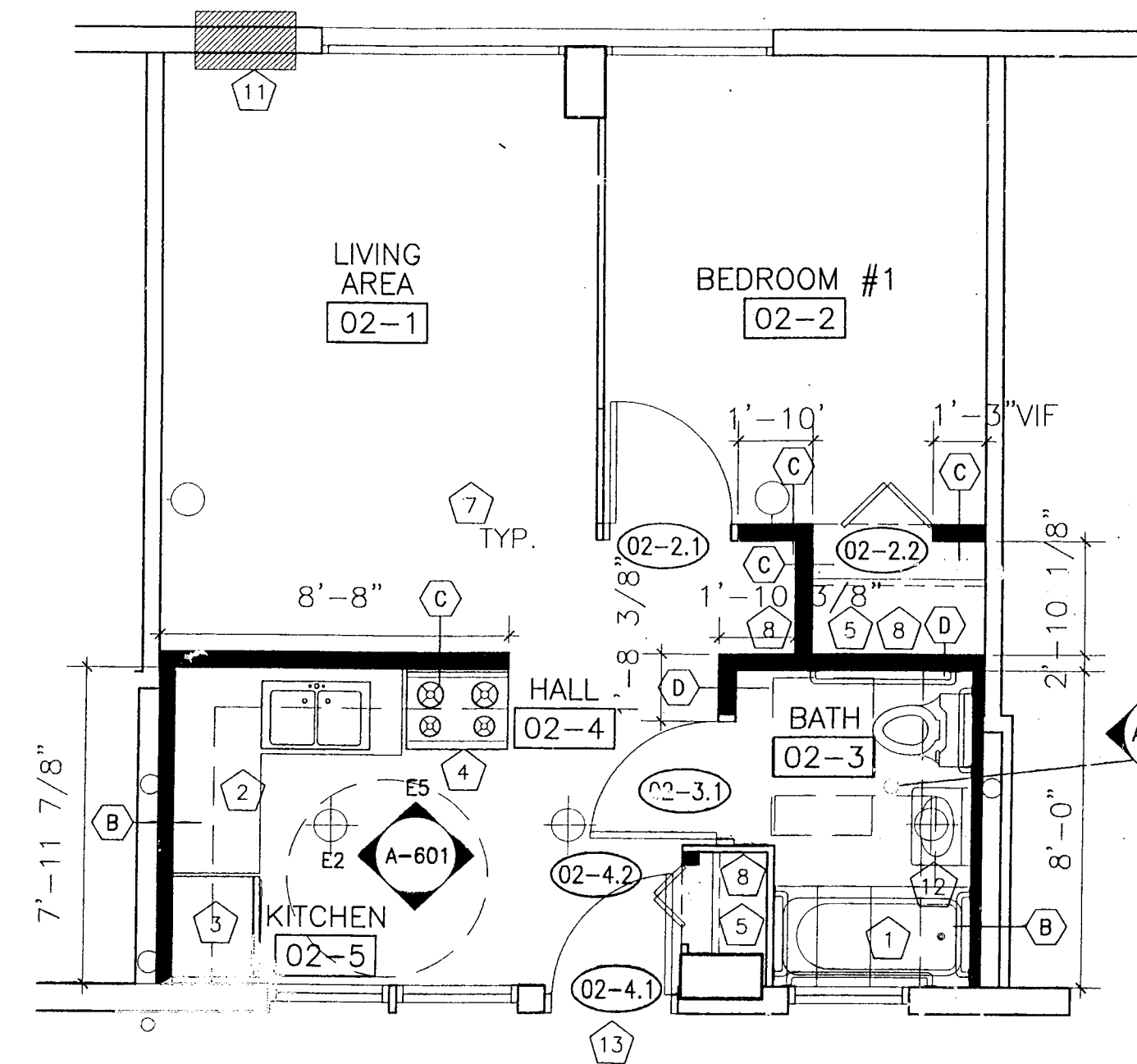
D10 TYP. ENLARGED TWO BEDROOM FLOOR PLAN
SCALE 1/4"=1'-0"



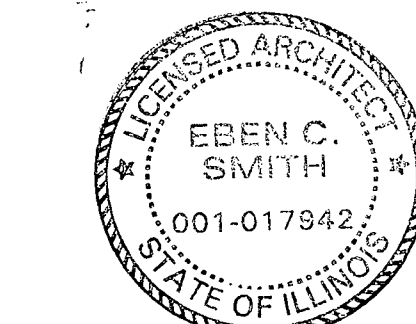
D5 TYP. ENLARGED ONE BEDROOM FLOOR PLAN
SCALE 1/4"=1'-0"

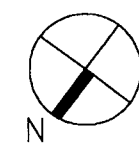
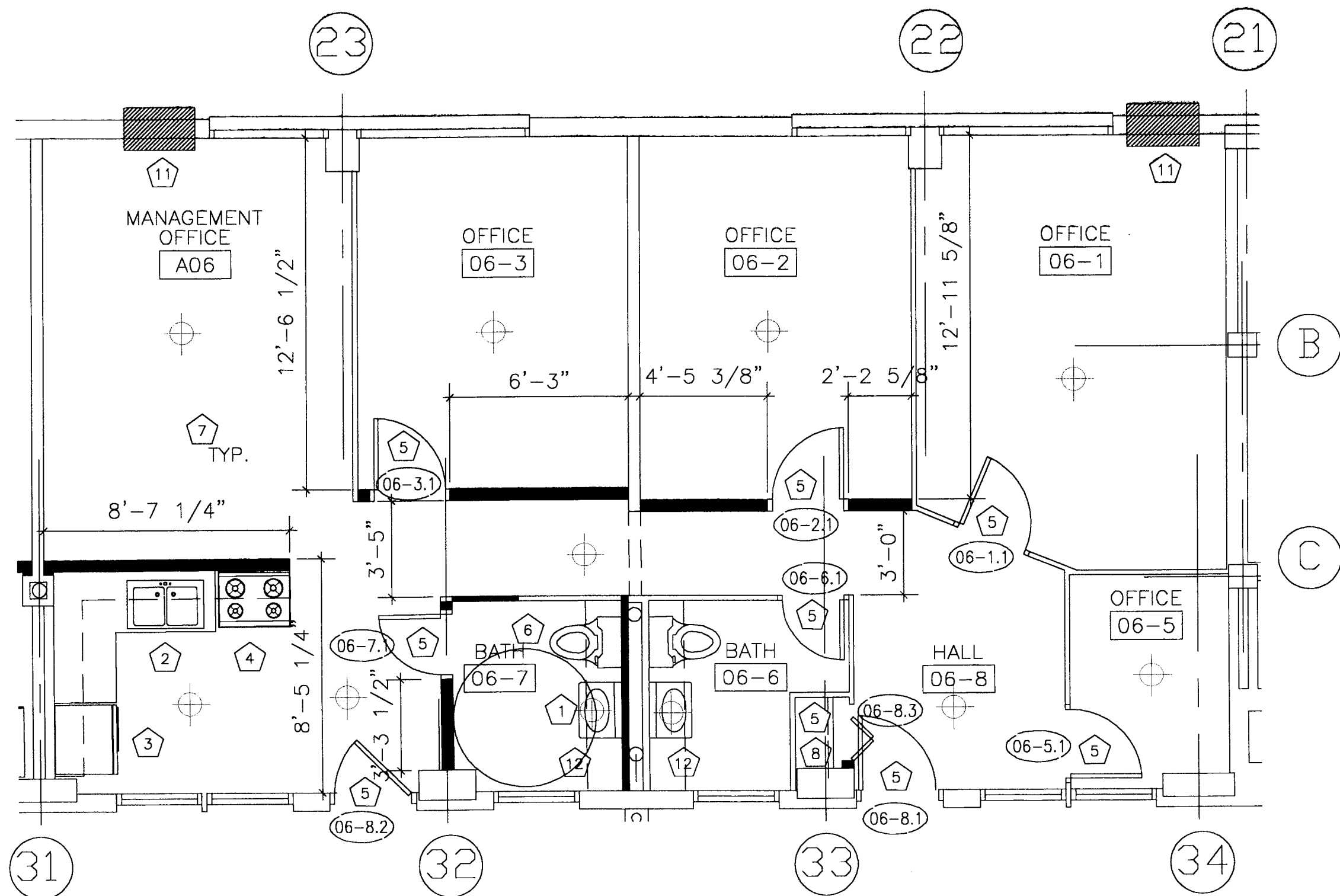


H9 ENLARGED TWO BEDROOM ACCESSIBLE/ADAPTABLE FLOOR PLAN
SCALE 1/4"=1'-0"



H5 ENLARGED ONE BEDROOM ACCESSIBLE/ADAPTABLE FLOOR PLAN
SCALE 1/4"=1'-0"





D9 MANAGMENT OFFICE ENLARGED FLOOR PLAN
SCALE 1/4"=1'-0"

KEY TO WALLS

- EXISTING PARTITION TO REMAIN
NEW PARTITION

ENLARGED UNIT FLOOR PLANS GENERAL NOTES

- ALL UNIT BATHROOMS SHALL RECEIVE NEW ACCESSORIES INCLUDING RECESSED MEDICINE CABINET WITH MIRROR, TOILET PAPER DISPENSER, TOWEL BARS AND ROBE HOOK.
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- ALL UNITS SHALL RECEIVE NEW VCT FLOORING THROUGHOUT. REMOVE ALL EXISTING FLOOR FINISHES AND ABATE AS REQUIRED. PREPARE CONCRETE SUBSTRATE TO RECEIVE NEW VCT.
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- INSTALL NEW GFCI OUTLETS IN KITCHENS AND BATHROOMS AS REQUIRED BY CHICAGO BUILDING CODE. SEE ELECTRICAL DRAWINGS.
- REPAIR PLASTER FINISHES AS INDICATED & WHERE DAMAGED. REPAINT WALLS & CEILINGS AFTER PATCHING/ CONSTRUCTION IS COMPLETE. -SEE ROOM FINISH SCHEDULE

FLOOR PLAN KEY NOTES

- INSTALL NEW TOILET, SINK, SHOWER AND TUB FIXTURES AND BATHROOM ACCESSORIES. REGLAZE EXISTING BATH TUB. SEE BATHROOM ELEVATIONS FOR SPECIFIC ACCESSORIES AND LOCATIONS.
- INSTALL NEW MILLWORK KITCHEN CABINETRY, PLAM COUNTERTOPS AND SST KITCHEN SINK AND FAUCET. WALL CABINETS TO RECEIVE UNDERMOUNT TASK LIGHTING. SEE REFLECTED CEILING PLANS AND LIGHT FIXTURE SCHEDULE.
- INSTALL NEW REFRIGERATOR, U.N.O. (75 % OF UNITS.)
- INSTALL NEW RANGE, U.N.O. (75% OF UNITS.) INSTALL NEW DUCT-FREE HOOD W/ INTEGRAL LIGHT BELOW UPPER CABINET (ALL UNITS).
- INSTALL NEW DOOR, HARDWARE AND HINGES.
- INSTALL NEW ADA COMPLIANT TOILET, SINK, GRAB BARS, ACCESSORIES, AND FAUCETS AS INDICATED ON BATHROOM ELEVATIONS. RELOCATE EXISTING BATHTUB AS SHOWN (ADA UNITS 'A AND B' ONLY) AND REGLAZE.
- INSTALL NEW VINYL COMPOSITION TILE
- NEW CLOSET HANGER ROD AND SHELF, TYP.
- INSTALL NEW DOOR, FRAME, HARDWARE AND HINGES.
- NEW ADJUSTABLE SHELVES BY CABINET MANUFACTURER
- INSTALL NEW THROUGH WALL AIR CONDITIONERS. SEE MECHANICAL DRAWINGS.
- PROVIDE AND INSTALL NEW DRYWALL AND METAL STUD SOFFIT.

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

Bid Documents

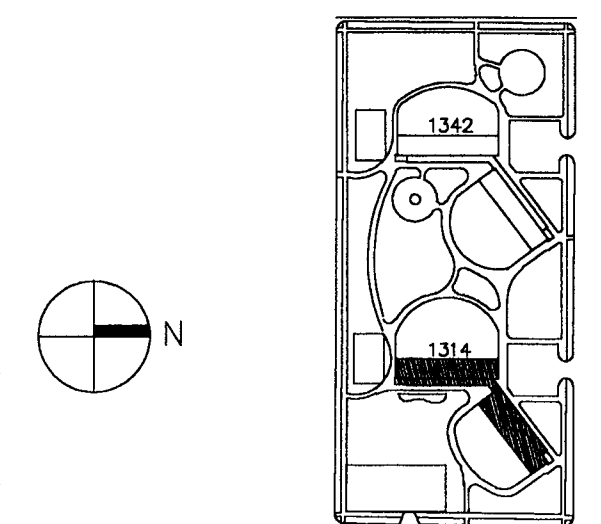
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General Notes

SEP 18 2005
RAFAEL HERNANDEZ
By: *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
628 W. JACKSON
CHICAGO, IL 60604

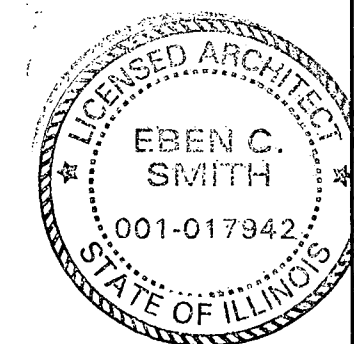
(312) 742 5500

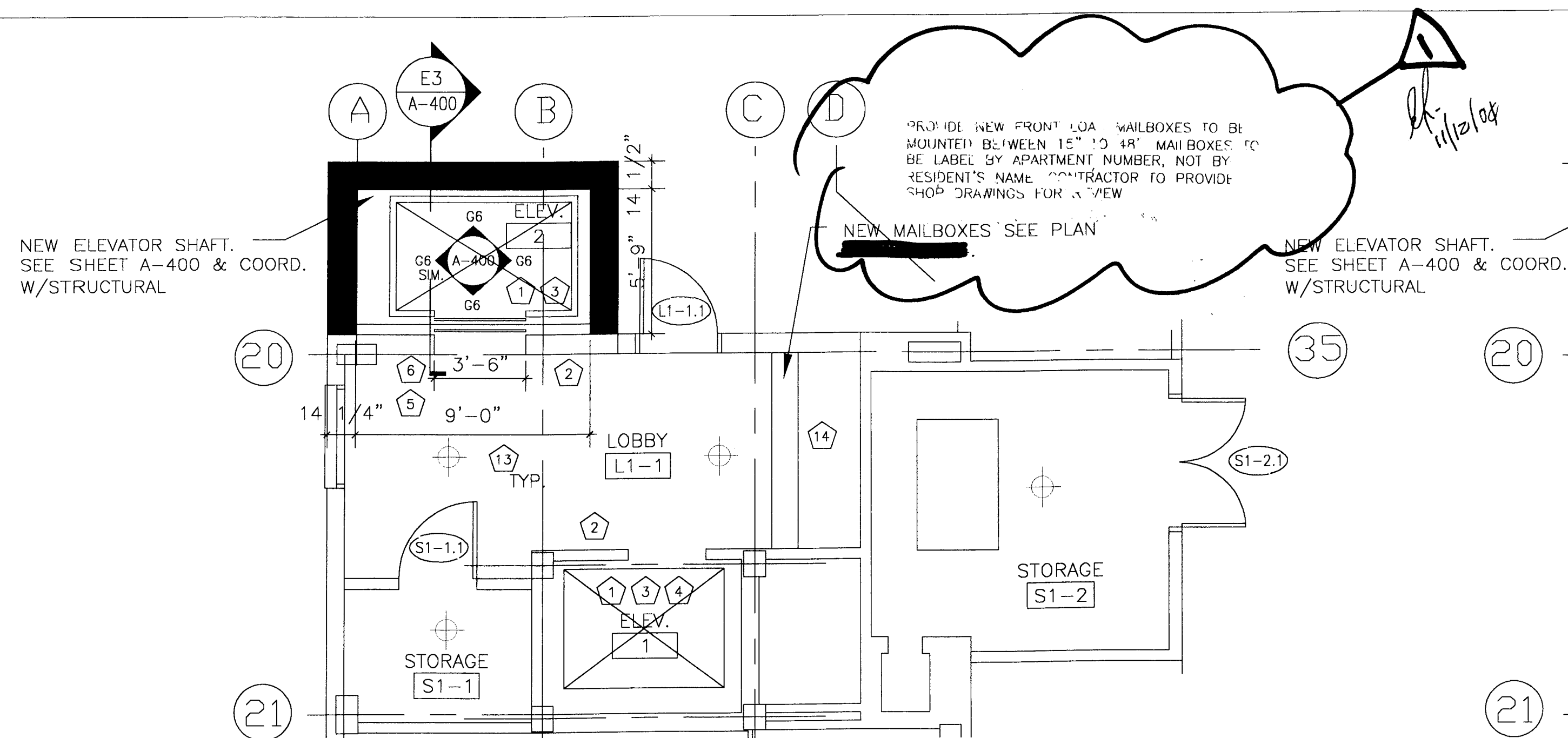
FAX (312) 655-1105

FIRST FLOOR KEY PLANS AND ENLARGED PLANS

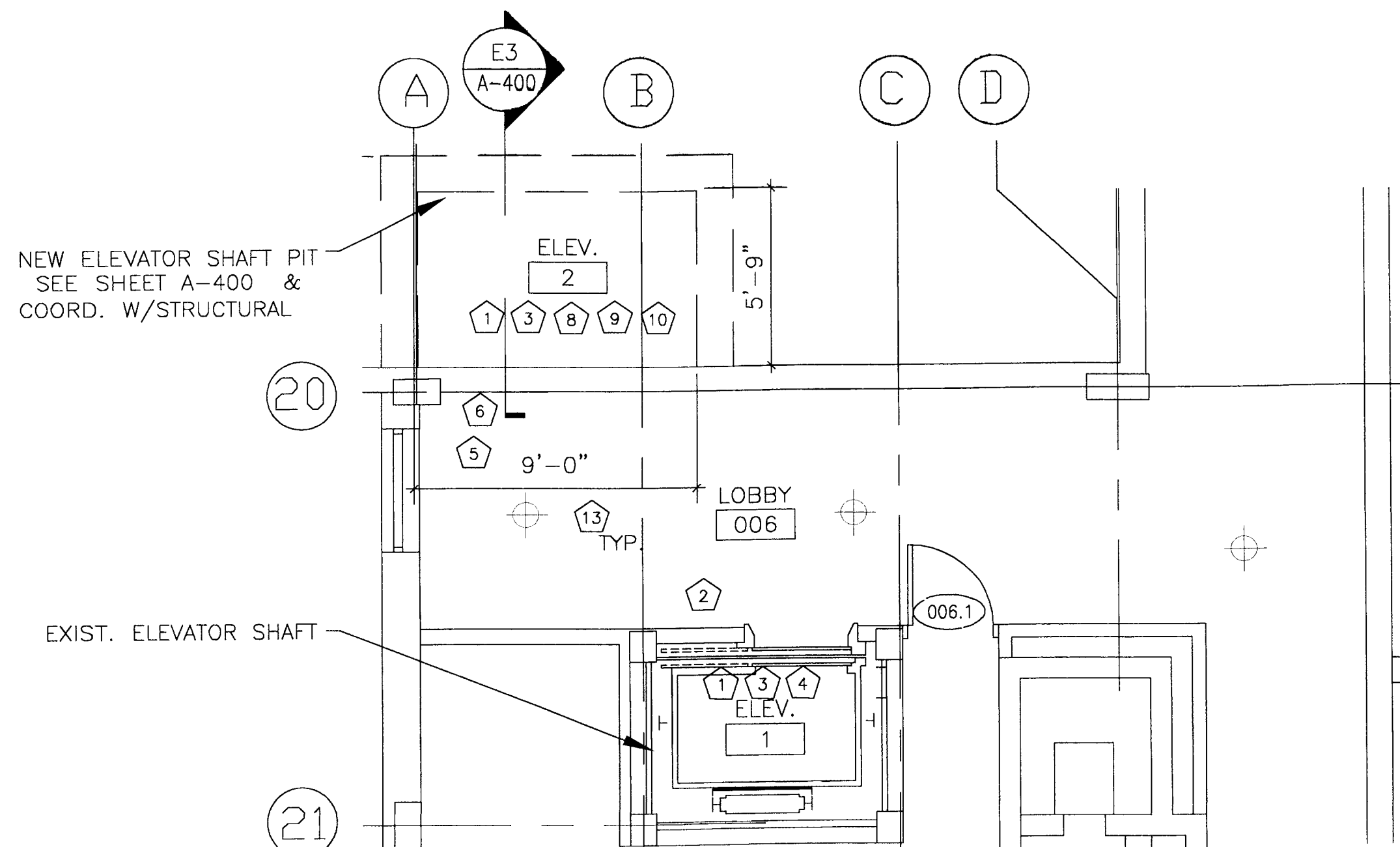
1314 WEST 15TH STREET HUD NUMBER
FAMILY DEVELOPMENT RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
8/10/04	VARIES	2003005.01	A-201
DRAWN BWH	CHECKED DAS	APPROVED PAH	SHT. 7 OF 10 SHTS.

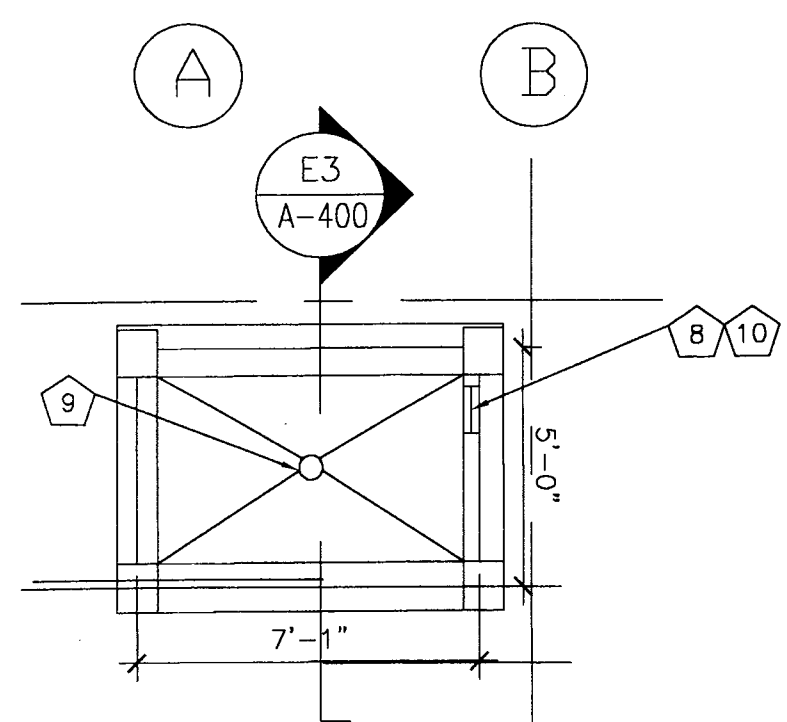




C9 GROUND FLOOR ELEV. LOBBY PLAN
SCALE 1/4"=1'-0"

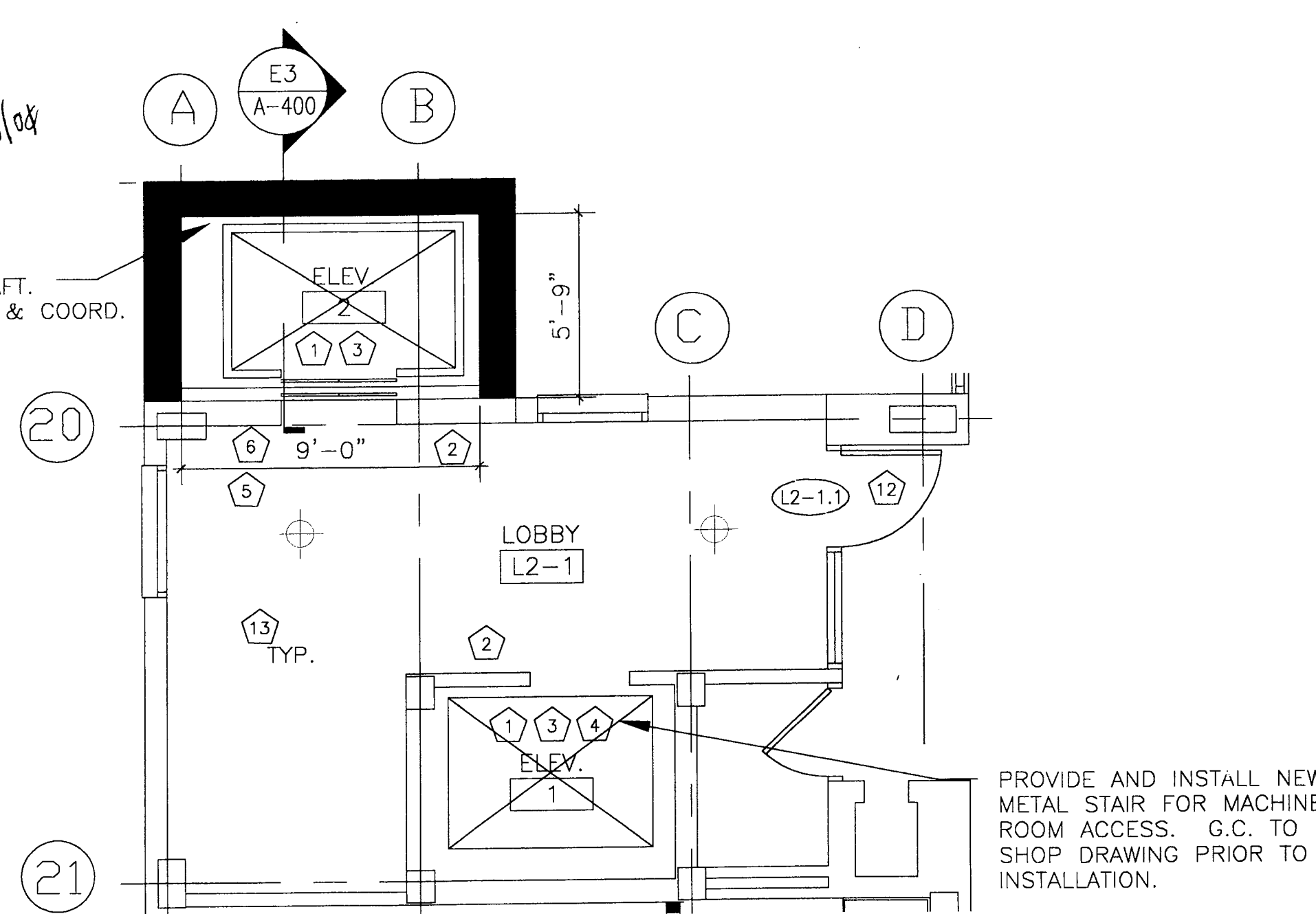


F9 EXIST. BASEMENT ELEV. LOBBY PLAN
SCALE 1/4"=1'-0"

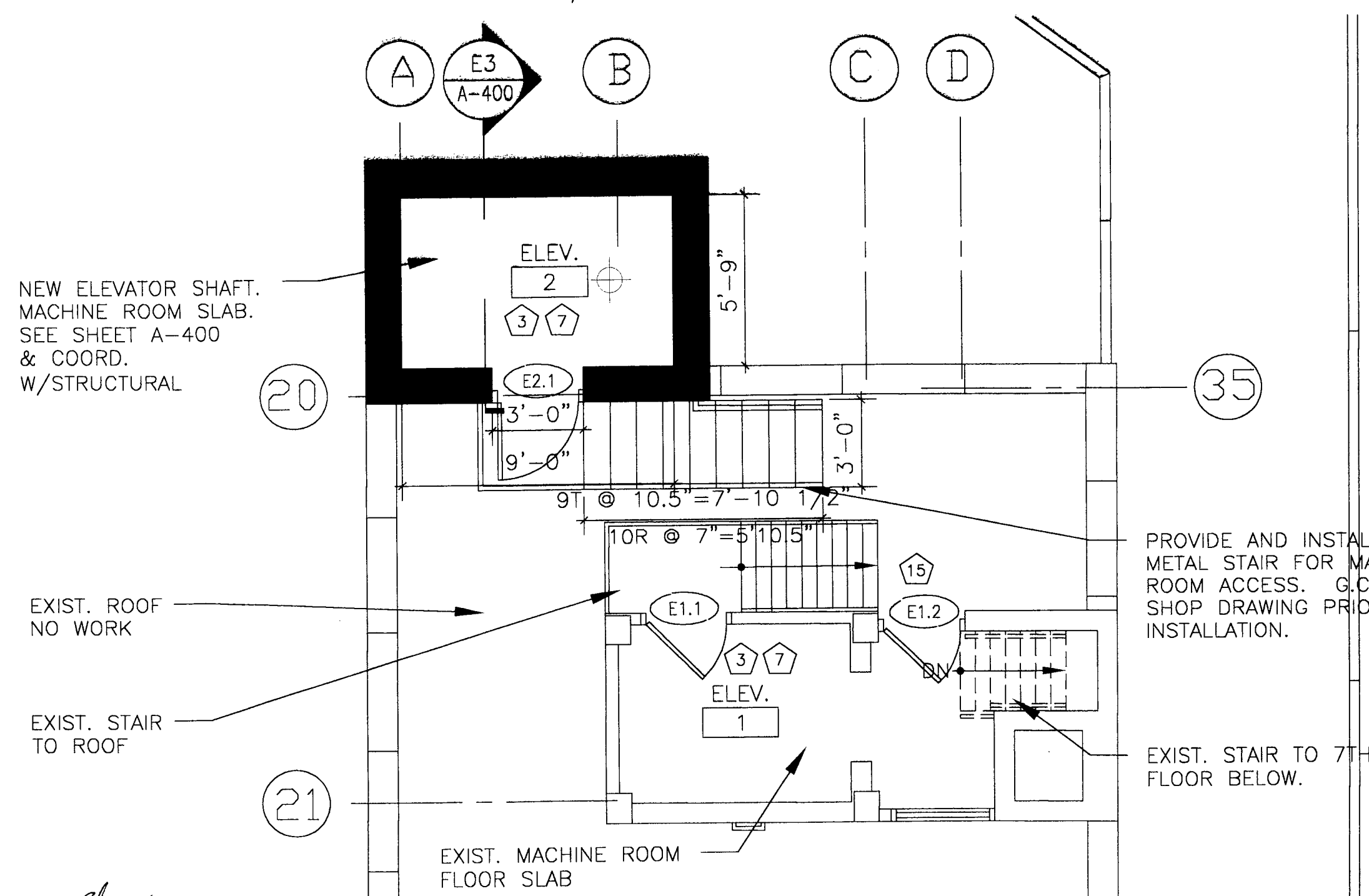


H9 EXIST. ELEVATOR PIT FLOOR PLAN
SCALE 1/4"=1'-0"

*ALL ELEVATOR
DOORS & FRAMES
SHALL BE "B" LABELED
1/2 HR RATED*



D5 TYP. FLOOR ELEV. LOBBY PLAN
SCALE 1/4"=1'-0"



F5 NEW MACHINE ROOM/EXIST. PENTHOUSE PLAN
SCALE 1/4"=1'-0"

PLAN KEY NOTES

- 1 PROVIDE NEW ELEVATOR CAB FINISHES AND EQUIPMENT INCLUDING PLASTIC LAMINATE PANELS, S.S. HANDRAILS, SUSPENDED CEILING, CALL PANEL, FLOOR INDICATOR, ETC. SEE SPEC. FOR EXACT FINISHES REQUIRED. *PROVIDE B' CASE*
- 2 PROVIDE S.S. HALL CALL STATION PANEL AND HANDICAP SIGNAGE AT ALL FLOORS. PROVIDE STATUS PANEL AT LOBBY LEVEL. COORD. WITH ELEC. DWGS
- 3 PROVIDE NEW ELEVATOR HOIST AND ASSOCIATED EQUIPMENT.
- 4 PROVIDE NEW ST. STL. PAINTED DOOR PANEL. SEE SPEC.
- 5 PAINT ADJACENT WALL AREA SURROUNDING NEW WORK.
- 6 PATCH FLOOR WHERE DAMAGED BY ELEVATOR INSTALLATION WORK.
- 7 PROVIDE NEW CAB SUPPORTS AND ASSOCIATED EQUIPMENT.
- 8 PROVIDE NEW METAL LADDER IN ELEVATOR PIT.
- 9 PROVIDE NEW SUMP PUMP AND OTHER ASSOCIATED EQUIPMENT. COORDINATE W/ MEP DRAWINGS.
- 10 PROVIDE NEW LIGHT FIXTURES AND ELECTRICAL OUTLETS IN ELEVATOR PIT. SEE ELECTRICAL DRAWINGS.
- 11 PROVIDE FURRED OUT WALL ASSEMBLY WITH 1 1/2" MTL. STUD AND TWO LAYERS OF 5/8" DRYWALL. PAINT WALL TO MATCH ADJACENT WALL COLOR.
- 12 PROVIDE NEW STORE FRONT DOOR IN LOBBY ON ALL TYPICAL FLOORS. SEE DOOR SCHEDULE, SHEET A-500.
- 13 INSTALL NEW VINYL COMPOSITION TILE IN ALL LOBBIES.
- 14 PROVIDE AND INSTALL (1) 28 FRONT LOADING (28-1/4"x40-3/4"x16-1/2"D) AND (1) 35 FRONT LOADING (35-3/4"x40-3/4"x16-1/2"D) 3600 SERIES MAILBOX AS MANUFACTURED BY SALSBUURY OR EQUAL. G.C. TO PROVIDE SHOP PRIOR TO INSTALLATION
- 15 STRIP, SAND, & PAINT EXISTING STAIRS OF EXISTING MACHINE ROOM.

CHANGE.
CHICAGO HOUSING AUTHORITY

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Capital Improvement Program
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Suite 245
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Bid Documents

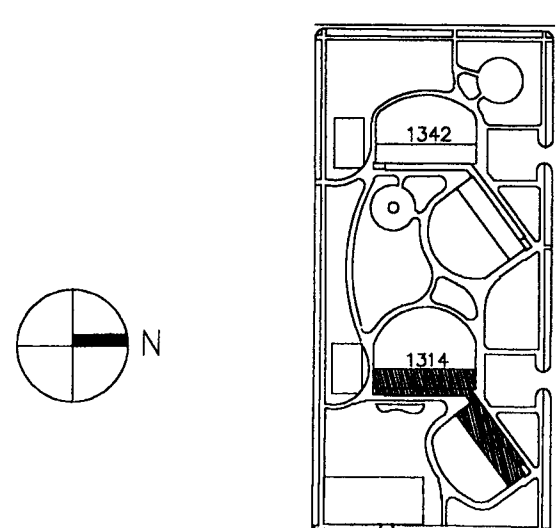
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General Notes

SEP 16 2005
RAFAEL HERNANDEZ
BY: *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



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3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

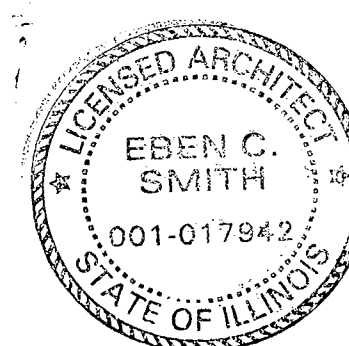
CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

FIRST FLOOR KEY PLANS AND ENLARGED PLANS

1314 WEST 15TH STREET
FAMILY DEVELOPMENT
HUD NUMBER RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
8/10/04	VARIES	2003005.01	A-202
DRAWN	CHECKED	APPROVED	SHT. 7 OF 10 SHTS.
BWH	DAS	PAH	



Bid Documents

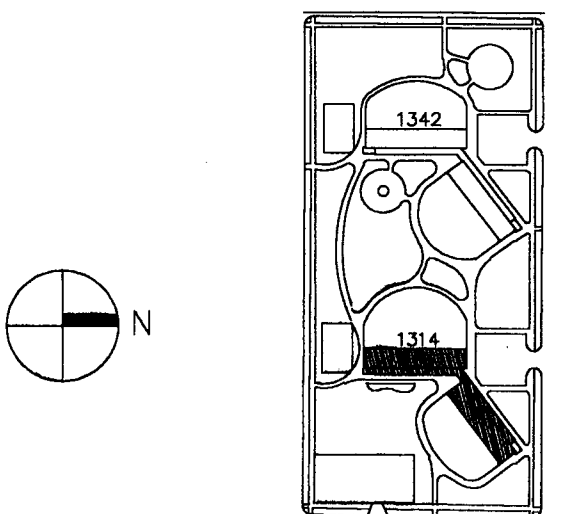
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General Notes

SEPT 18 2003
RAFAEL HERNANDEZ
BY: *[Signature]*

Key Plan

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CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

EAST WING ELEVATIONS

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
8/10/04	1/8"=1'-0"	2003005.01	A-300
DRAWN DG	CHECKED BWS	APPROVED EWH	SHT. OF SHTS.

NEW ELEVATOR
SHAFT
w/MACHINE
ROOM. SEE
SHEET A-400 &
COORD.
W/STRUCTURAL

NEW 42" HIGH
GUARD RAIL TO
BE INSTALLED
ON ALL TYP.
FLOORS.

PATCH/REPAIR
ALL CONC.
RETAINING WALLS
TYP.

D10 EAST WING-- EAST ELEVATION

SCALE 1/8"=1'-0"

T/ ELEVATOR SHAFT ROOF
EL: (+) 75'-1"

B/ MACHINE ROOM FLOOR
EL: (+) 66'-5"

T/ ROOF LINE
EL: (+) 60'-7"

B/ 7TH FLOOR
EL: (+) 52'-0"

B/ 6TH FLOOR
EL: (+) 43'-5"

B/ 5TH FLOOR
EL: (+) 34'-10"

B/ 4TH FLOOR
EL: (+) 26'-3"

B/ 3RD FLOOR
EL: (+) 17'-8"

B/ 2ND FLOOR
EL: (+) 9'-1"

B/ 1ST FLOOR
EL: (+) 0'-6"

NEW ELEVATOR
SHAFT
w/MACHINE
ROOM. SEE
SHEET A-400
& COORD.
W/STRUCTURAL

T/ ELEVATOR SHAFT ROOF
EL: (+) 75'-1"

B/ MACHINE ROOM FLOOR
EL: (+) 66'-5"

T/ ROOF LINE
EL: (+) 60'-7"

AIR CONDITIONING
GRILLE-- TYPICAL
IN NEW OPENING

B/ 7TH FLOOR
EL: (+) 52'-0"

B/ 6TH FLOOR
EL: (+) 43'-5"

B/ 5TH FLOOR
EL: (+) 34'-10"

B/ 4TH FLOOR
EL: (+) 26'-3"

B/ 3RD FLOOR
EL: (+) 17'-8"

B/ 2ND FLOOR
EL: (+) 9'-1"

B/ 1ST FLOOR
EL: (+) 0'-6"

PATCH/REPAIR
ALL CONC.
RETAINING WALLS
TYP.

ALTERNATE BRICK
COLOR TO
ACCENT FLOOR
LINES. TYP.

NEW METAL
STAIR FOR
ACCESS TO NEW
MACHINE ROOM.

REMOVE EXIST.
LOUVER WINDOW
AT AREA WAY.
FILL IN
CONCRETE OPNG.
W/8" CMU TYP.
@ ALL
CONDITIONS.

D3 EAST WING-- NORTH ELEVATION

SCALE 1/8"=1'-0"

NOTES ON THIS ELEVATION
APPLY TO ALL ELEVATIONS
UNLESS NOTED OTHERWISE

EXIST. GRILLS
TO REMAIN

3/4/05

H2
A-400 TYP.

EXIST. WINDOWS
TYP.

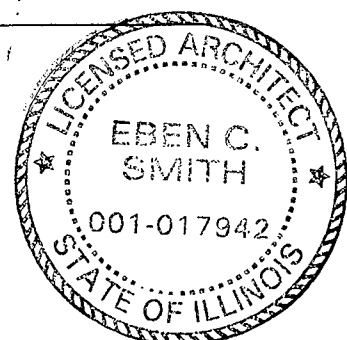
EXIST. BRICK
MASONRY TYP.

H10 EAST WING-- WEST ELEVATION

SCALE 1/8"=1'-0"

H3 EAST WING-- SOUTH ELEVATION

SCALE 1/8"=1'-0"



Bid Documents

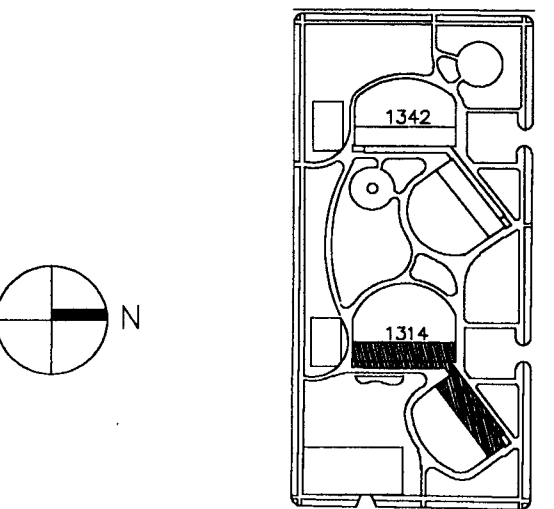
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General Notes

VERIFIED BY: [Signature]
DATE: SEP 16 2005

RAFAEL HERNANDEZ
Designer (05/05)

Key Plan
DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

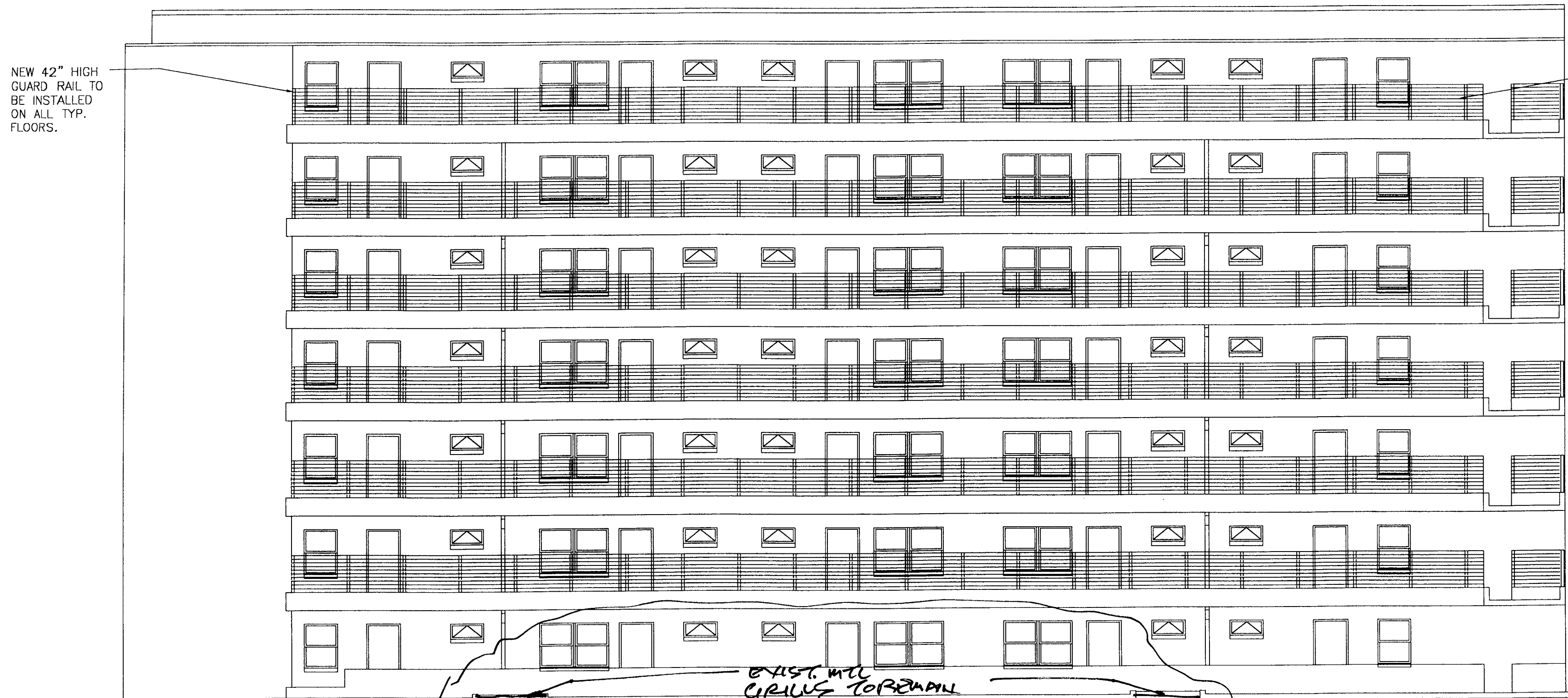
CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 N. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

WEST WING ELEVATIONS

1314 WEST 15TH STREET
FAMILY DEVELOPMENT
HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
10/04	1/8"=1'-0"	2003005.01	A-301
DRAWN DG	CHECKED DAS	APPROVED PAH	SHT. 9 OF 10 SHTS.



D10 WEST WING— EAST ELEVATION
SCALE 1/8"=1'-0"

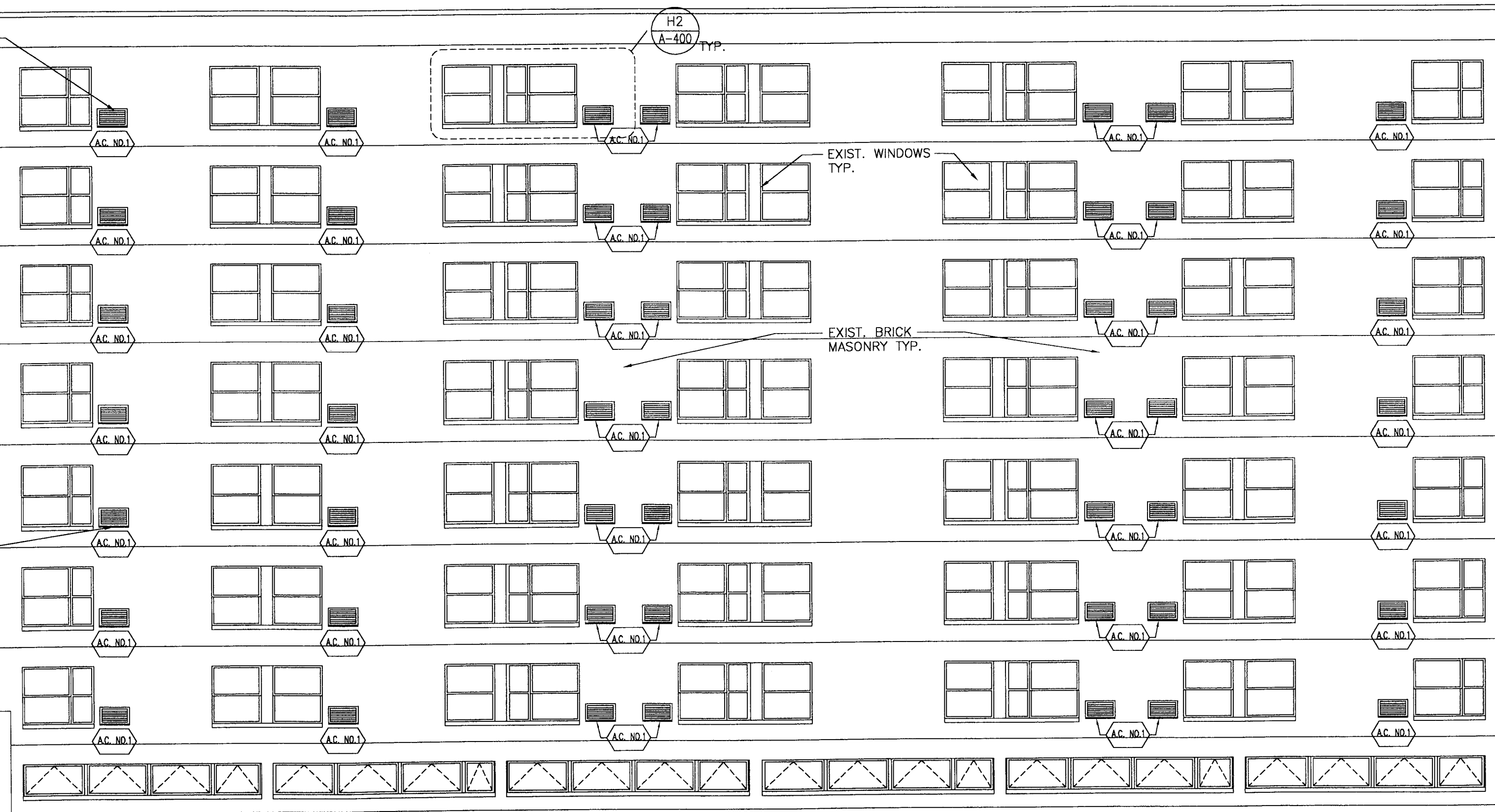
NOTES ON THIS ELEVATION
APPLY TO ALL ELEVATIONS
UNLESS NOTED OTHERWISE

REMOVE EXIST.
LOUVER WINDOW
AT AREA WAY.
FILL IN
CONCRETE OPNG.
W/8" CMU TYP.
ALL
CONDITIONS.

3/4/05

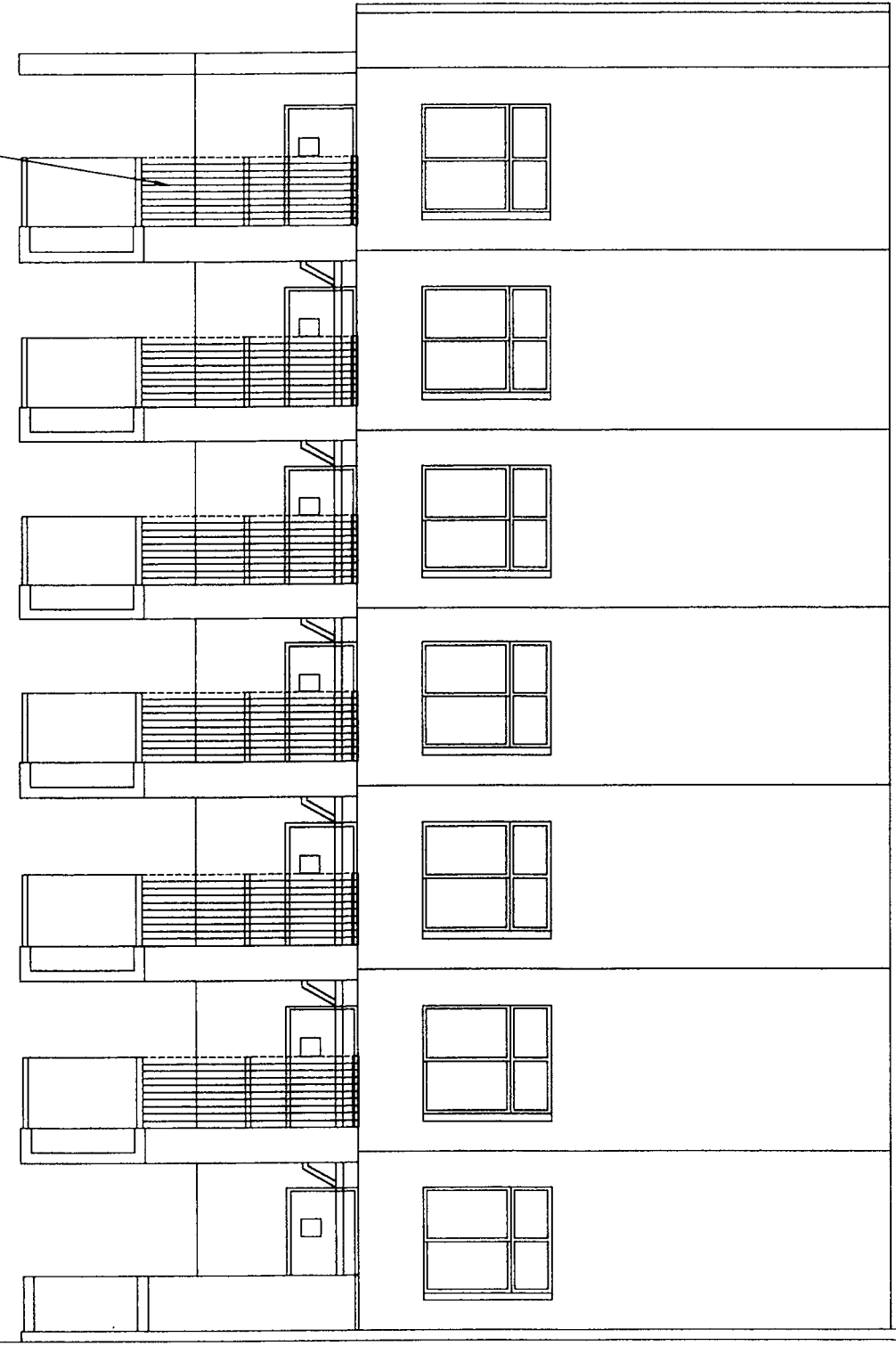
AIR CONDITIONING
GRILLE— TYPICAL
IN NEW OPENING

AIR CONDITIONING
GRILLE— TYPICAL
IN NEW OPENING



H10 WEST WING— WEST ELEVATION
SCALE 1/8"=1'-0"

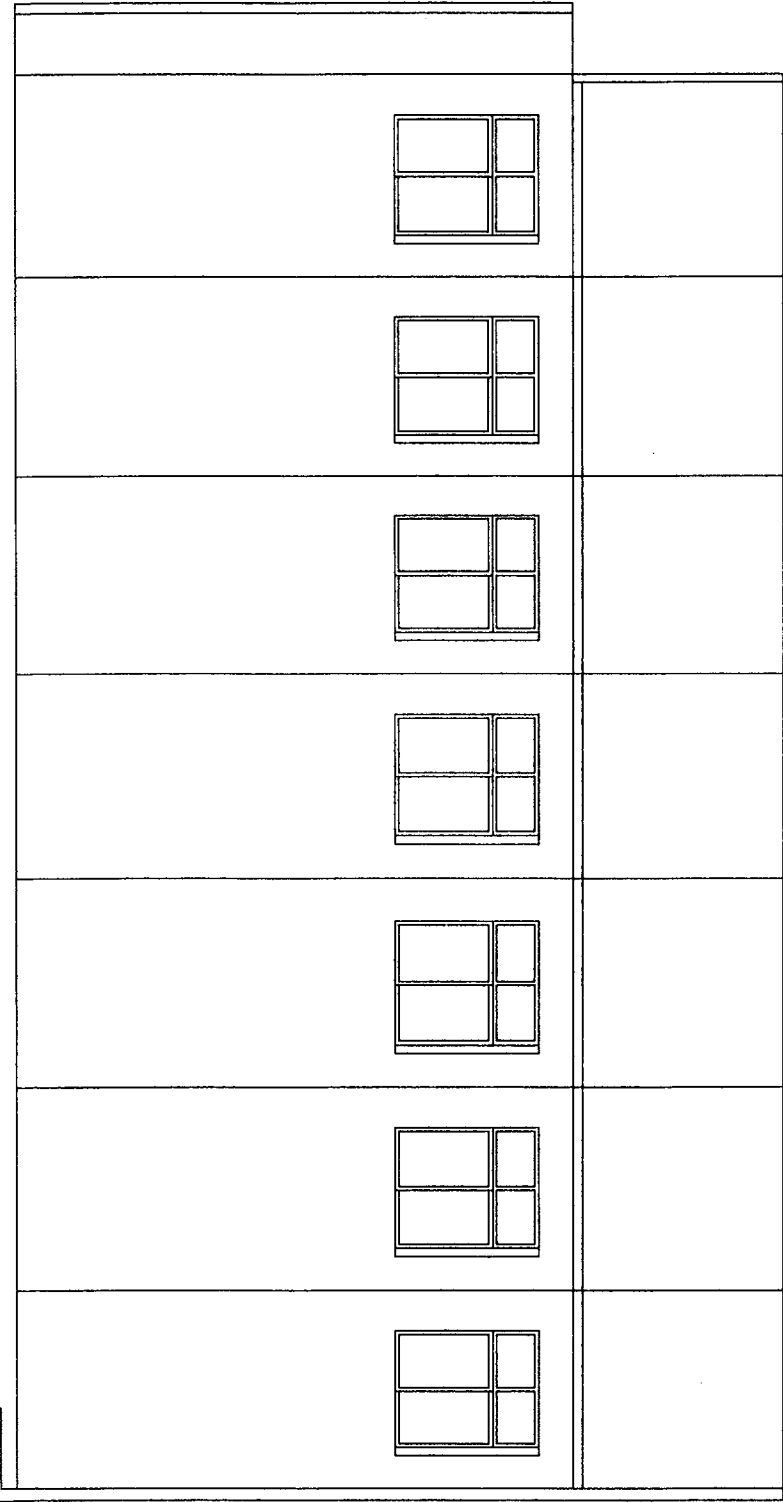
NEW 42" HIGH
GUARD RAIL TO
BE INSTALLED
ON ALL TYP.
FLOORS.



D3 WEST WING— NORTH ELEVATION
SCALE 1/8"=1'-0"

- T/ ROOF LINE
EL: (+) 60'-7"
- B/ 7TH FLOOR
EL: (+) 52'-0"
- B/ 6TH FLOOR
EL: (+) 43'-5"
- B/ 5TH FLOOR
EL: (+) 34'-10"
- B/ 4TH FLOOR
EL: (+) 26'-3"
- B/ 3RD FLOOR
EL: (+) 17'-8"
- B/ 2ND FLOOR
EL: (+) 9'-1"
- B/ 1ST FLOOR
EL: (+) 0'-6"

PATCH/REPAIR
ALL CONC.
RETAINING WALLS
TYP.



- T/ ROOF LINE
EL: (+) 60'-7"
- B/ 7TH FLOOR
EL: (+) 52'-0"
- B/ 6TH FLOOR
EL: (+) 43'-5"
- B/ 5TH FLOOR
EL: (+) 34'-10"
- B/ 4TH FLOOR
EL: (+) 26'-3"
- B/ 3RD FLOOR
EL: (+) 17'-8"
- B/ 2ND FLOOR
EL: (+) 9'-1"
- B/ 1ST FLOOR
EL: (+) 0'-6"

H3 WEST WING— SOUTH ELEVATION
SCALE 1/8"=1'-0"

CHANGE.

CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

Bid Documents

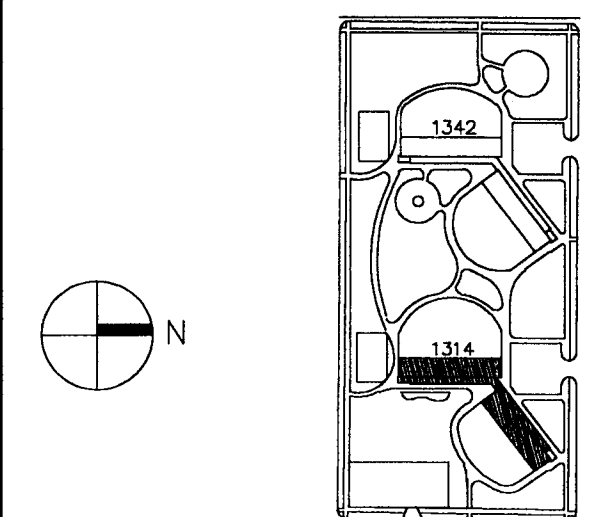
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General Notes

1342
1314
SEP 10 2005
RAFAEL HERNANDEZ
BY: [Signature]

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
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REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

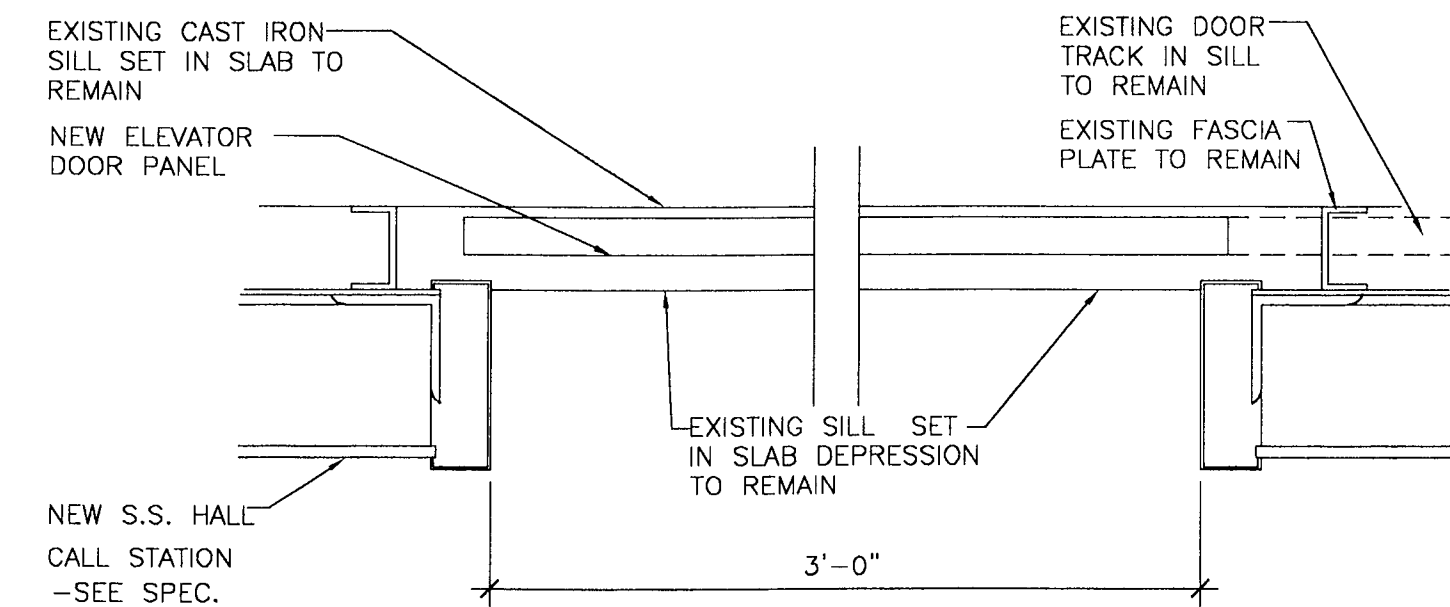
(312) 742 5500 FAX (312) 655-1105

ELEVATOR DETAILS

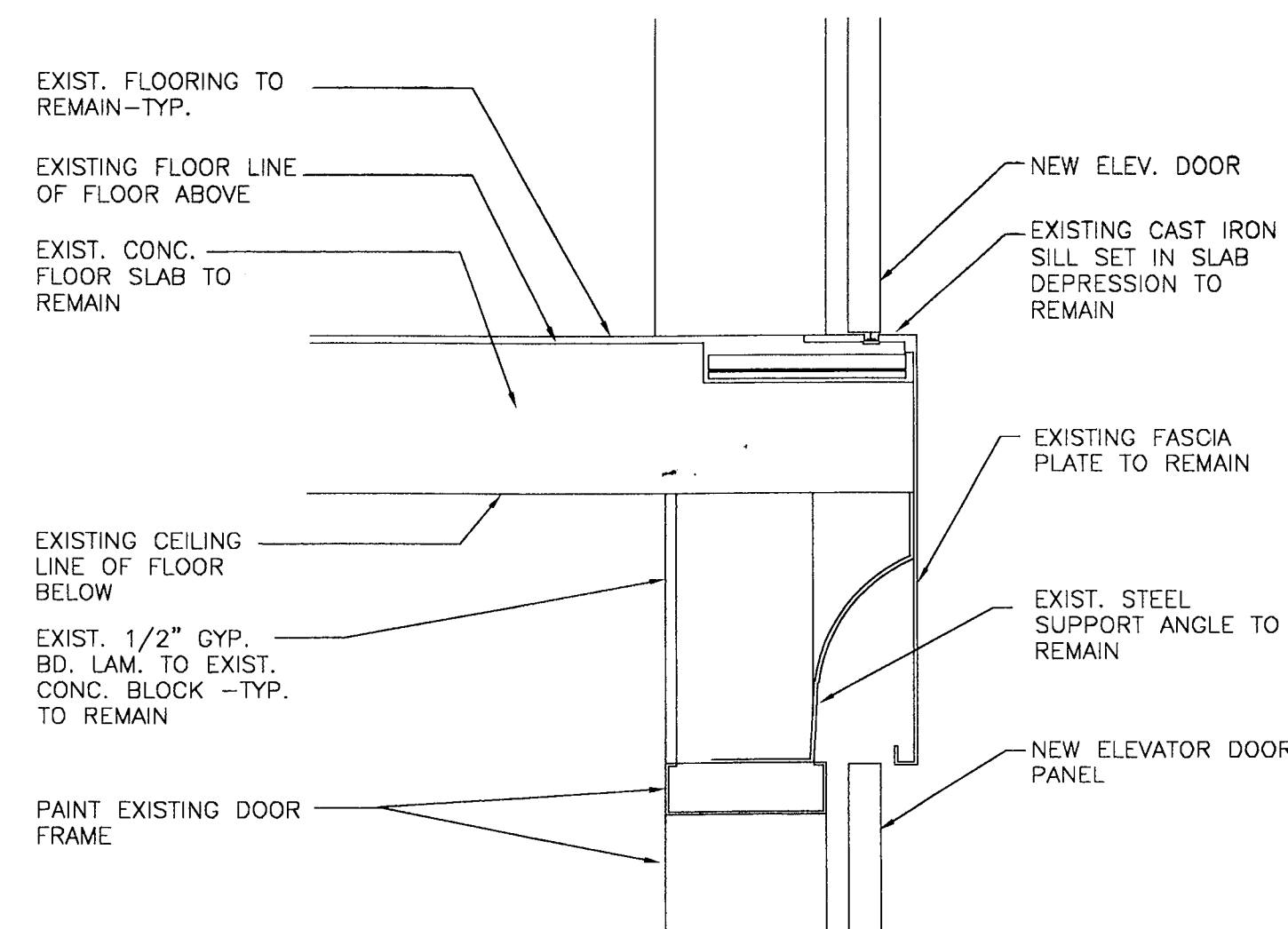
1342 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

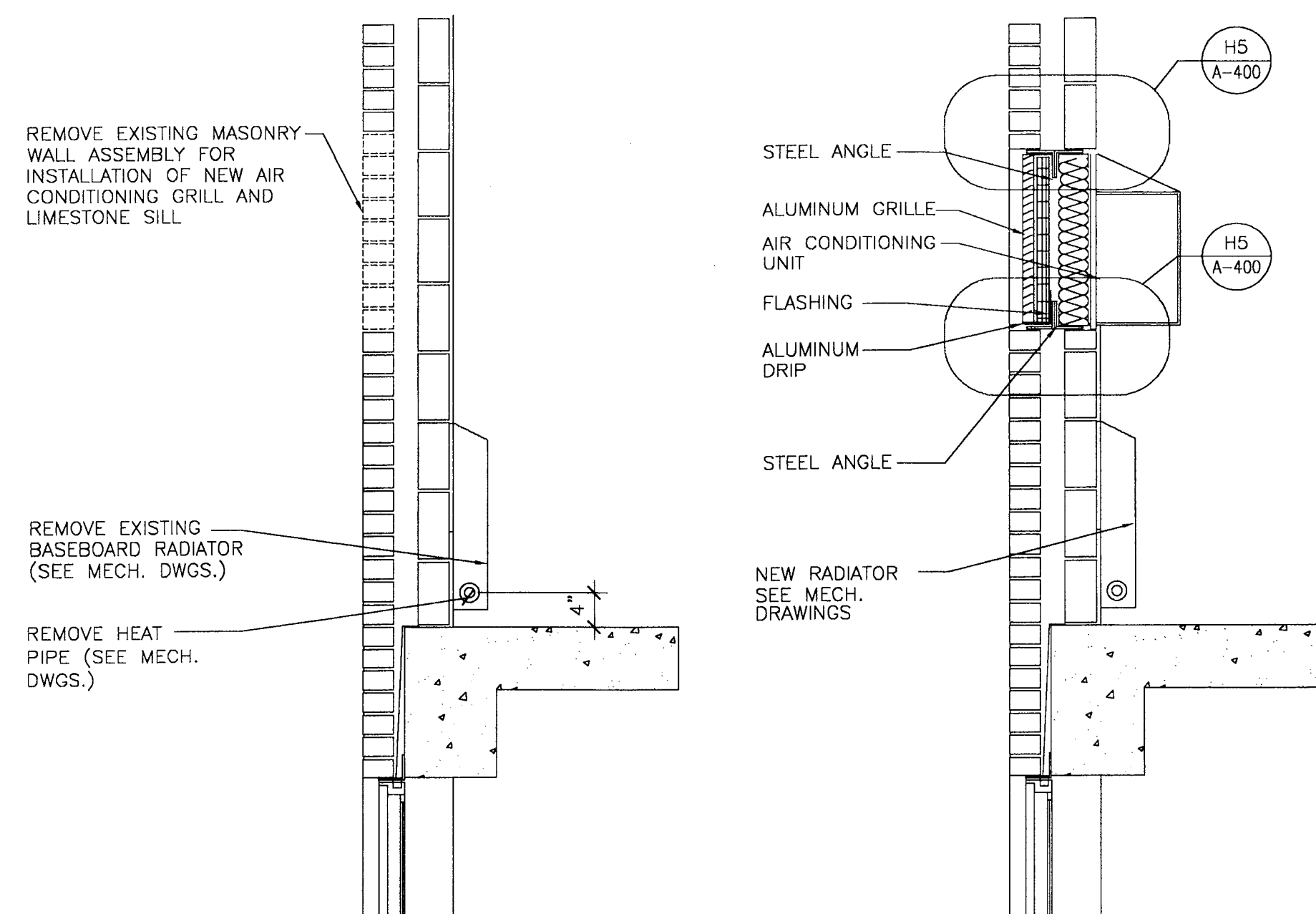
DATE	SCALE	JOB NO.	SHEET NUMBER
8/10/04	VARIES	2003005.01	A-400
DRAWN BWH	CHECKED DAS	APPROVED PAH	SHT.10 OF 10_SHTS.



B6 TYPICAL ELEVATOR DOOR DETAIL
SCALE 1 1/2"=1'-0"

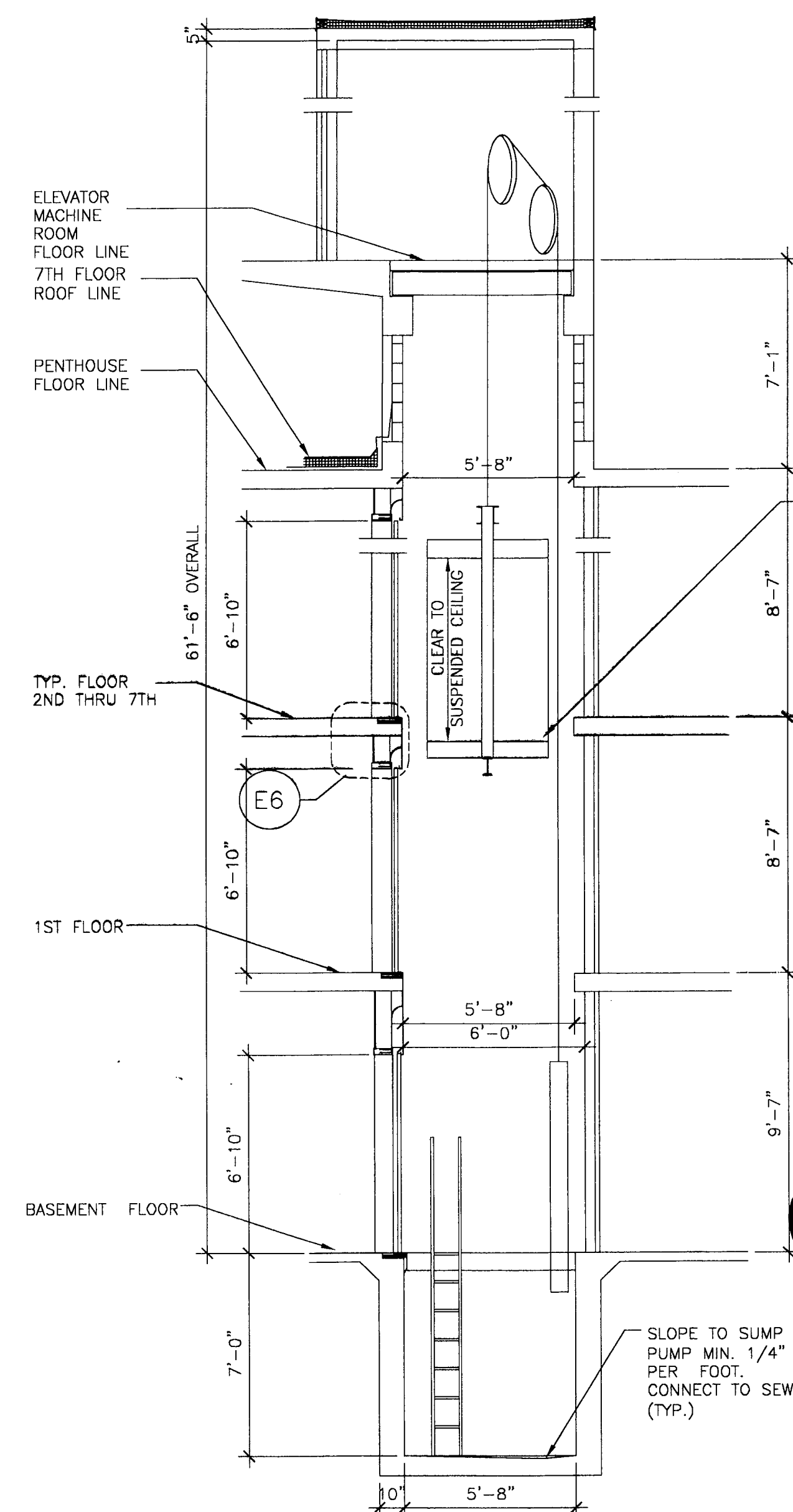


E6 TYPICAL ELEVATOR HEAD & SILL DETAIL
SCALE 1 1/2"=1'-0"

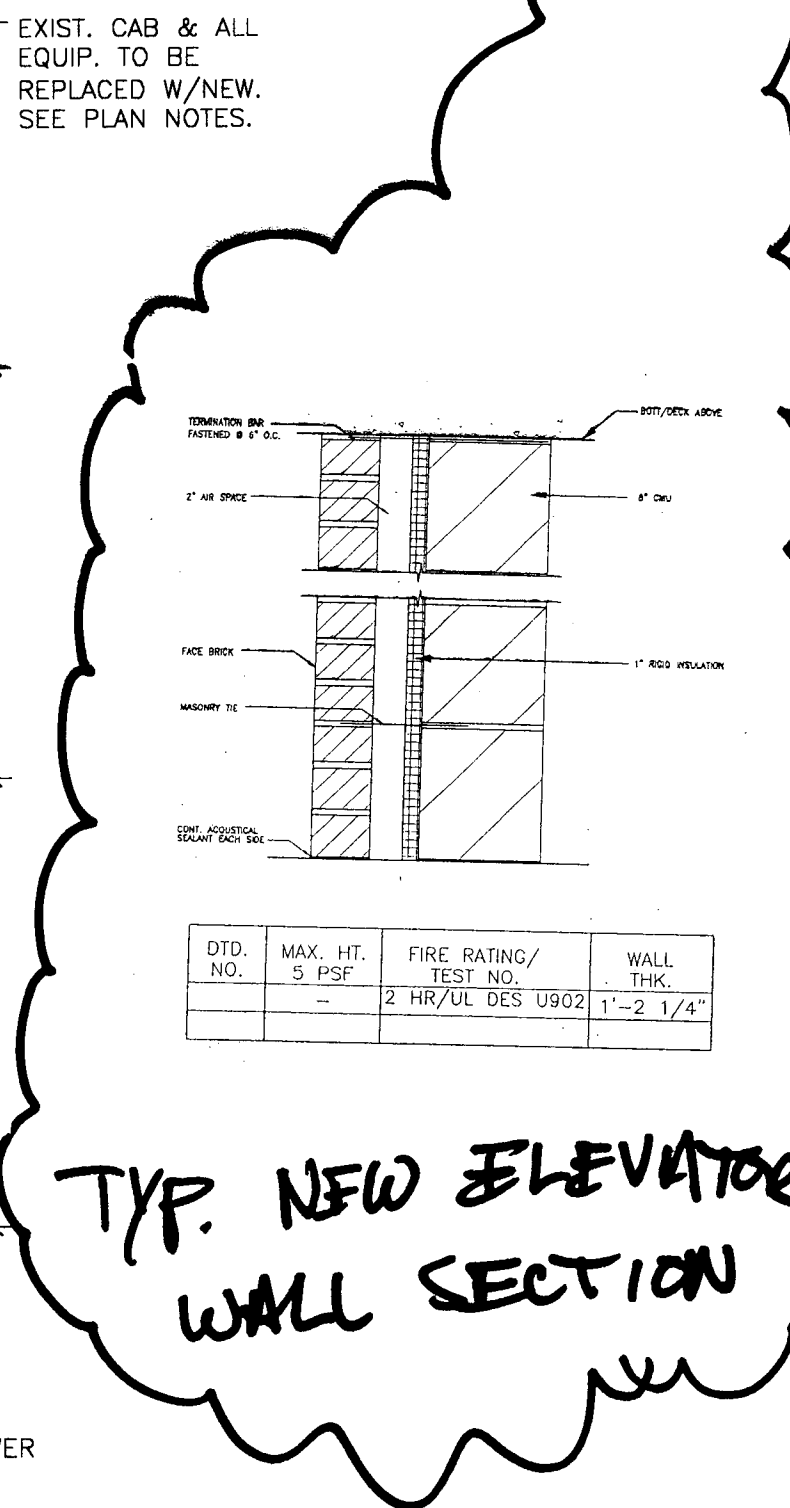


H9 EXTERIOR ALTERATION WALL SECTION
SCALE 3/4"=1'-0"

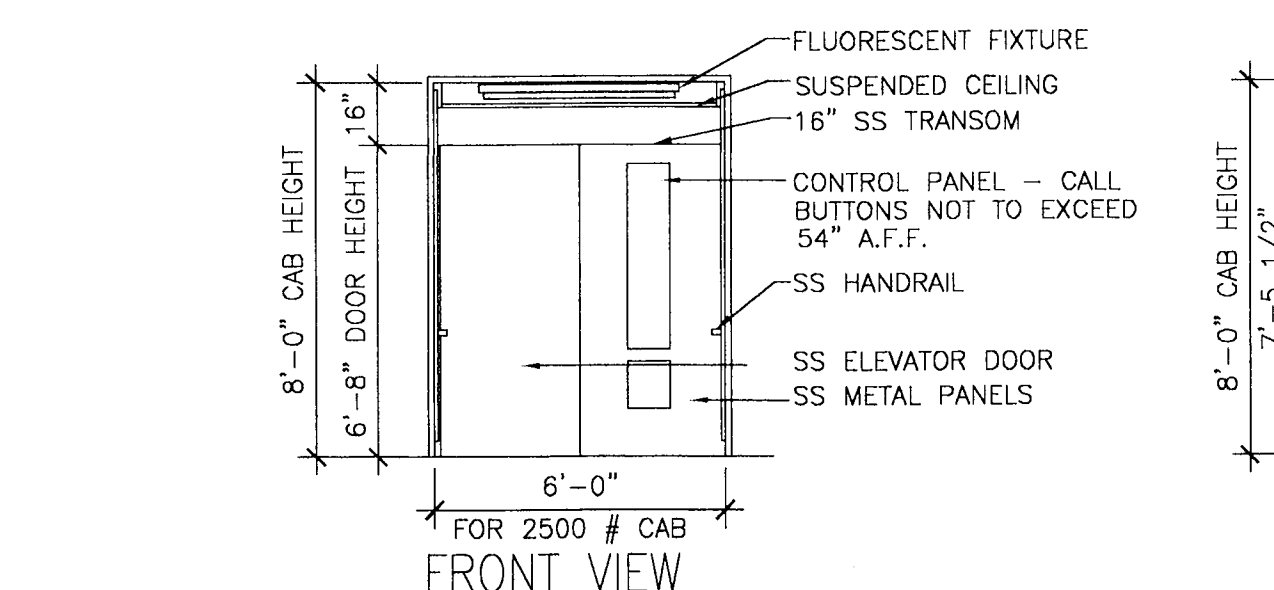
H7 EXTERIOR WALL SECTION
SCALE 3/4"=1'-0"



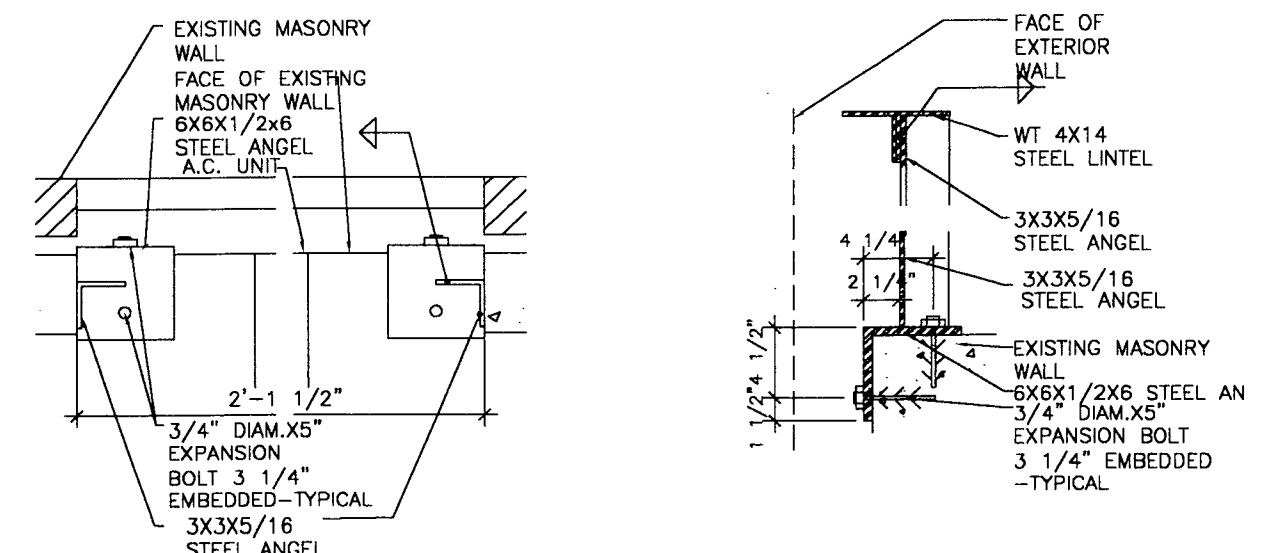
E5 EXIST. ELEV. SHAFT SECTION -2000 LB CAPACITY
SCALE 1/4"=1'-0"



E3 NEW ELEV. SHAFT SECTION -2500 LB CAPACITY
SCALE 1/4"=1'-0"

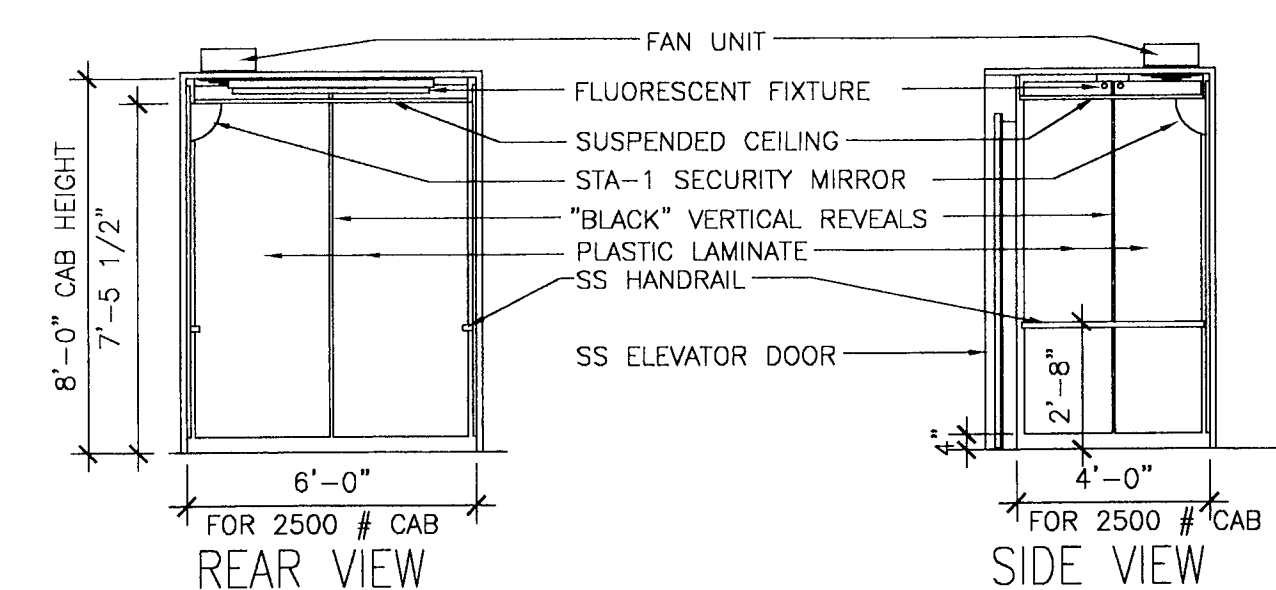


G6 INTERIOR CAB ELEVATIONS
SCALE 1/4"=1'-0"

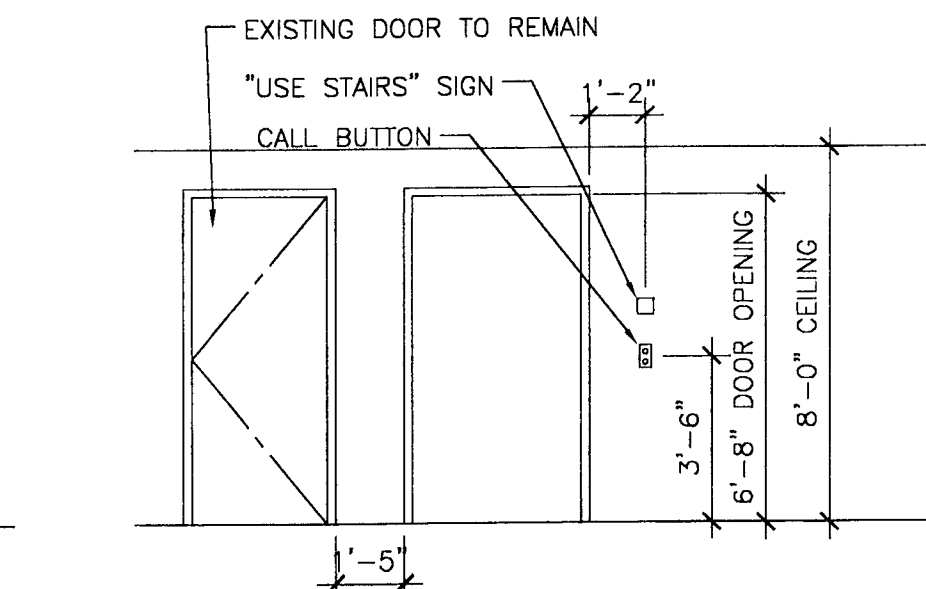


H6 STEEL FRAMING PLAN DETAIL
SCALE 1"=1'-0"

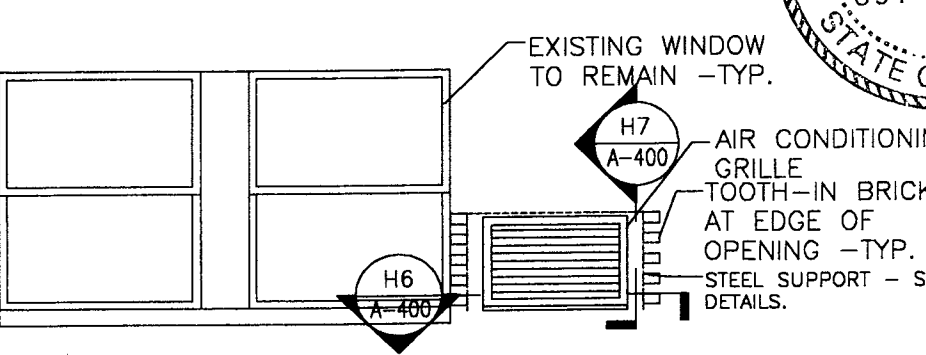
H5 FRAMING SECTION DETAIL
SCALE 1"=1'-0"



H3 TYPICAL DETAIL ELEVATION
SCALE: 1/4"=1'-0"



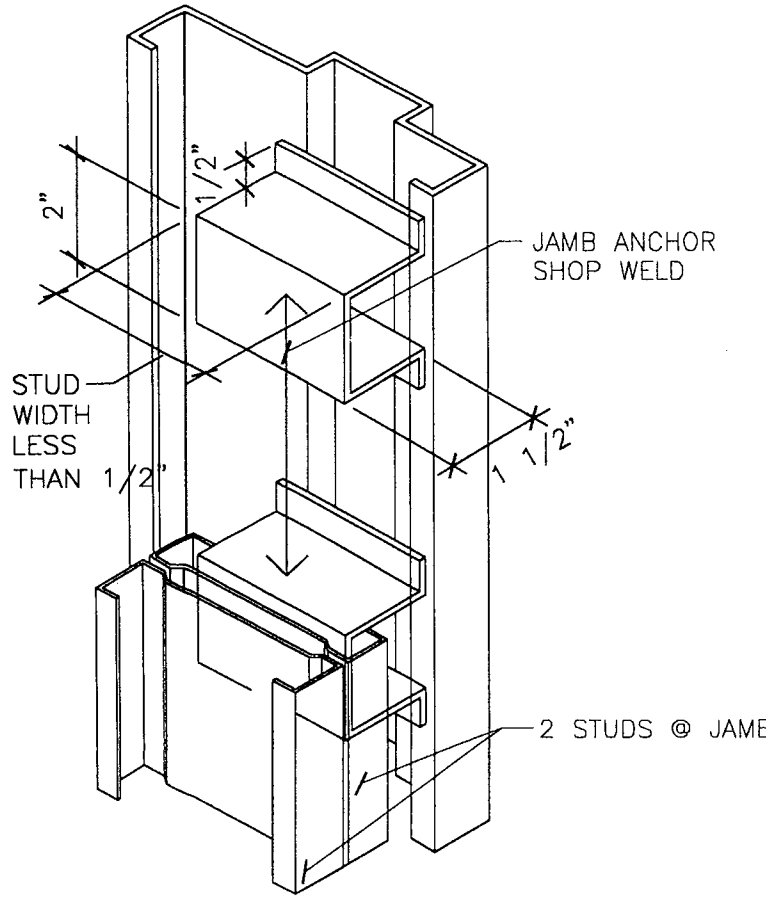
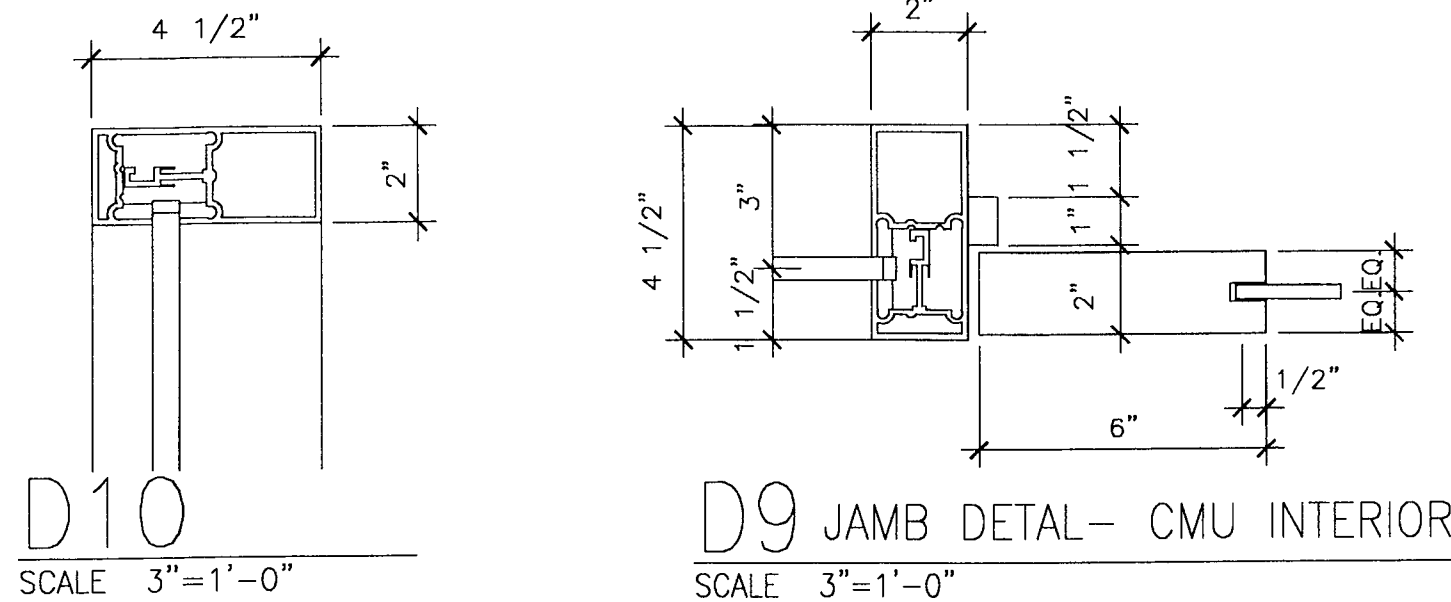
G2 ELEVATOR HALL ELEVATION
SCALE 1/4"=1'-0"



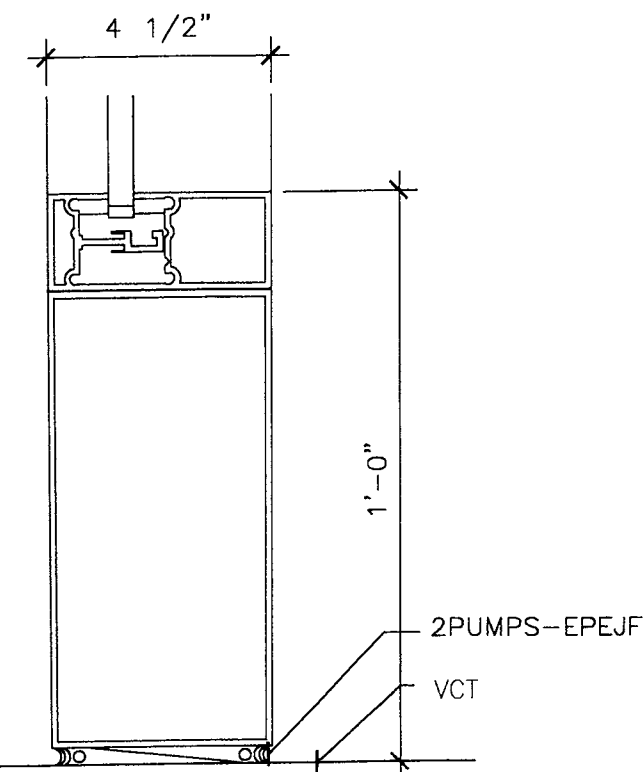
H2 TYPICAL ALTERATION DETAIL ELEVATION
SCALE 1/4"=1'-0"

C10 PARTITION TYPES-APARTMENT WALLS					C10 PARTITION TYPES-APARTMENT WALLS					C10 PARTITION TYPES-APARTMENT WALLS				
DTD. NO.	MAX. HT.	FIRE RATING	TEST NO.	WALL THK.	DTD. NO.	STUD SPS.	STUD SPACING	MAX. HT.	INSUL. THK./STC. RATING TEST NO.	WALL THK.	DTD. NO.	STUD SPS.	STUD SPACING	MAX. HT.
A	10'	1	NA	4"	1	16#4	24" O.C.	10'	2" X 4" X 1/2"	4-1/4"	2	16#4	24" O.C.	10'

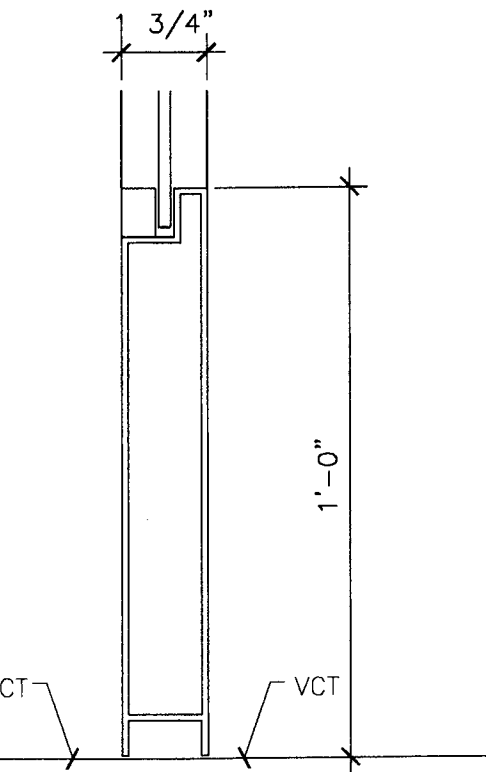
C10 PARTITION TYPES-APARTMENT WALLS
SCALE 3/4"=1'-0"



F10 STORE FRONT JAMB DETAIL
SCALE 3"=1'-0"

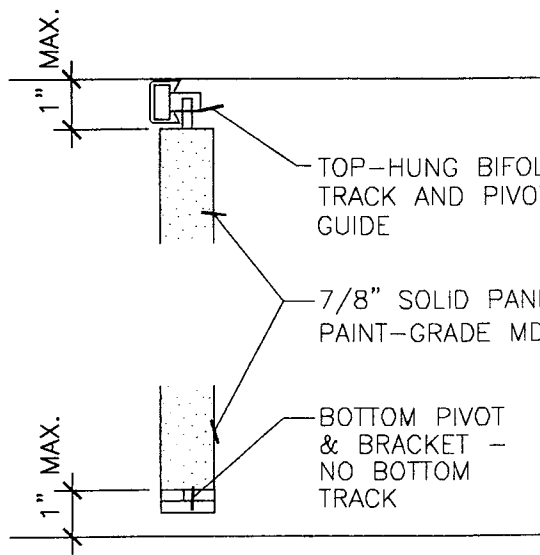


H10 STORE FRONT JAMB DETAIL
SCALE 3"=1'-0"



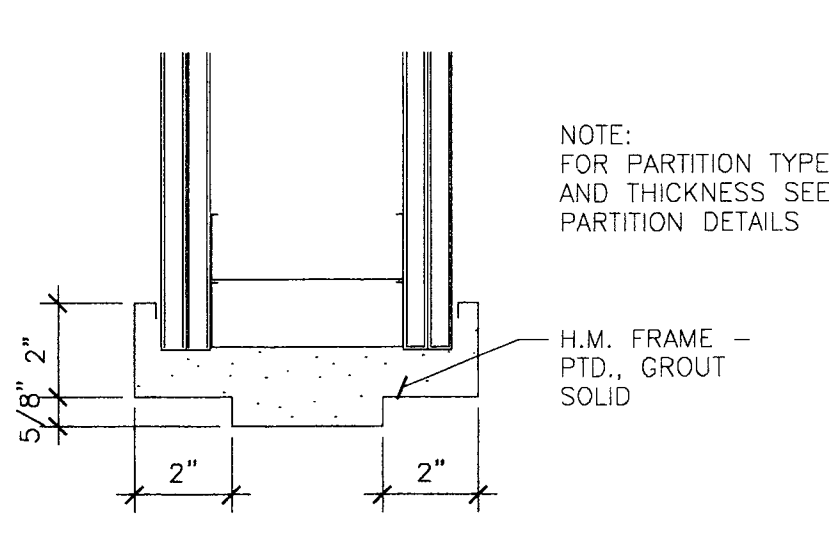
H9 STORE FRONT DOOR SILL DETAIL
SCALE 3"=1'-0"

F7 JAMB DETAIL- INTERIOR
SCALE 3"=1'-0"



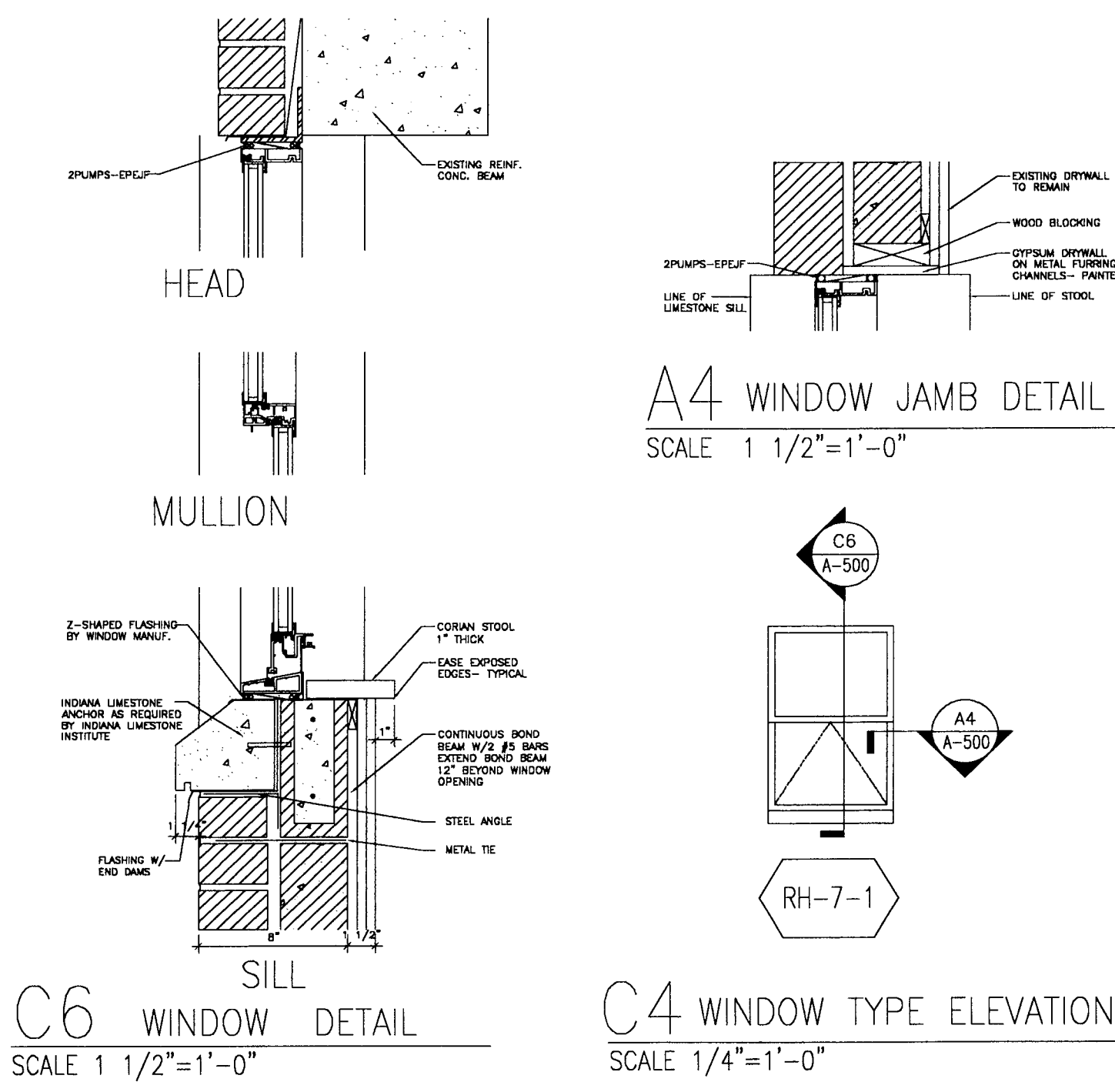
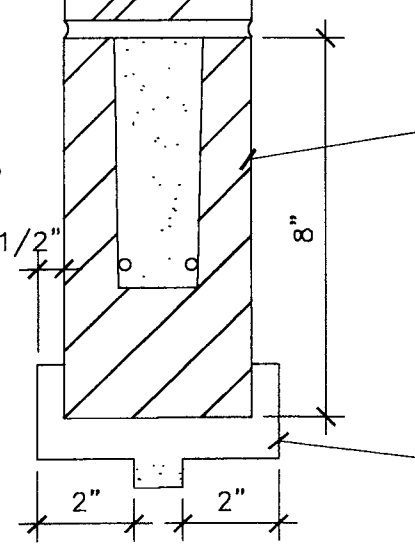
H7 HEAD/SILL DETAIL: BIFOLD DOOR
SCALE 3"=1'-0"

F5 JAMB DETAIL- INTERIOR
SCALE 3"=1'-0"



H5 HEAD-INTERIOR
SCALE 3"=1'-0"

H4 HEAD DETAIL/4"
SCALE 3"=1'-0"



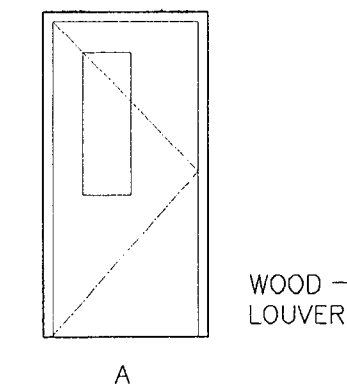
A4 WINDOW JAMB DETAIL
SCALE 1 1/2"=1'-0"

WINDOW SCHEDULE					
NO.	SYMBOL	TYPE	SIZE	FRAME	REMARKS
1	RH-1	SASH PROJECTED	3'-4" X 5'-1"	ALUMINUM	

NEW WINDOWS AND ALUMINUM STOREFRONT.

DOOR SCHEDULE											
DR. OPNG. NO.	SIZE	TYPE	DR. MATL.	FR. MATL.	FRAME J H S	LABEL	HDW. SET	REMARKS			
L1-1.1	3'-0" X 6'-8" X 1 3/4"	A	WD	HM	-	-	-				
S1-1.1	2'-8" X 6'-8" X 1 3/4"	B	WD	HM	-	-	-				
S1-2.1	(2) 2'-8" X 6'-8" X 1 3/4"	A	WD	HM	-	-	-				
O6-1.1	2'-8" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O6-2.1	2'-8" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O6-3.1	2'-8" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O6-5.1	2'-8" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O6-6.1	2'-8" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O6-7.1	2'-8" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O6-8.1	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-				
O6-8.2	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-				
O6-8.3	2'-0" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			
O1-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O1-2.2	3'-10" X 6'-8" X 1 3/4"	E	WD	HM	-	-	-	BIFOLD DOOR			
O1-3.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O1-3.2	3'-10" X 6'-8" X 1 3/4"	E	WD	HM	-	-	-	BIFOLD DOOR			
O1-4.1	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-				
O1-6.1	2'-0" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			
O1-6.3	2'-2" X 6'-8" X 1 3/4"	B	WD	HM	-	-	-				
O2-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O2-2.2	2'-10" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			
O2-3.1	2'-2" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-				
O2-4.1	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-				
O2-4.2	2'-10" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			
O1-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	BIFOLD DOOR			
O1-3.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-3.2	3'-10" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-4.1	2'-2" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-6.1	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-6.2	2'-0" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			
O1-6.3	2'-2" X 6'-8" X 1 3/4"	B	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O2-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	BIFOLD DOOR			
O2-2.2	2'-10" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O2-3.1	2'-2" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O2-4.1	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-	BIFOLD DOOR			
O2-4.2	2'-10" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			
O1-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-2.2	3'-10" X 6'-8" X 1 3/4"	E	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-3.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	BIFOLD DOOR			
O1-3.2	3'-10" X 6'-8" X 1 3/4"	E	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-4.1	2'-2" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-6.1	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O1-6.2	2'-0" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			
O1-6.3	2'-2" X 6'-8" X 1 3/4"	B	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O2-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	BIFOLD DOOR			
O2-2.2	2'-10" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O2-3.1	2'-2" X 6'-8" X 1 3/4"	D	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O2-4.1	2'-8" X 6'-8" X 1 3/4"	C	WD	HM	-	-	-	NEW ADA LEVER LOCKSET			
O2-4.2	2'-10" X 6'-8" X 1 3/4"	F	WD	HM	-	-	-	BIFOLD DOOR			

NOTES: SEE SF
ALL AP
ALL NE
ALL BF
GLASS



G4 DOOR
SCALE 1/4"=1'-0"

Alpha
WID

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

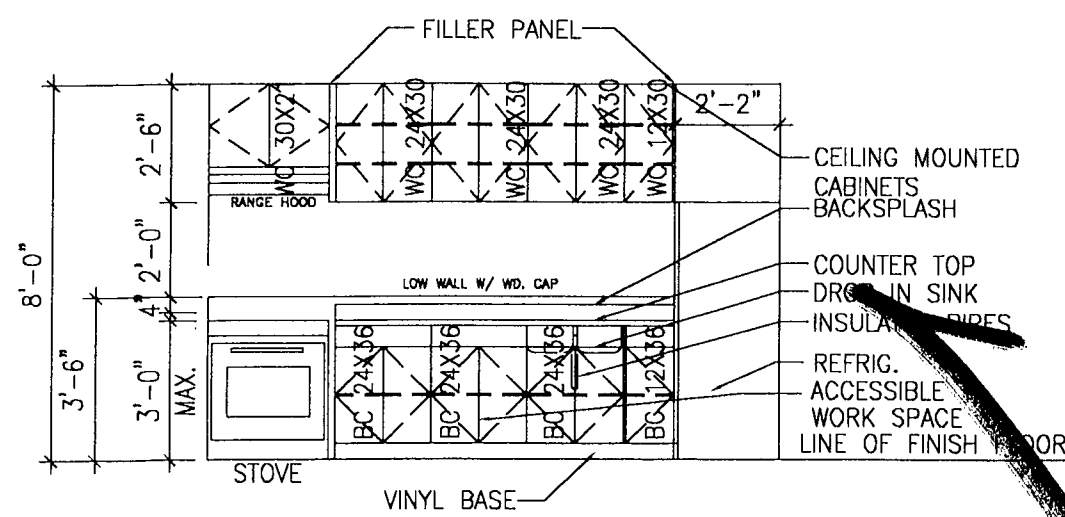
dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

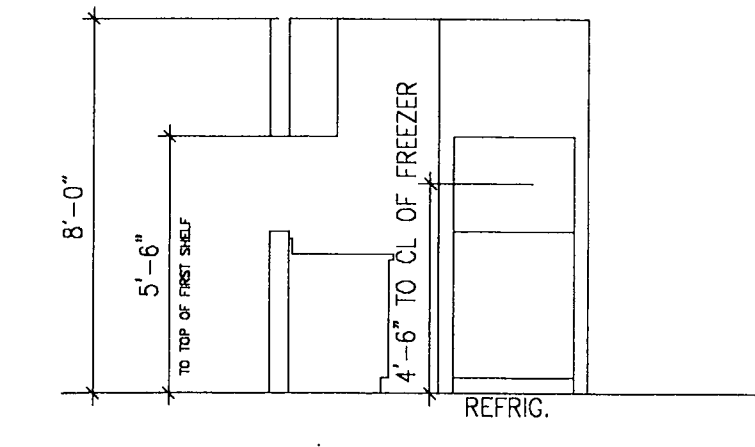
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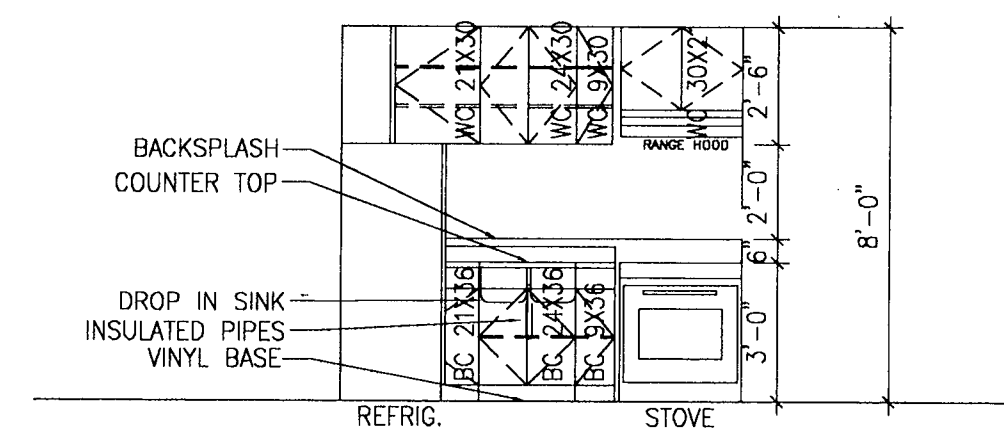
General Notes



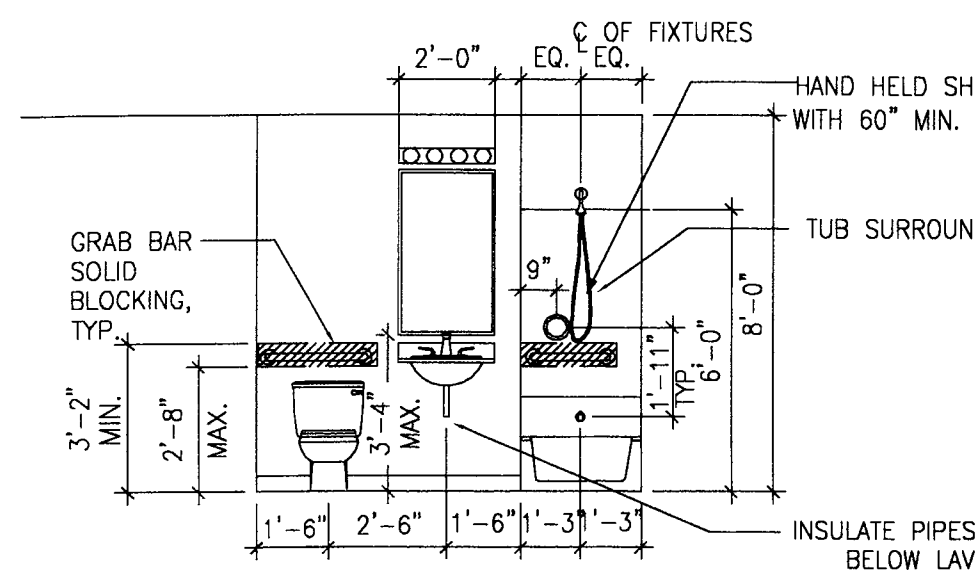
B10 KITCHEN ELEVATION (2 BED)
SCALE 1/4"=1'-0"



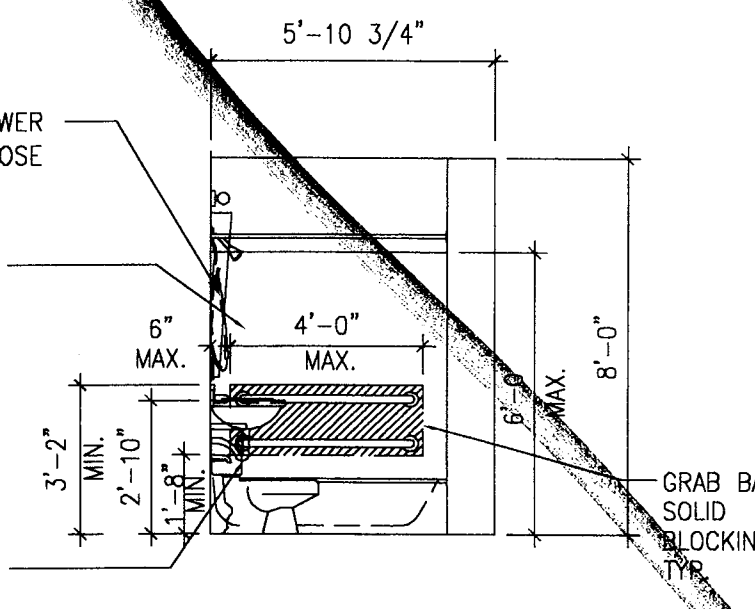
B8 KITCHEN ELEVATION (2 BED)
SCALE 1/4"=1'-0"



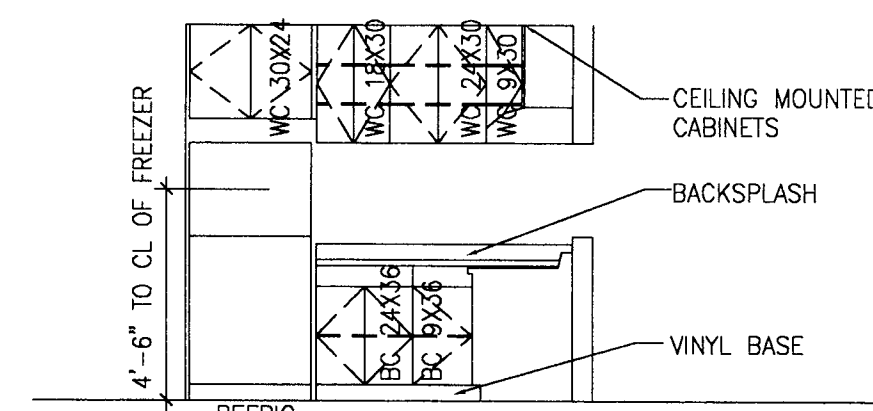
B6 KITCHEN ELEVATION (1 BED)
SCALE 1/4"=1'-0"



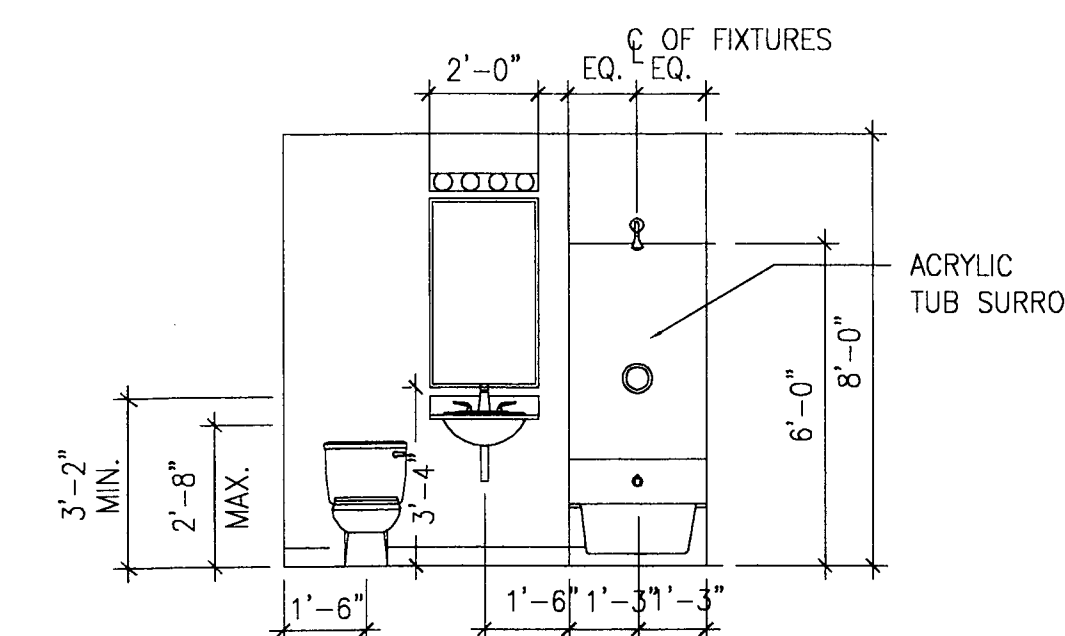
B10 BATH ELEVATION (1 BED)
SCALE 1/4"=1'-0"



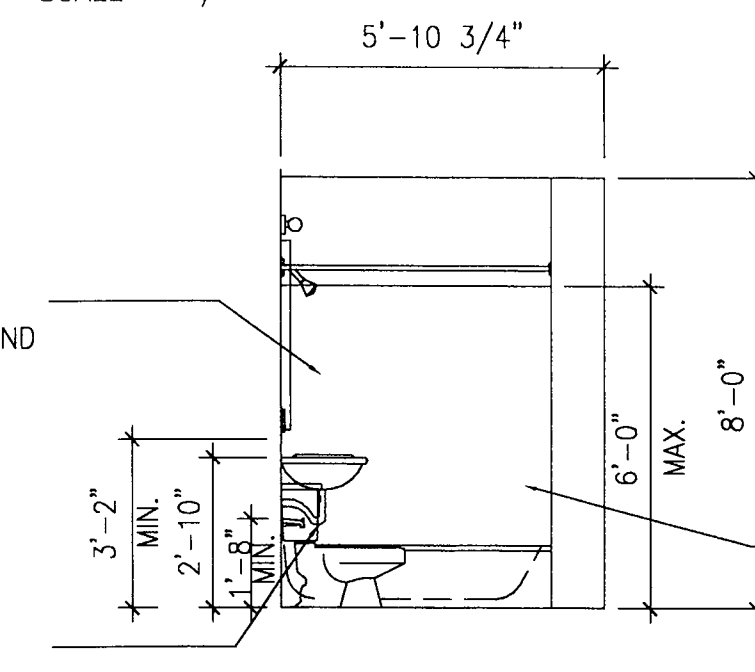
D8 BATH ELEVATION (1 BED)
SCALE 1/4"=1'-0"



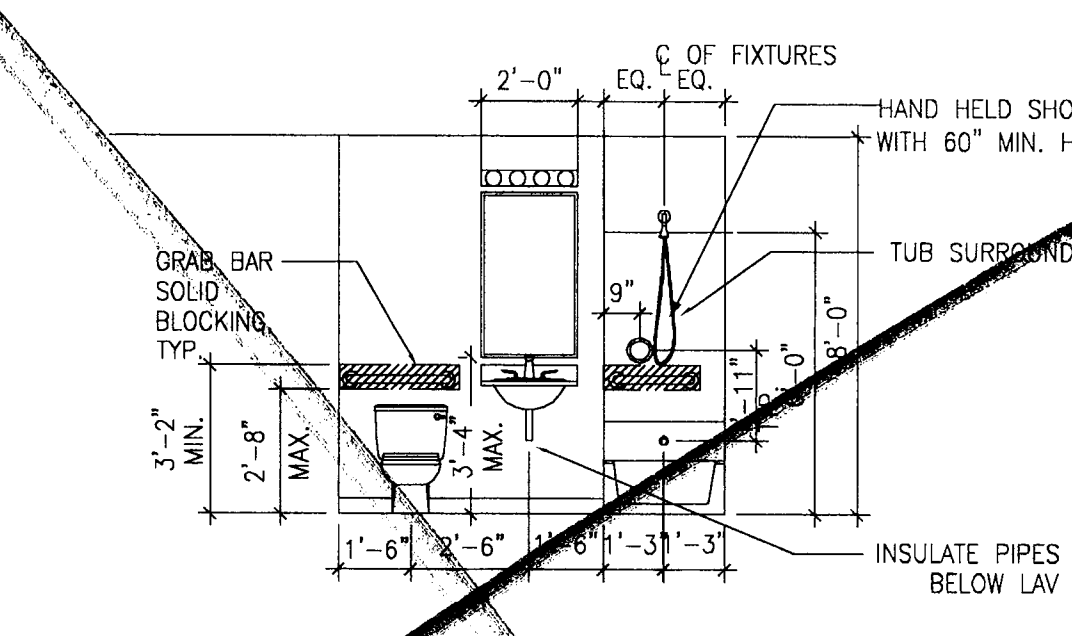
D6 KITCHEN ELEVATION (1 BED)
SCALE 1/4"=1'-0"



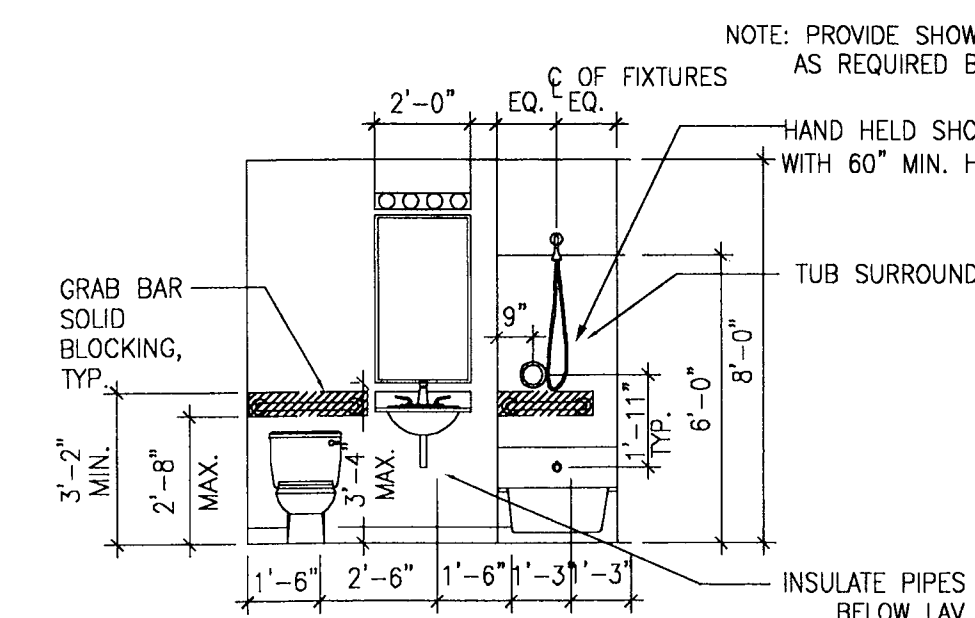
E10 BATH ELEVATION (2 BED)
SCALE 1/4"=1'-0"



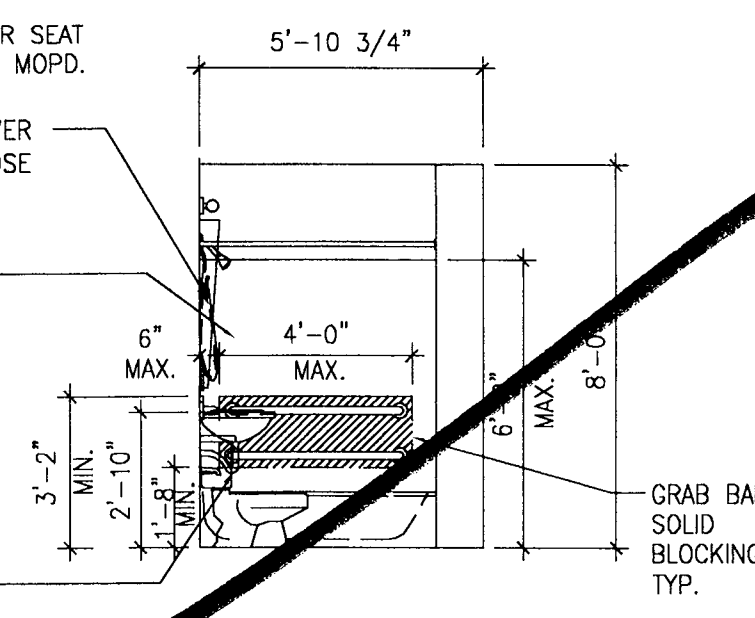
E8 BATH ELEVATION (2 BED)
SCALE 1/4"=1'-0"



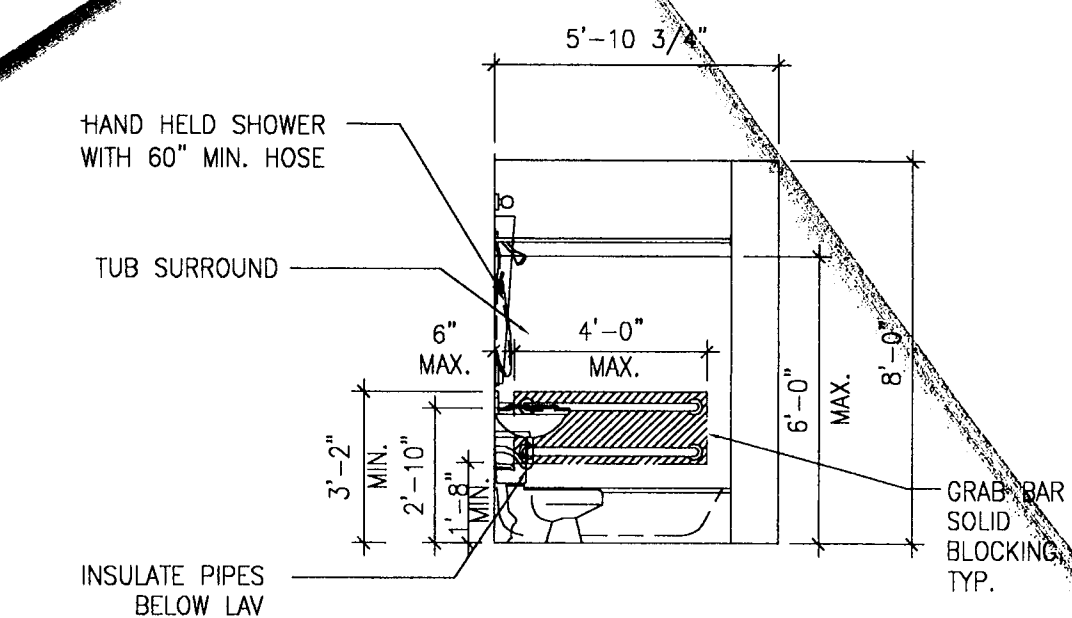
E6 ADA BATH ELEV (1 BED)
SCALE 1/4"=1'-0"



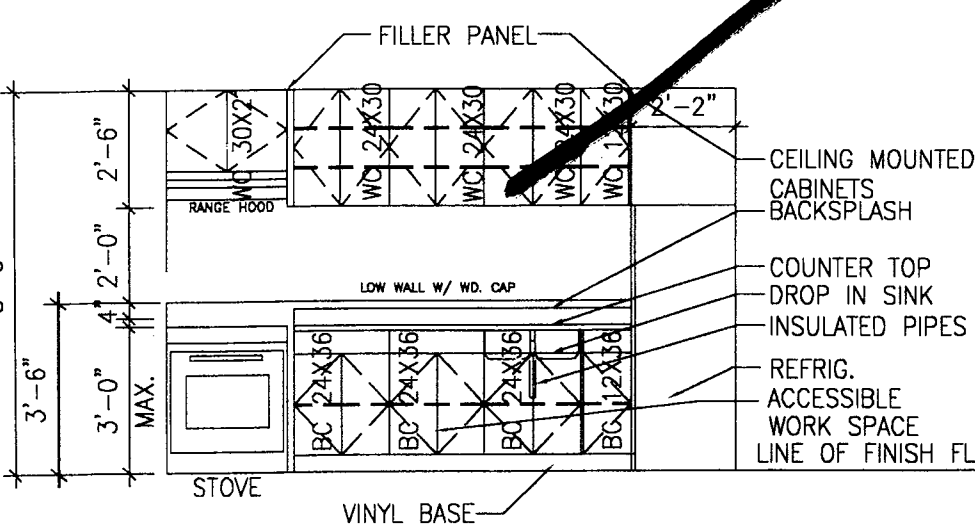
G10 ADA BATH ELEVATION (2 BED)
SCALE 1/4"=1'-0"



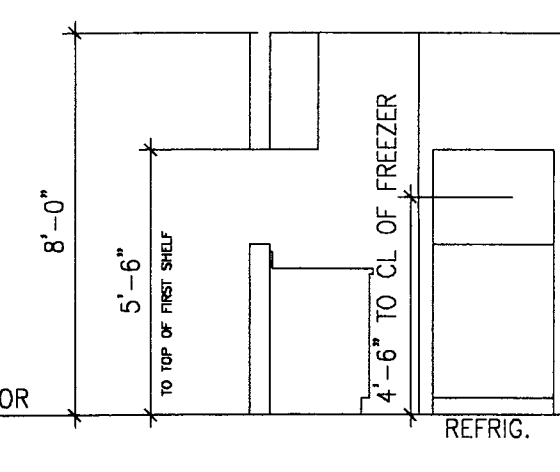
G8 ADA BATHROOM ELEVATION (2 BED)
SCALE 1/4"=1'-0"



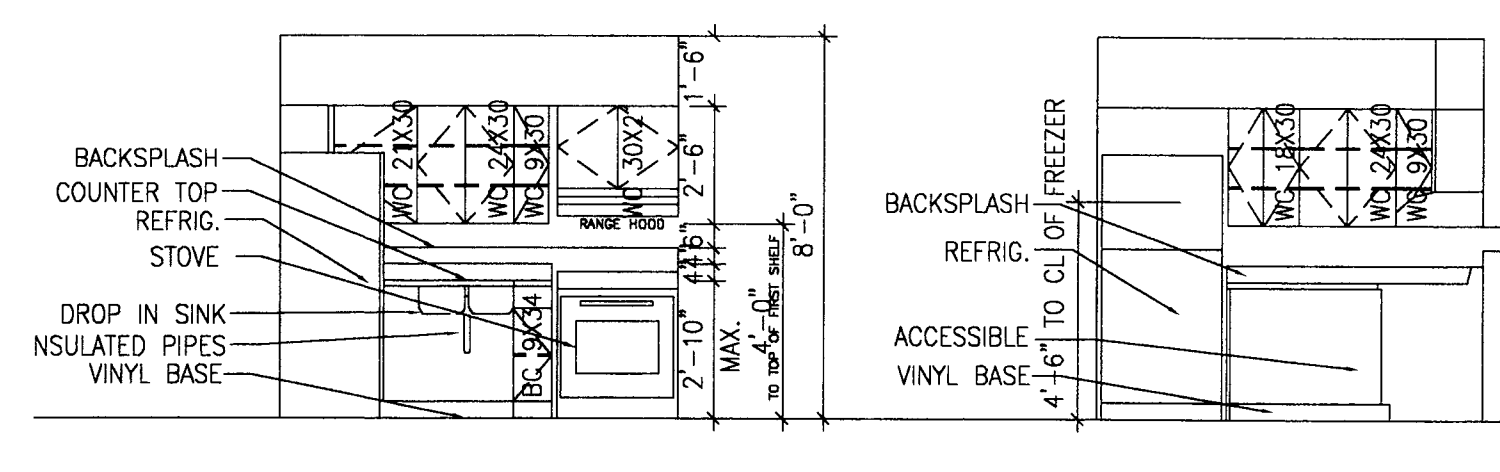
G6 ADA BATH ELEV (1 BED)
SCALE 1/4"=1'-0"



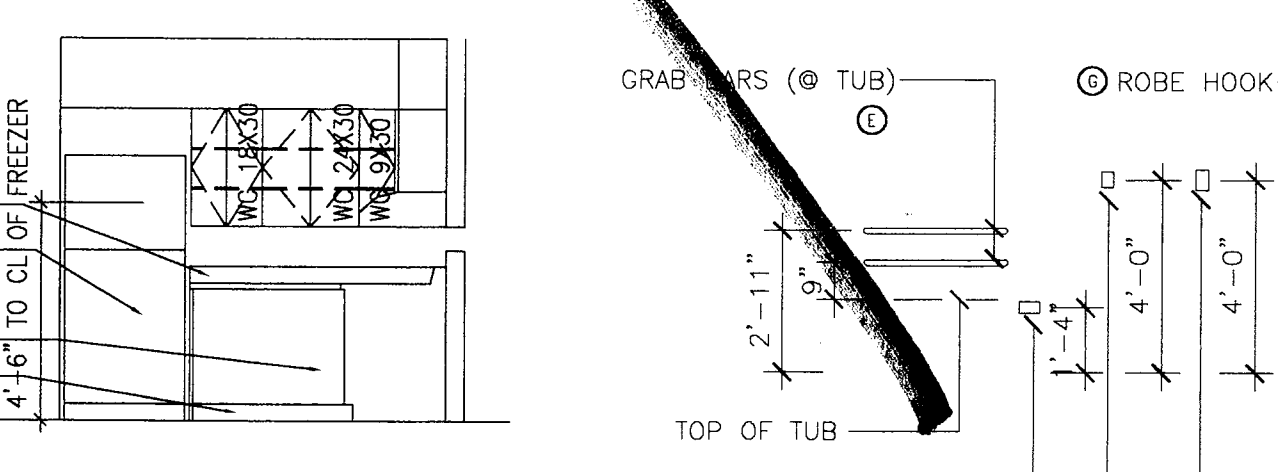
H10 ADA KITCHEN ELEV(2 BED)
SCALE 1/4"=1'-0"



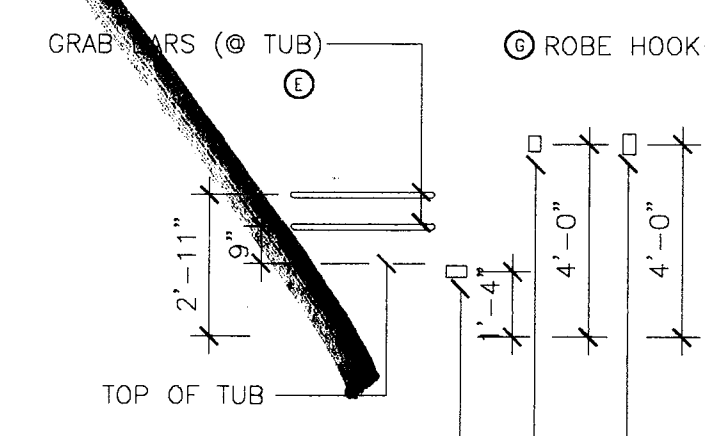
H8 ADA KITCHEN ELEV(2 BED)
SCALE 1/4"=1'-0"



H6 ADA KITCHEN ELEV(1 BED)
SCALE 1/4"=1'-0"



H5 ADA KITCHEN ELEV(1 BED)
SCALE 1/4"=1'-0"



H4 TYPICAL MOOR
SCALE 1/4"=1'-0"

RM. NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG. HGT.	REMARKS
001	STAIR #1						
002A	LAUNDRY RM						
002B	TELE & ELEC METER						
002C	EJECTOR RM						
002D	TOILET						
003	INACTIVE STORAGE						
004	CORRIDOR						
005A	TENANT STORAGE						
005B	TENANT STORAGE						
006	LOBBY						
007	INCE/STOR RM						
008	BOILER ROOM						
009A	INACTIVE STORAGE						
009B	INACTIVE STORAGE						
010	CORRIDOR						
011A	STORAGE RM						
011B	TOILET						
012	STORAGE RM						
013	STORAGE RM						
014	STAIRS #2						

RM. NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CLG. HGT.	REMARKS
01	LIVING AREA					8'-0"	
02	BEDROOM #2					8'-0"	
03	BEDROOM #1					8'-0"	
04	BATH					8'-0"	
05	KITCHEN					8'-0"	
06	HALL					8'-0"	
01	LIVING/DINING RM					8'-0"	
02	BEDROOM					8'-0"	
03	BATHROOM					8'-0"	
04	HALL					8'-0"	
05	KITCHEN					8'-0"	
01	ADA LIVING AREA					8'-0"	
02	ADA BEDROOM #2					8'-0"	
03	ADA BEDROOM #1					8'-0"	
04	ADA BATH					8'-0"	
05	ADA KITCHEN					8'-0"	
06	ADA HALL					8'-0"	
01	ADA LIVING AREA					8'-0"	
02	ADA BEDROOM					8'-0"	
03	ADA BEDROOM					8'-0"	
04	ADA BATH					8'-0"	
05	ADA KITCHEN					8'-0"	
06	ADA DINING RM					8'-0"	
01	ADA LIVING/ DINING					8'-0"	
02	ADA BEDROOM					8'-0"	
03	ADA BATHROOM					8'-0"	
04	ADA HALL					8'-0"	
05	ADA KITCHEN					8'-0"	

NOTES:
UNIT TYPE 1: TWO BEDROOM APARTMENT UNIT
UNIT TYPE 2: ONE BEDROOM APARTMENT UNIT
UNIT TYPE 1A: TWO BEDROOM APARTMENT UNIT/ HANDICAP

- TOILET ACCESSORIES SCHEDULE
- (A) TOILET PAPER DISPENSER
 - (B) RECESSED SOAP DISH W/ BAR
 - (C) MIRROR/ RECESSED MEDICINE CABINET
 - (D) TOWEL BAR
 - (E) GRAB BAR
 - (F) SHOWER
 - (G) ROBE HOOK

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Construction Management Chicago, Illinois 60604

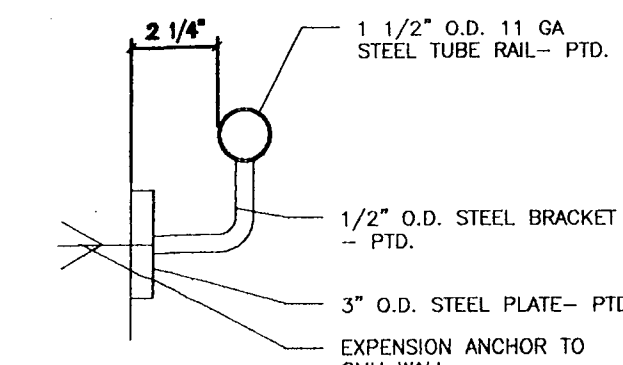
dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

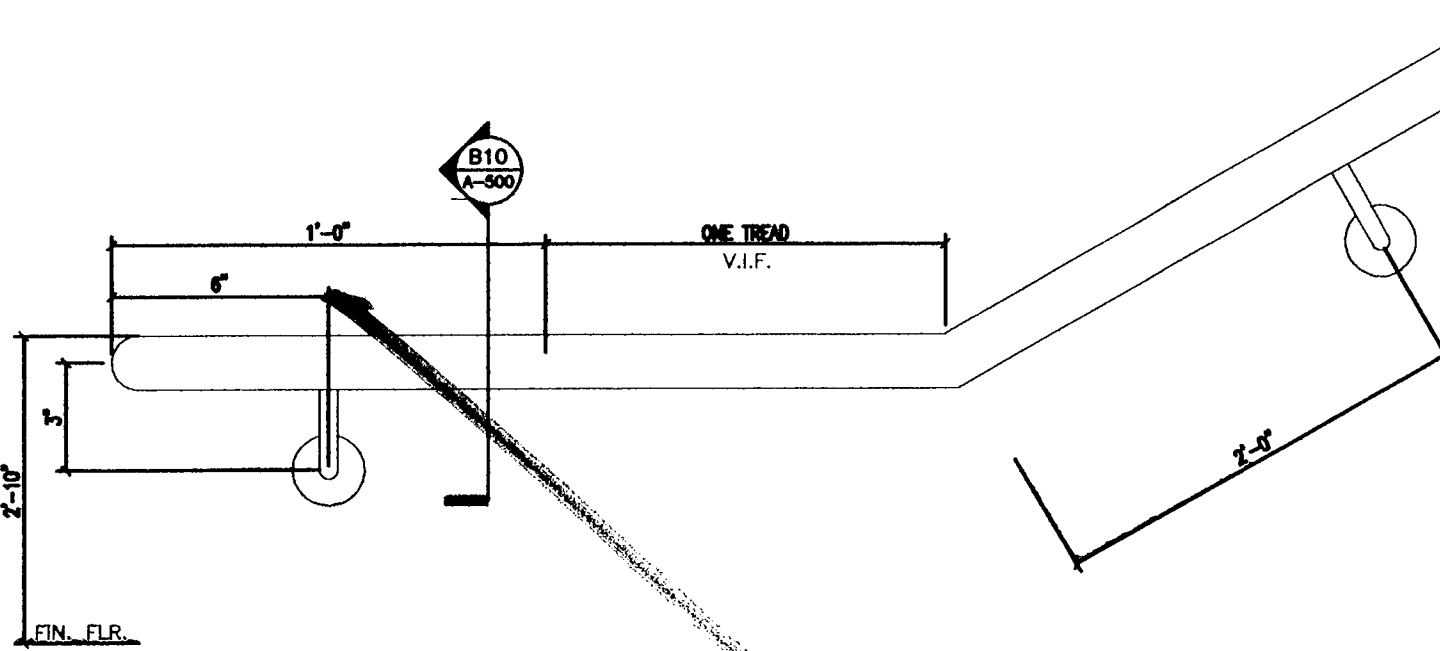
Bid Documents

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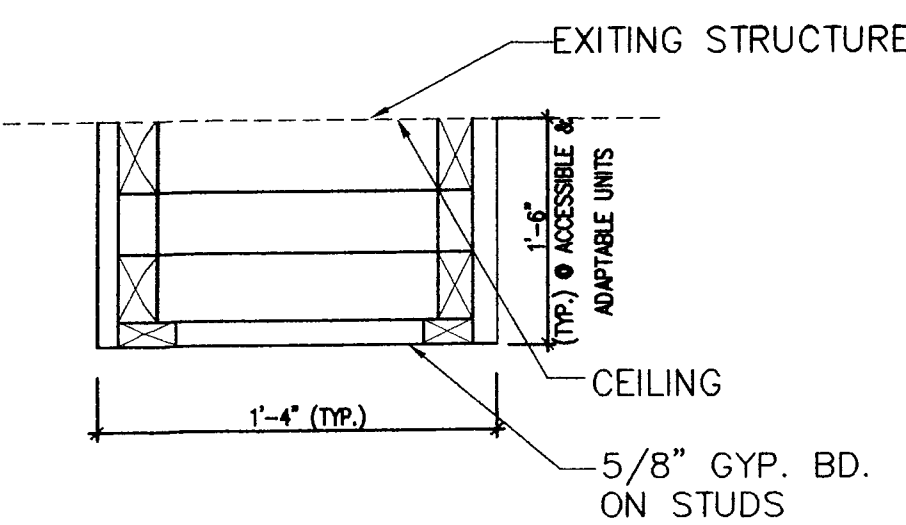
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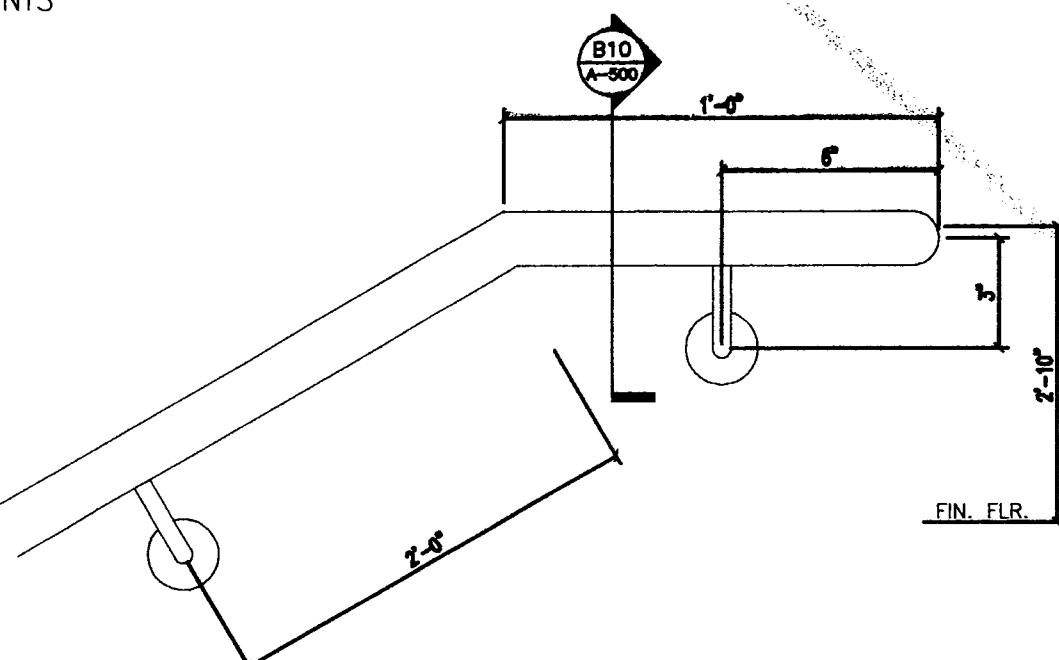
B10 HANDRAIL SECTION
SCALE: NTS



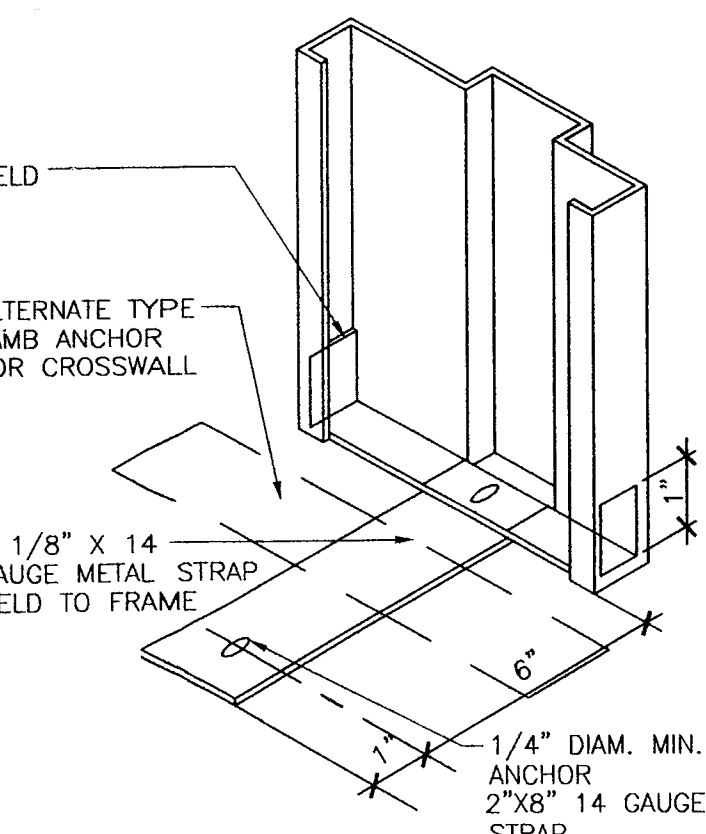
B9 HANDRAIL BOTTOM EXTENSION DETAIL
SCALE: NTS



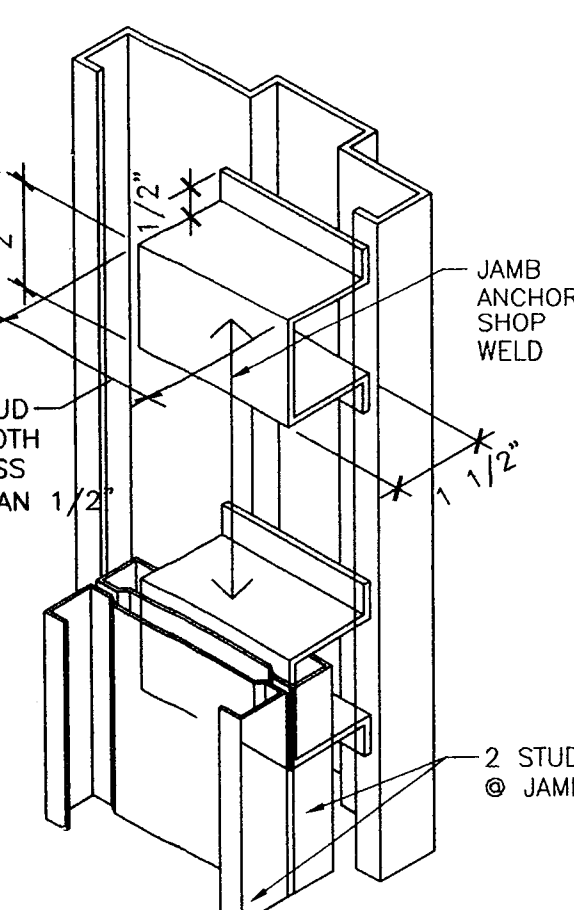
D10 BATHROOM AND KITCHEN SOFFIT DETAIL
SCALE 1"=1'-0"



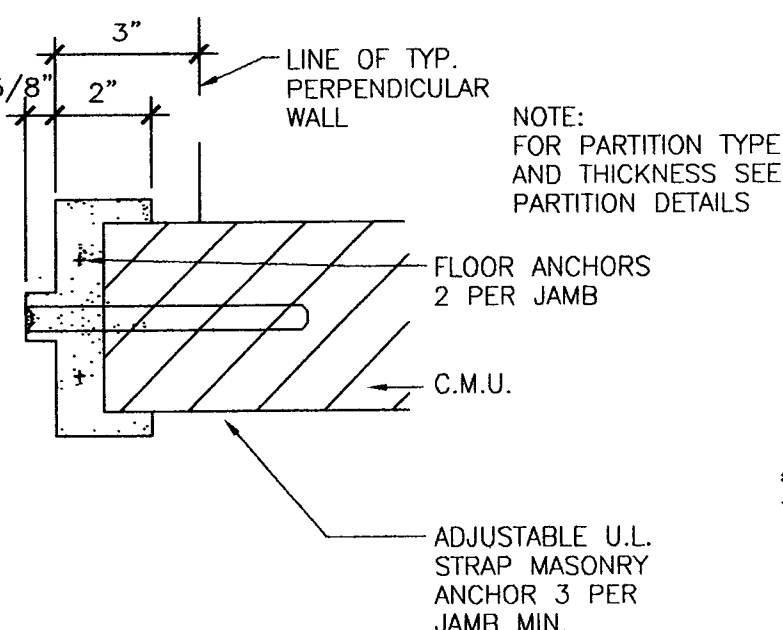
D9 HANDRAIL TOP EXTENSION DETAIL
SCALE: NTS



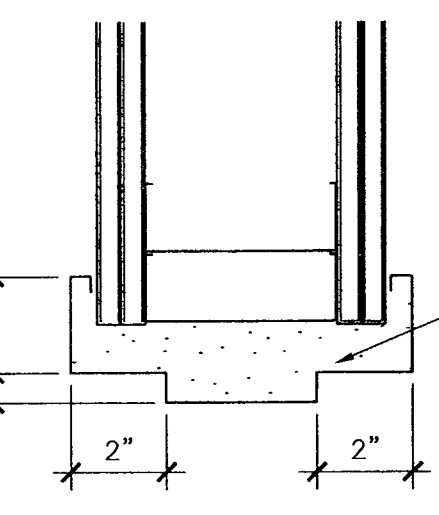
F10 JAMB DETAIL- CMU INTERIOR
SCALE 3"=1'-0"



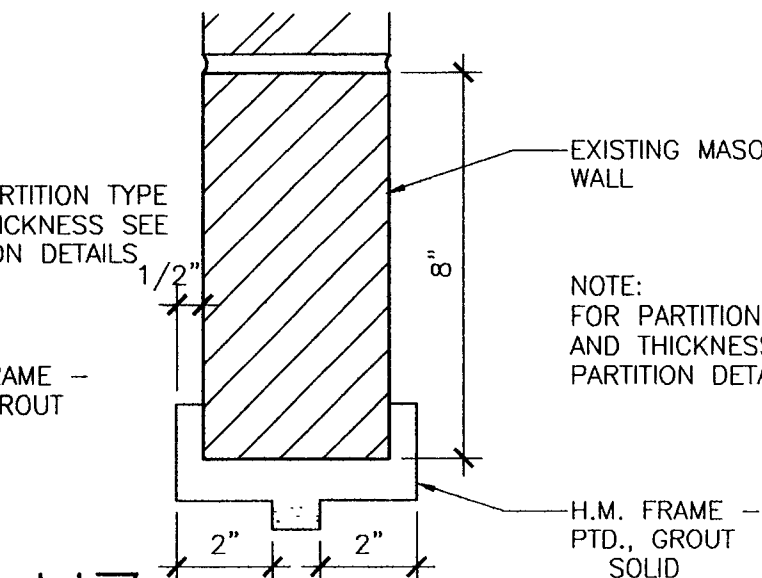
H10 HEAD-INTERIOR
SCALE 3"=1'-0"



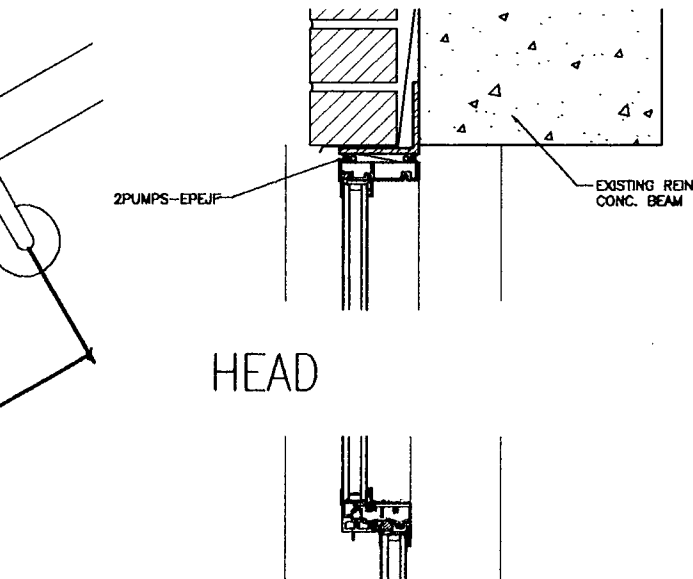
F9 JAMB DETAIL- INTERIOR
SCALE 3"=1'-0"



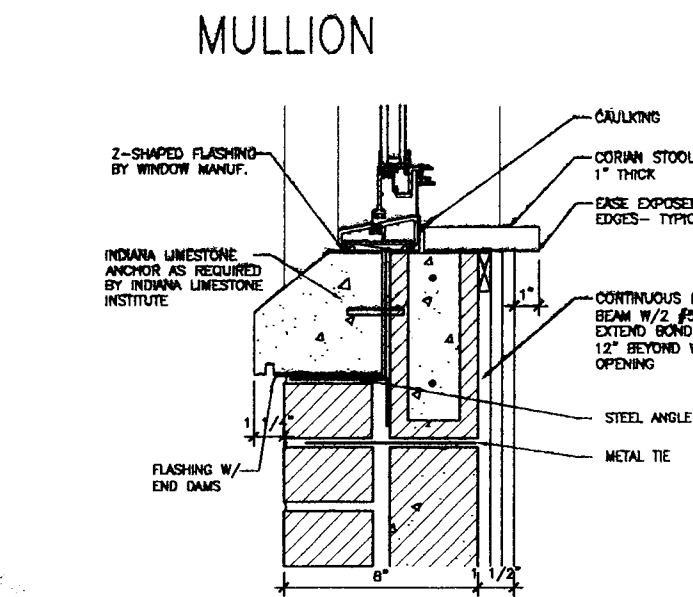
H8 HEAD-INTERIOR
SCALE 3"=1'-0"



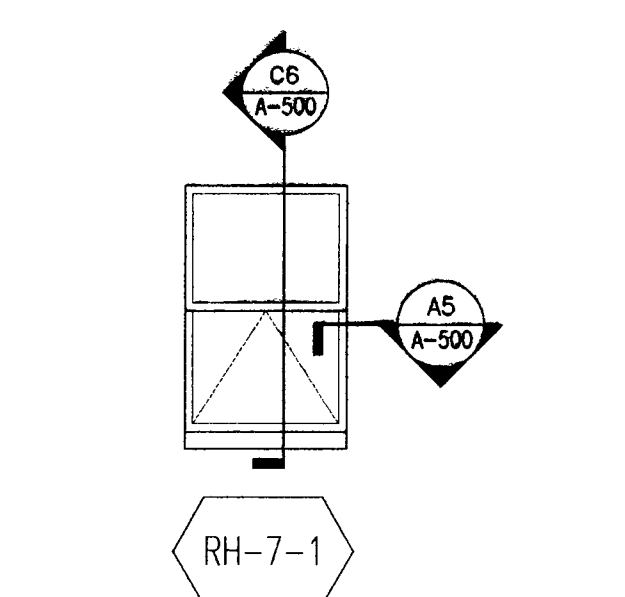
H7 HEAD DETAIL/4" CMU WALL
SCALE 3"=1'-0"



A5 WINDOW JAMB DETAIL
SCALE 1 1/2"=1'-0"



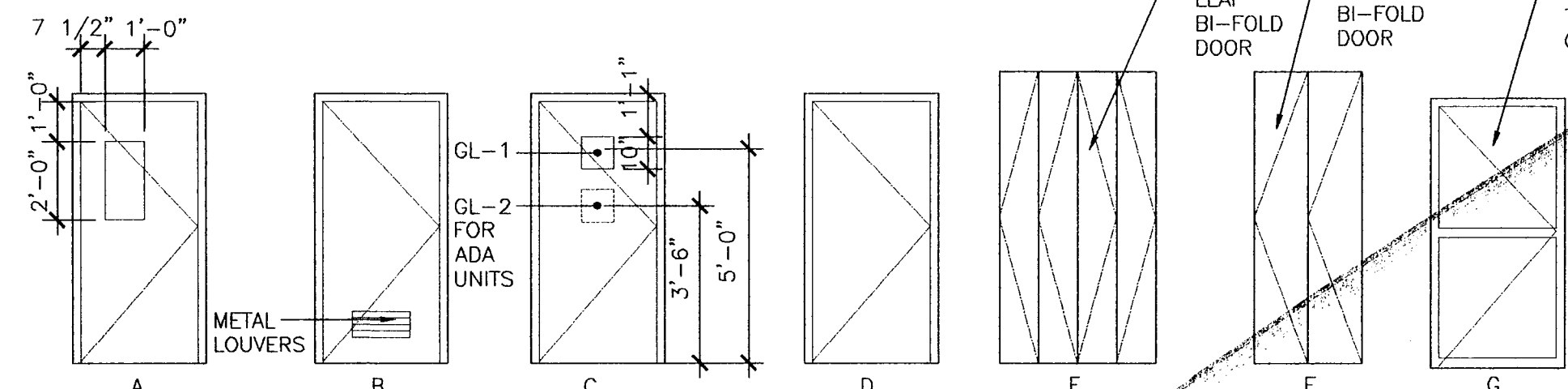
C6 WINDOW SILL DETAIL
SCALE 1 1/2"=1'-0"



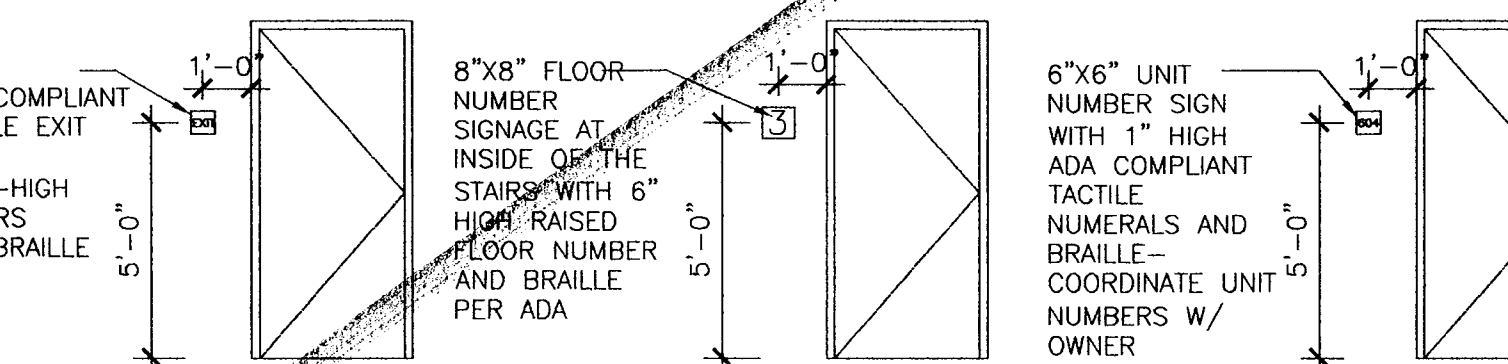
C5 WINDOW TYPE ELEVATION
SCALE 1/4"=1'-0"

WINDOW SCHEDULE					
NO.	SYMBOL	TYPE	SIZE	FRAME	REMARKS
1	RH-7-1	SASH PROJECTED	3'-4" X 5'-1"	ALUMINUM	
2	RH-7-2	SASH PROJECTED	3'-7 1/4" X 4'-1"	ALUMINUM	

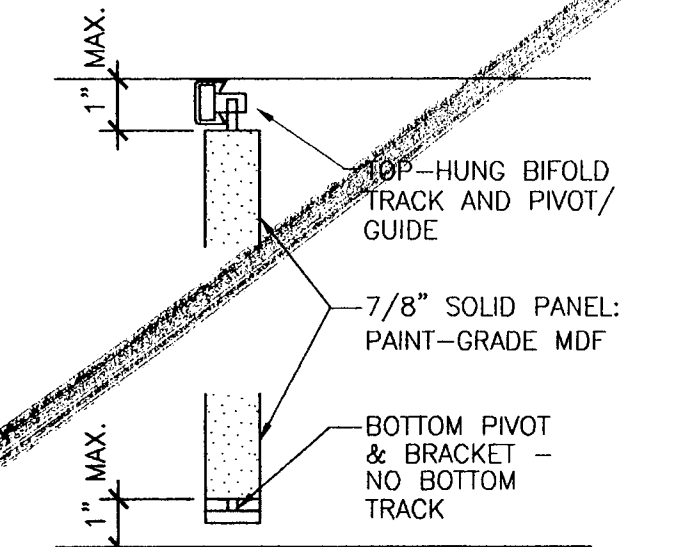
NEW WINDOWS AND ALUMINUM STOREFRONT.



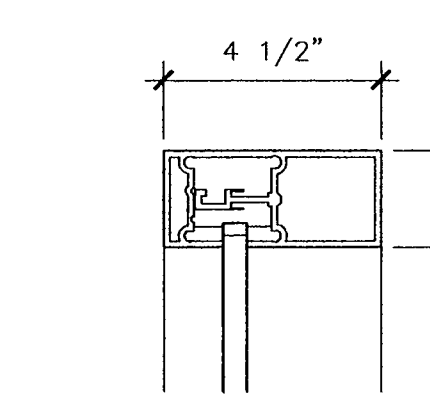
E7 DOOR TYPE ELEVATIONS
SCALE 1/4"=1'-0"



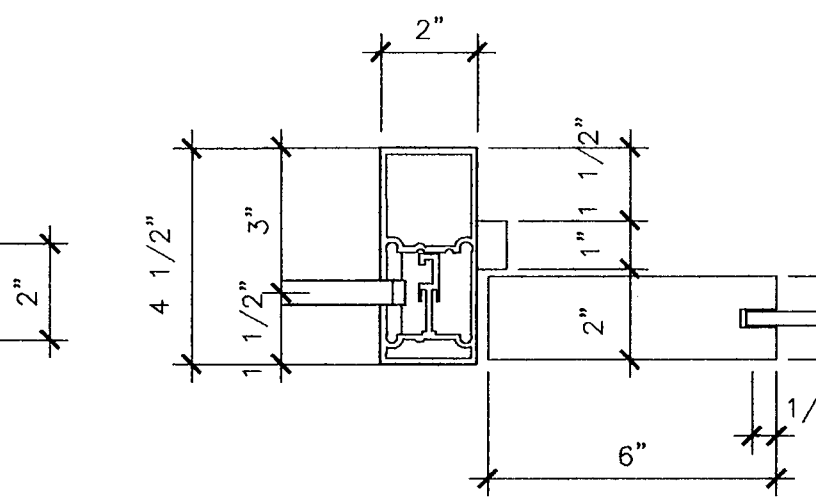
F6 SIGNAGE DIAGRAMS
SCALE: 1/4"=1'-0"



G7 HEAD/SILL DETAIL BIFOLD
SCALE 3"=1'-0"



G6 JAMB DETAIL
SCALE 3"=1'-0"



G5 JAMB DETAIL- CMU INTERIOR
SCALE 3"=1'-0"

DOOR SCHEDULE

DR. OPNG. NO.	SIZE	TYPE	DR. MATL.	FR. MATL.	J	H	S	LABEL	HOW SET	REMARKS
11-1.1	3'-0" X 6'-8" X 1 3/4"	A	WD	WD	-	-	-	-	HS1	AUTOMATIC DOOR OPENER W/ PUSH BUTTON
11-1.1	2'-8" X 6'-8" X 1 3/4"	B	WD	WD	-	-	-	-	HS9	
11-2.1	(2) 2'-6" X 6'-8" X 1 3/4"	A	WD	WD	-	-	-	-	HS3	
06-1.1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	ENLARGE OPENING TO RECEIVE NEW DOOR
06-2.1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	
06-3.1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	
06-5.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS9	
06-6.1	2'-2" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	
06-7.1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	
06-8.1	3'-0" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	-	HS5	ENLARGE OPENING TO RECEIVE NEW DOOR
06-9.1	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	-	HS5	
06-10.1	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	
01-2.2	4'-0" X 6'-8" X 1 3/4"	E	WD	WD	-	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-3.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	
01-3.2	6'-0" X 6'-8" X 1 3/4"	E	WD	WD	-	-	-	-	HS7	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-4.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	
01-6.1	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	-	HS5	
01-6.2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-6.3	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	
02-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	NEW ADA LEVER LOCKSET
02-2.2	3'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS7	TRACK MOUNTED ABV HEADER FOR BIFOLD
02-3.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	NEW ADA LEVER LOCKSET
02-4.1	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	-	HS5	
02-4.2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-2.1	2'-6" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS6	NEW ADA LEVER LOCKSET
01-2.2	4'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-3.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	NEW ADA LEVER LOCKSET
01-3.2	4'-0" X 6'-8" X 1 3/4"	E	WD	WD	-	-	-	-	HS7	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-4.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	
01-6.1	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	-	HS5	NEW ADA PEGHOLE HEIGHT & LEVER LOCKSET
01-6.2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-6.3	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	NEW ADA LEVER LOCKSET
02-2.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS6	NEW ADA LEVER LOCKSET
02-2.2	3'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS7	TRACK MOUNTED ABV HEADER FOR BIFOLD
02-3.1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	-	HS7	NEW ADA LEVER LOCKSET
02-4.1	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	-	HS5	NEW ADA LEVER LOCKSET
02-4.2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
E1.1	2'-8" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS8	NEW ADA LEVER LOCKSET
E1.2	2'-6" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS8	NEW ADA LEVER LOCKSET
E2.1	2'-8" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS8	NEW ADA LEVER LOCKSET
12-1.1	3'-0" X 6'-8" X 1 3/4"	G	HM	GL	-	-	-	-	HS1	1 EACH @ FLRS. 2 THRU 7
12-1.2	2'-8" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS1	1 EACH @ FLRS. 2 THRU 7
001.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS3	1 @ EACH FLR. (8-TOTAL)
002A.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS9	
002B.1	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	-	HS9	
002B.2	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	-	HS9	
002C.1	EXISTING FENCE TO REMAIN	-	-	-	-	-	-	-	-	SCRAP, PRIME & REPAINT (EXIST. MTL. GATE)
002D.1	2'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS4	
005A.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS9	
005B.1	3'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS9	
007.1	3'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS8	
008.1	2'-8" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS8	KNULED HARDWARE
008.2	2'-8" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS8	KNULED HARDWARE
009A.1	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	-	HS9	
009.1	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	-	HS9	
011A.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS8	KNULED HARDWARE
011B.1	2'-0" X 6'-8" X 1 3/4"	C	HM	HM	-	-	-	-	HS4	
012.1	3'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	-	HS9	
013.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS9	
014.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	-	HS3	1 @ EACH FLR. (8-TOTAL)

NOTES: SEE SPECIFICATIONS FOR DOOR HARDWARE.
PER ADA REQUIREMENTS PROVIDE KNULED HARDWARE FOR ALL MECHANICAL AND HAZARDOUS ROOMS. ALL NEW WOOD DOORS ARE SOLID CORE. ALL BIFOLD DOORS ARE FULL-HEIGHT. F.V. OPENING SIZES GLASS LITES IN HM DOORS TO BE 1/4" GLASS W/ STOPS, UNO.

SIGNAGE SCHEDULE-1314 W. 15TH STREET

LOCATION- ROOM NAME	TEXT- ROOM NO.	QTY.	BRAIL	SYMBOL
STAIR 1	STAIR 1	7	YES	NO
AD-1 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
AD-2 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
AD-3 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
AD-4 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
AD-5 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
AD-6 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
AD-7 (UNIT ENTRY)	SEE NOTE 1 BELOW	6	YES	NO
AD-8 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
AD-9 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO
STAIR 2	STAIR 2	7	YES	NO
MANAGEMENT OFFICE	MANAGEMENT OFFICE	1	YES	NO
OFFICE 06-1	OFFICE	1	YES	YES
OFFICE 06-2	OFFICE	1	YES	YES
OFFICE 06-3	OFFICE	1	YES	YES
BATH 06-6	TOILET	1	YES	YES
BATH 06-7	TOILET	1	YES	YES
LOBBY	LOBBY	1	YES	YES
TEL/ELEC. 002B	TEL/ELEC. ROOM	1	NO	NO
EJECTOR RM	EJECTOR ROOM	1	NO	NO
TOILET	TOILET	1	NO	NO
STAIR 1	STAIR 1	1	NO	NO
STORAGE 002A	STORAGE	1	NO	NO
STORAGE 005A	STORAGE	1	NO	NO
STORAGE 015B	STORAGE	1	NO	NO
STORAGE 009	STORAGE	1	NO	NO
STORAGE 009A	TOILET	1	NO	NO
BOILER RM. 008	TOILET	1	NO	NO
BOILER RM. 011A	STORAGE	1	NO	NO
STORAGE 012	STORAGE	1	NO	NO
STORAGE 013	BOILER ROOM	1	NO	NO
STORAGE 014	STORAGE	1	NO	NO
TOILET 011B	STORAGE	1	NO	NO
STAIR 2	STORAGE	1	NO	NO

- TEXT AT APT. UNIT ENTRY DOORS TO BE IDENTIFIED AS FOLLOWS: UNIT 101,102,.... 0
- CONTRACTOR TO PROVIDE & INSTALL BUILDING MTD. ADDRESS SIGNAGE AT LOCATION SA NEW SIGNAGE PLACARD SHALL BE MIN. 18" X 24" & IDENTIFY INDIVIDUAL BLDG. ADDR
- PROVIDE & INSTALL INDIVIDUAL BRAIL & RELATED SIGNAGE AT ALL NEW AND EXISTING GC TO COORDINATE FINAL / ACTUAL MOUNTING LOCATIONS WITH ARCHITECT & PROVIDE PRIOR TO INSTALLATION. FAILURE TO PROVIDE PROPOSED PLAN LAYOUT WILL RESULT IN

CHANGE.
CHICAGO HOUSING AUTHORITY

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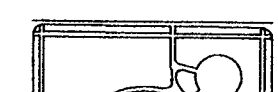
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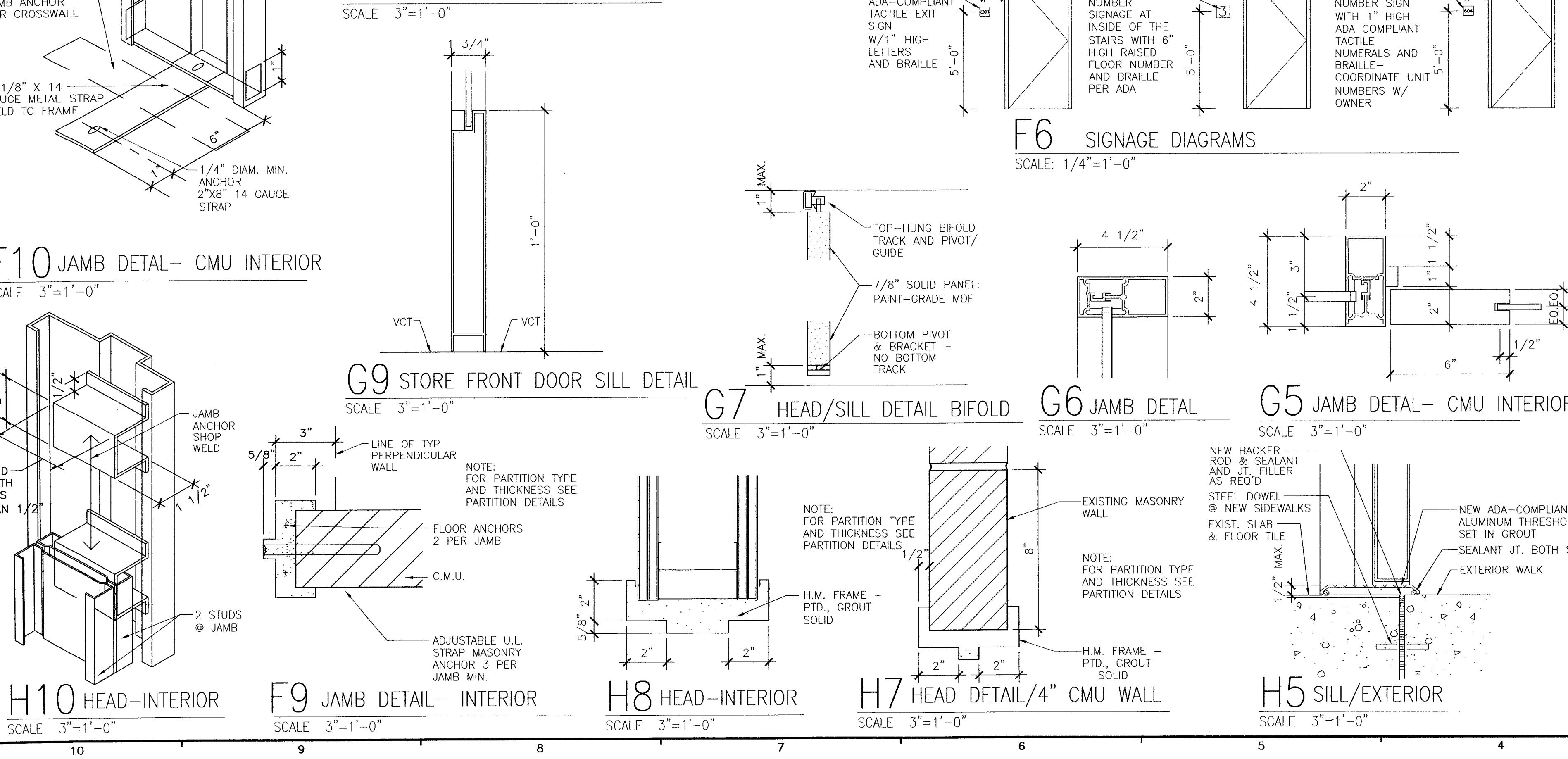
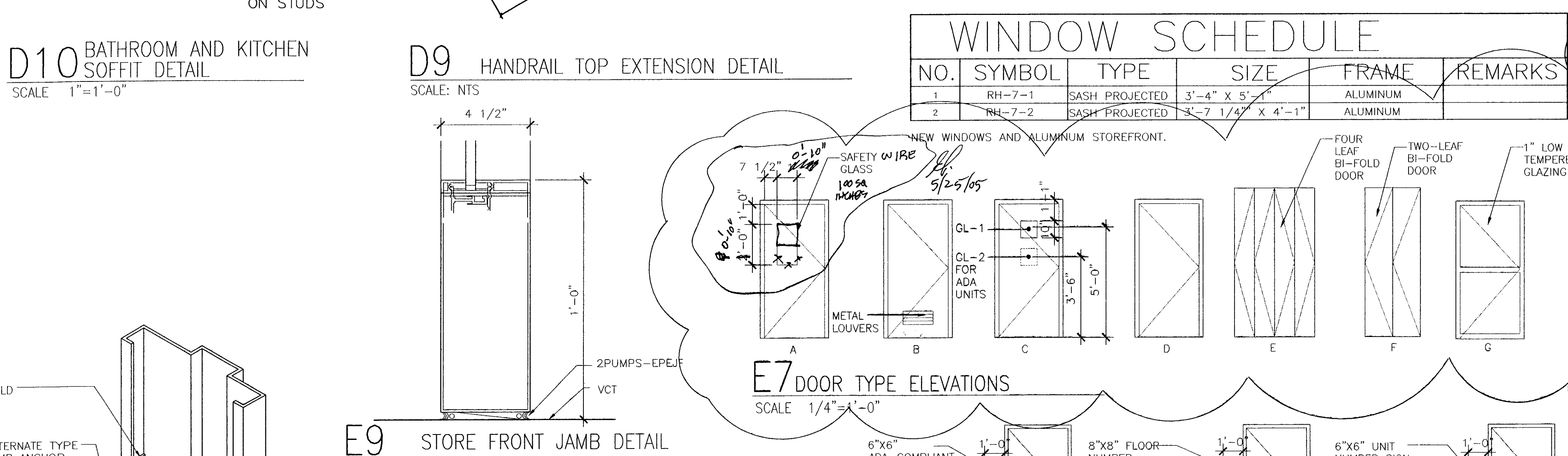
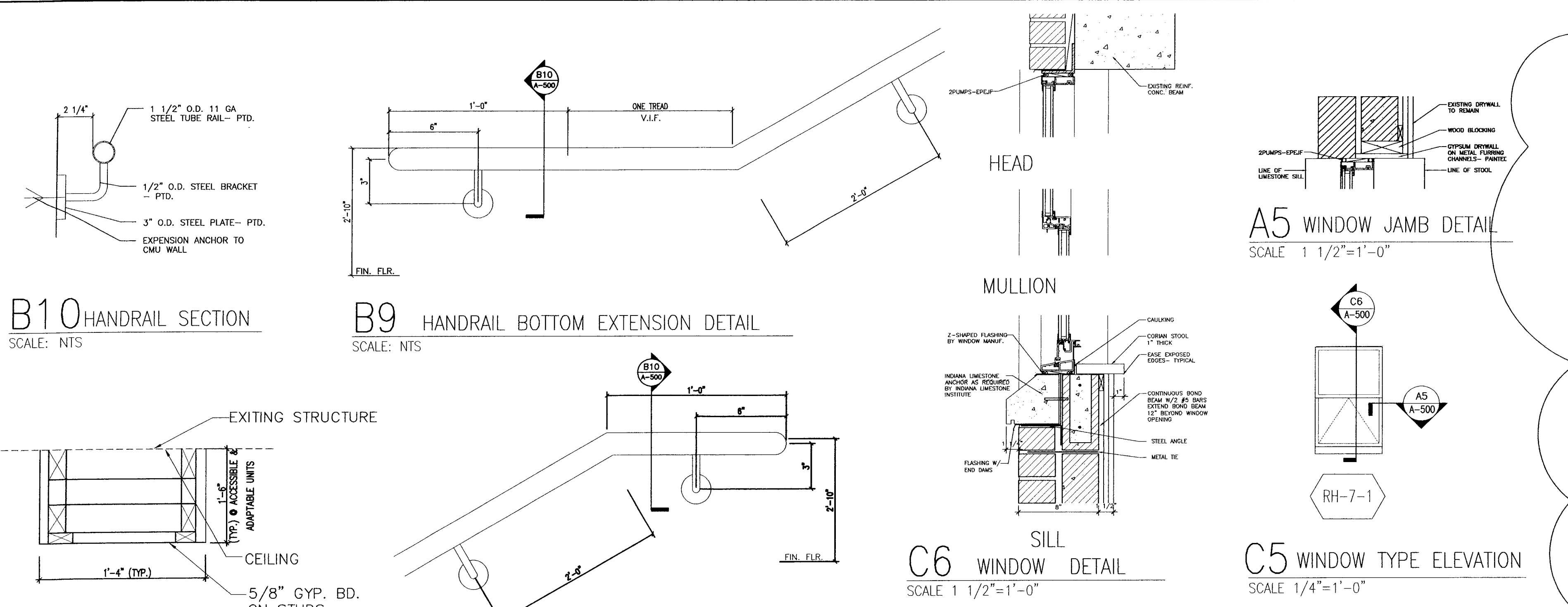
General Notes

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



VOID
let 7/14/05



DOOR SCHEDULE									
DR. NO.	SIZE	TYPE	DR. MATL.	FR. MATL.	FRAME	LABE	HDW. SET	REMARKS	
1-1-1	3'-0" X 6'-8" X 1 3/4"	A	WD	WD	-	-	-	HS1	AUTOMATIC DOOR OPENER W/PUSH BUTTON
1-1-1	2'-8" X 6'-8" X 1 3/4"	B	WD	WD	-	-	-	HS9	
1-2-1	(2) 2'-6" X 6'-8" X 1 3/4"	A	WD	WD	-	-	-	HS3	
06-1-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS7	ENLARGE OPENING TO RECEIVE NEW DOOR
06-2-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS7	
06-3-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS7	
06-5-1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS9	
06-6-1	2'-2" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS7	
06-7-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS5	ENLARGE OPENING TO RECEIVE NEW DOOR
06-8-1	3'-0" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	HS5	
06-8-2	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	HS5	
06-8-3	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	C	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-2-1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS6	
01-2-2	4'-0" X 6'-8" X 1 3/4"	E	WD	WD	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-3-1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS6	
01-3-2	6'-0" X 6'-8" X 1 3/4"	E	WD	WD	-	-	-	HS7	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-4-1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS5	
01-6-1	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	C	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-6-2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-6-3	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS6	
02-2-1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS6	NEW ADA LEVER LOCKSET
02-2-2	3'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	TRACK MOUNTED ABV HEADER FOR BIFOLD
02-3-1	2'-6" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS7	NEW ADA LEVER LOCKSET
02-4-1	2'-8" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	HS5	
02-4-2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-2-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS6	NEW ADA LEVER LOCKSET
01-2-2	4'-0" X 6'-8" X 1 3/4"	E	WD	WD	-	-	-	HS6	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-3-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS6	NEW ADA LEVER LOCKSET
01-3-2	4'-0" X 6'-8" X 1 3/4"	E	WD	WD	-	-	-	HS7	NEW ADA LEVER LOCKSET
01-4-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS5	NEW ADA PEHOLE HEIGHT & LEVER LOCKSET
01-6-1	3'-0" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	C	TRACK MOUNTED ABV HEADER FOR BIFOLD
01-6-2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	HS6	NEW ADA LEVER LOCKSET
01-6-3	2'-2" X 6'-8" X 1 3/4"	B	WD	WD	-	-	-	HS6	NEW ADA LEVER LOCKSET
02-2-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS6	NEW ADA LEVER LOCKSET
02-2-2	3'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	TRACK MOUNTED ABV HEADER FOR BIFOLD
02-3-1	3'-0" X 6'-8" X 1 3/4"	D	WD	WD	-	-	-	HS7	NEW ADA LEVER LOCKSET
02-4-1	3'-0" X 6'-8" X 1 3/4"	C	WD	WD	-	-	-	HS5	NEW ADA LEVER LOCKSET
02-4-2	2'-0" X 6'-8" X 1 3/4"	F	WD	WD	-	-	-	-	TRACK MOUNTED ABV HEADER FOR BIFOLD
E1.1	2'-8" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	HS8	NEW ADA LEVER LOCKSET
E1.2	2'-6" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	HS8	NEW ADA LEVER LOCKSET
E2.1	2'-8" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	HS8	NEW ADA LEVER LOCKSET
12-1-1	3'-0" X 6'-8" X 1 3/4"	G	HM	GL	-	-	-	HS1	1 EACH @ FLRS. 2 THRU 7
12-1-2	2'-8" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	HS1	1 EACH @ FLRS. 2 THRU 7
001.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	B	1 @ EACH FLR. (8-TOTAL)
002A.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	B	
002B.1	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	B	
002B.2	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	B	
002C.1	EXISTING FENCE TO REMAIN	-	-	-	-	-	-	-	SCRAP, PRIME & REPAINT (EXIST. MTL. GATE)
002D.1	2'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	HS4	
005A.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	B	
005B.1	3'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	B	
007.1	3'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	B	
008.1	2'-8" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	HS8	KNULD HARDWARE
008.2	2'-8" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	HS8	KNULD HARDWARE
009A.1	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	HS9	KNULD HARDWARE
009.1	3'-0" X 6'-8" X 1 3/4"	B	HM	HM	-	-	-	B	
011A.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	B	
011B.1	2'-0" X 6'-8" X 1 3/4"	C	HM	HM	-	-	-	B	
012.1	3'-0" X 6'-8" X 1 3/4"	D	HM	HM	-	-	-	B	
013.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	B	
014.1	3'-0" X 6'-8" X 1 3/4"	A	HM	HM	-	-	-	B	

SIGNAGE SCHEDULE-1314 W. 15TH STREET									
LOCATION- ROOM NAME	TEXT- ROOM NO.	QTY.	BRIL	SYMBOL	MOUNTING	DIR. ARROW			
STAIR 1	STAIR 1	7	YES	NO	WALL	NO			
AD-1 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
AD-2 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
AD-3 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
AD-4 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
AD-5 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
AD-6 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
AD-7 (UNIT ENTRY)	SEE NOTE 1 BELOW	6	YES	NO	WALL	NO			
AD-8 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
AD-9 (UNIT ENTRY)	SEE NOTE 1 BELOW	7	YES	NO	WALL	NO			
STAIR 2	STAIR 2	7	YES	NO	WALL	NO			
MANAGEMENT OFFICE	MANAGEMENT OFFICE	1	YES	NO	WALL	NO			
OFFICE 06-1	OFFICE	1	YES	YES	WALL	NO			
OFFICE 06-2	OFFICE	1	YES	YES	WALL	NO			
OFFICE 06-3	OFFICE	1	YES	YES	WALL	NO			
BATH 06-6	TOILET	1	YES	YES	WALL	NO			
BATH 06-7	TOILET	1	YES	YES	WALL	NO			
LOBBY	LOBBY	1	YES	YES	WALL	NO			
TEL/ELEC. 002B	TEL/ELEC. ROOM	1	NO	NO	DOOR	NO			
EJECTOR RM	EJECTOR ROOM	1	NO	NO	DOOR	NO			
TOILET	TOILET	1	NO	NO	DOOR	NO			
STAIR 1	STAIR 1	1	NO	NO	DOOR	NO			
STORAGE 002A	STORAGE	1	NO	NO	DOOR	NO			
STORAGE 005A	STORAGE	1	NO	NO	DOOR	NO			
STORAGE 015B	STORAGE	1	NO	NO	DOOR	NO			
STORAGE 009	STORAGE	1	NO	NO	DOOR	NO			
STORAGE 009A	TOILET	1	NO	NO	DOOR	NO			
BOILER RM. 008	TOILET	1	NO	NO	DOOR	NO			
BOILER RM. 011A	STORAGE	1	NO	NO	DOOR	NO			
STORAGE 012	STORAGE	1	NO	NO	DOOR	NO			
STORAGE 013	BOILER ROOM	1	NO	NO	DOOR	NO			
STORAGE 014	STORAGE	1	NO	NO	DOOR	NO			
TOILET 011B	STORAGE	1	NO	NO	DOOR	NO			
STAIR 2	STORAGE	1	NO	NO	DOOR	NO			

CHANGE.

CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
626 West Jackson 3rd Floor
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

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General Notes

Key Plan

1314 WEST 15TH STREET

5 10.8.04 ISSUED FOR BID

4 09.07.04 ISSUED FOR 100% CD REVIEW & PERMIT

3 8.10.04 ISSUED FOR 50% CD'S

2 3.29.04 ISSUE FOR PRE-PROPOSAL REVIEW

1 12.12.03 ISSUED FOR HUD PREAPPLICATION

NO. DATE DESCRIPTION BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

DOORS, WINDOWS SCHEDULES AND DETAILS

1314 WEST 15TH STREET HUD NUMBER

FAMILY DEVELOPMENT

DATE 10/08/04 SCALE JOB NO. 2003005.01 SHEET NUMBER

DRAWN BY ECS CHECKED ECS APPROVED ECS

A-500

C10 ADA BATH ELEVATION

SCALE 1/2"=1'-0"

E10 BATH ELEVATION
SCALE 1/2"=1'-0"

C6 ADA BATH ELEVATION
SCALE 1/2"=1'-0"

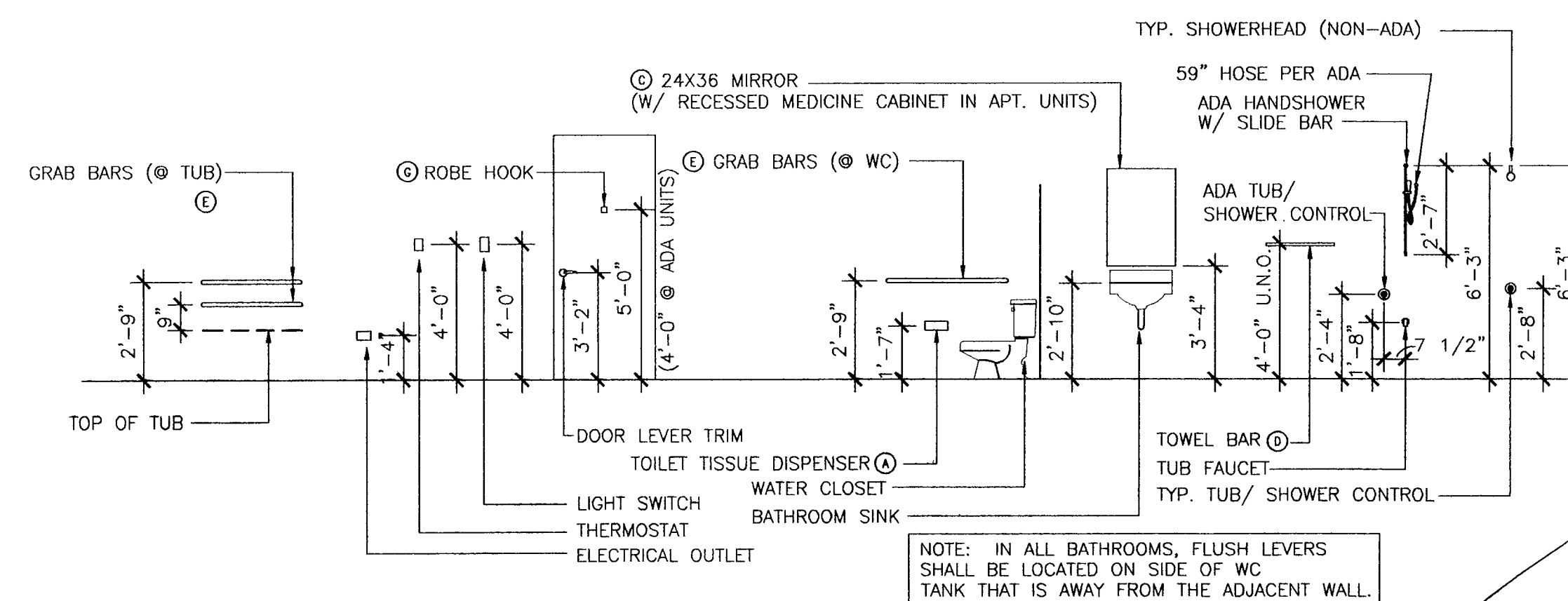
E6 BATH ELEVATION
SCALE 1/2"=1'-0"

		ROOM FINISH SCHEDULE																																											
RM. NO.	ROOM NAME	FLOOR										BASE										WALLS										W.S.V.		CEILING										CLG. HGT.	REMARKS
		CONCRETE	VINYL COMP. TILE	WALK OFF MAT	EXISTING TO REMAIN							NO BASE	4 VINYL	3 3/8 X 3/8" WOOD							QUIL - PAINTED	DRYWALL - PAINTED	EXISTING TO REMAIN									CONCRETE - PTD.	ACOUSTICAL PANEL	EXISTING TO REMAIN											
		1	2	3	4	5	6	7	8	9	10	1	2	3	4	5	6	7	8	9	10	1	2	3	4	5	6	7	8	9	10	1	2	3	4	5	6	7	8	9	10				
001	STAIR #1	●										●																																	
002A	INACTIVE STORAGE																																												
002B	TELE & ELEC RM	●										●																																	
002C	ELECTOR RM	●										●																																	
002D	TOILET	●										●																																	
003	INACTIVE STORAGE	●										●																																	
004	CORRIDOR	●										●																																	
005A	TENANT STORAGE	●										●																																	
005B	TENANT STORAGE	●										●																																	
006	LOBBY	●										●																																	
007	INGIN/STOR RM	●										●																																	
008	BOILER ROOM	●										●																																	
009A	INACTIVE STORAGE	●										●																																	
009B	INACTIVE STORAGE	●										●																																	
010	CORRIDOR	●										●																																	
011A	STORAGE RM	●										●																																	
011B	TOILET	●										●																																	
012	STORAGE RM	●										●																																	
013	STORAGE RM	●										●																																	
014	STAIRS #2	●										●																																	

[illegible]

TOILET ACCESSORIES SCHEDULE

- (A) TOILET PAPER DISPENSER (D) TOWEL BAR (G) ROBE HOOK
(B) RECESSED SOAP DISH (E) GRAB BAR
(C) MIRROR/ RECESSED MEDICINE CABINET (F) SHOWER CURTAIN ROD



H4 TYPICAL MOUNTING ELEVATIONS

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
626 West Jackson 3rd Floor
Chicago, Illinois 60661

S M I T H H A R D I N G

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

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General Notes

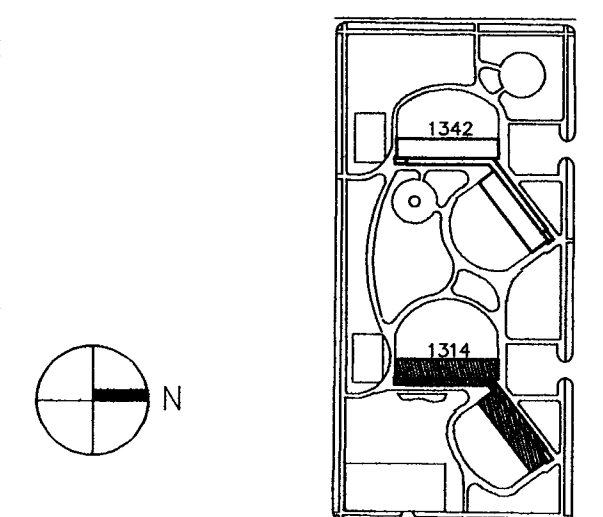
DEPARTMENT OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION

To: SAC, New York (100-67891)
From: SAC, New Orleans (100-11111) (P)
Subject: [REDACTED] - RACIAL MATTERS
[REDACTED]

SEP 16 2005

RAFAEL HERNANDEZ
Executive Director

Key Plan   DENOTES SCOPE OF WORK / CONTRACT LIMIT

 DENOTES SCOPE OF WORK / CONTRACT LIMIT

6	00.00.00	RE-ISSUED FOR BID	
5	10.8.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

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CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

ROOM FINISH SCHEDULE AND BATHROOM ELEVATIONS

1314 W. 15TH ST.
FAMILY DEVELOPMENT

HUD NUMBER
RH-5

DATE 10/08/04	SCALE AS NOTED	JOB NO. 2003005.01	SHEET NUMBER A-600
DRAWN KW	CHECKED ECS	APPROVED ECS	

A-600.

CHANGE.

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Capital Improvement Program
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SMITH HARDING

Architecture 224 South Michigan Avenue
Suite 245
Chicago, Illinois 60604
Construction Management Chicago, Illinois 60604

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Willows Springs, Illinois
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MATRIX ENGINEERING
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Structural Engineers

Bid Documents

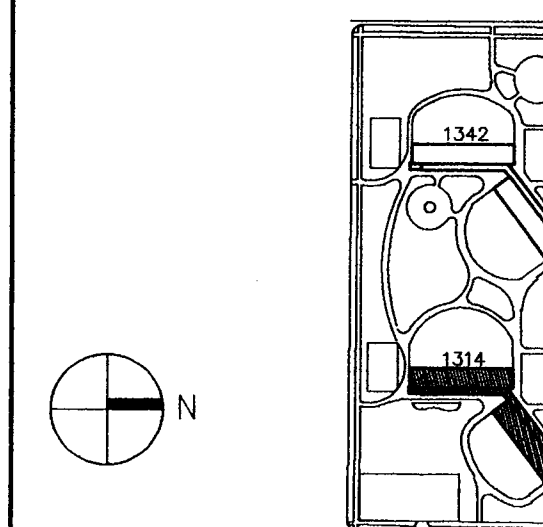
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General Notes

NOTE: PROVIDE WALL-SWITCH FOR UNDER-CABINET LIGHTS AND RANGE HOOD WITHIN ACCESSIBLE REACH AT ALL ACCESSIBLE UNITS.

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



NO.	DATE	DESCRIPTION	BY
6	00.00.00	RE-ISSUED FOR BID	
5	10.8.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

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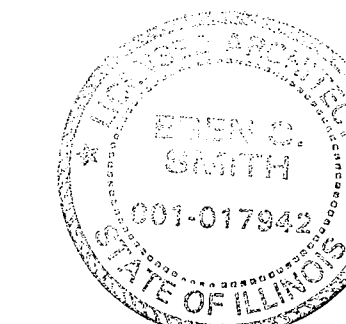
FAX (312) 655-1105

KITCHEN INTERIOR ELEVATIONS

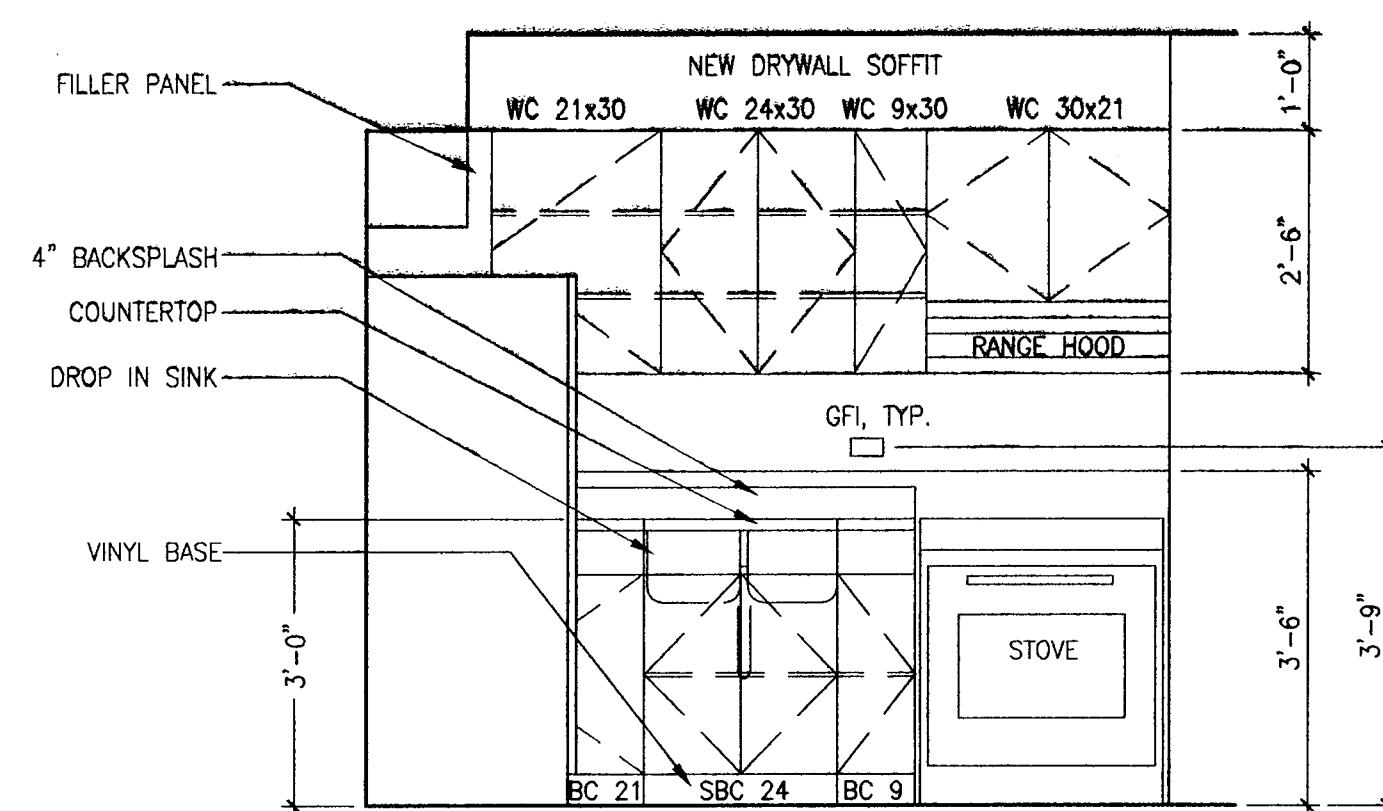
1314 W. 15TH ST.
FAMILY DEVELOPMENT

HUD NUMBER
RH-5

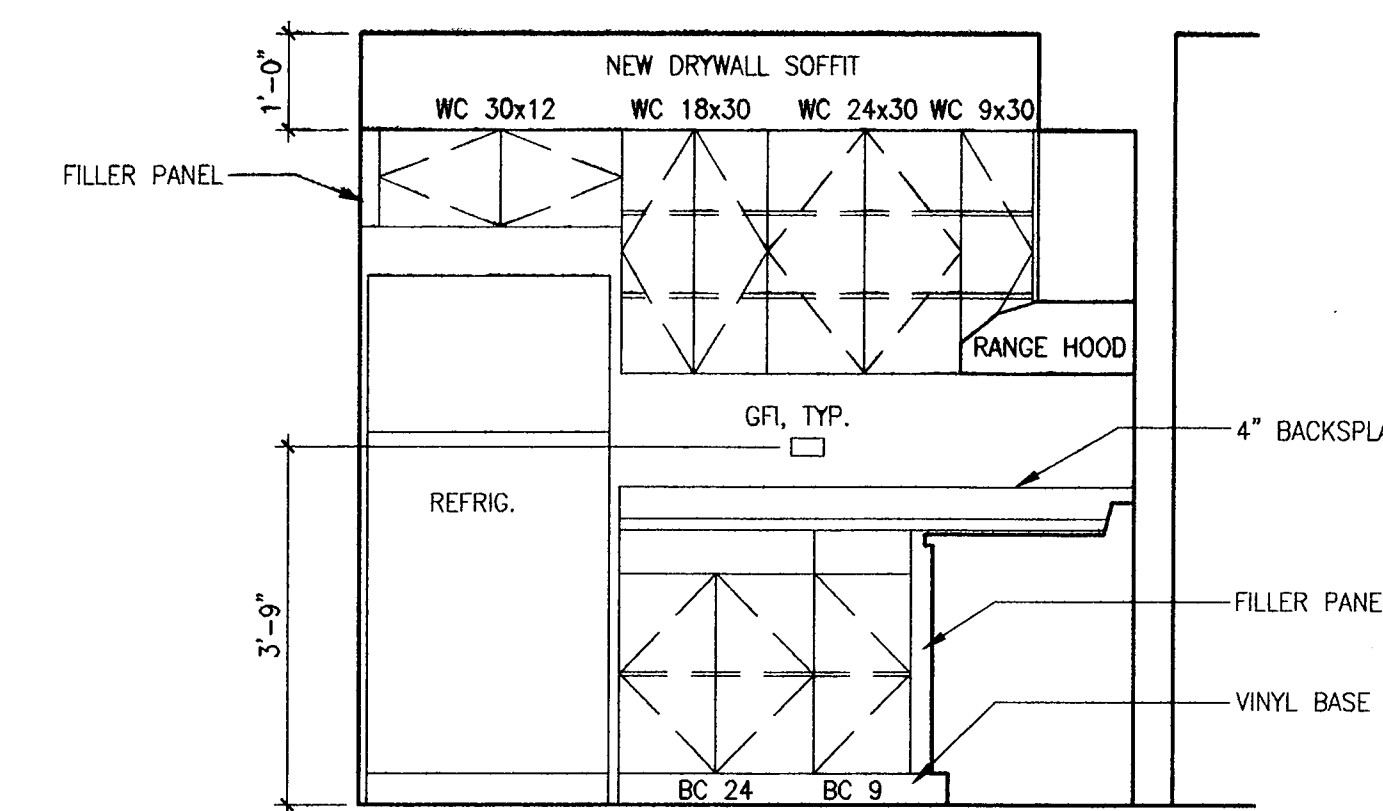
DATE 10/08/04	SCALE AS NOTED	JOB NO. 2003005.01	SHEET NUMBER A-601
DRAWN KW	CHECKED ECS	APPROVED ECS	



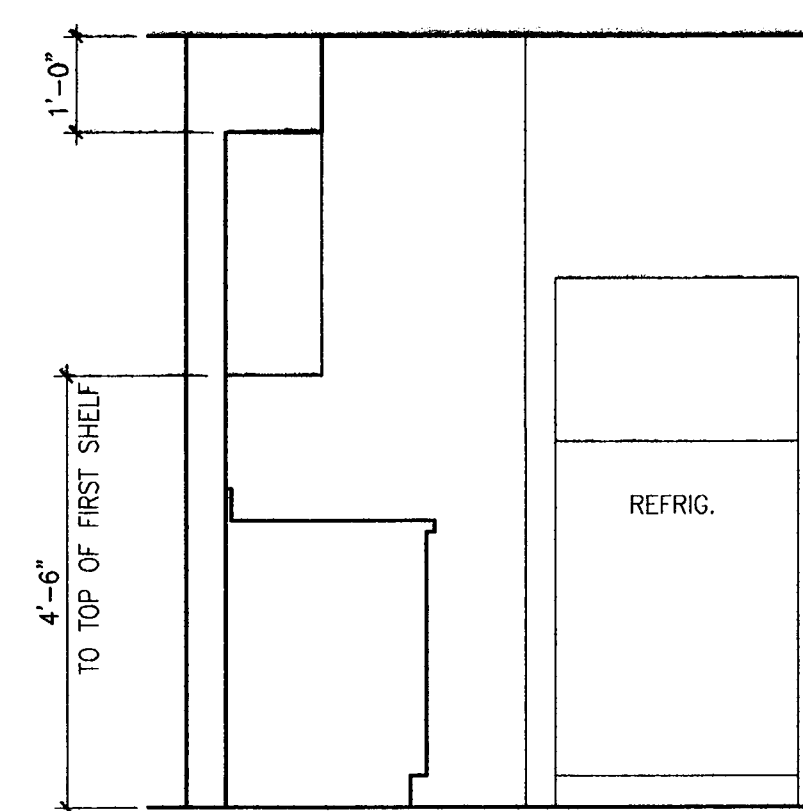
RAFAEL HERNANDEZ
11/2/04
ENTIRE
etc.



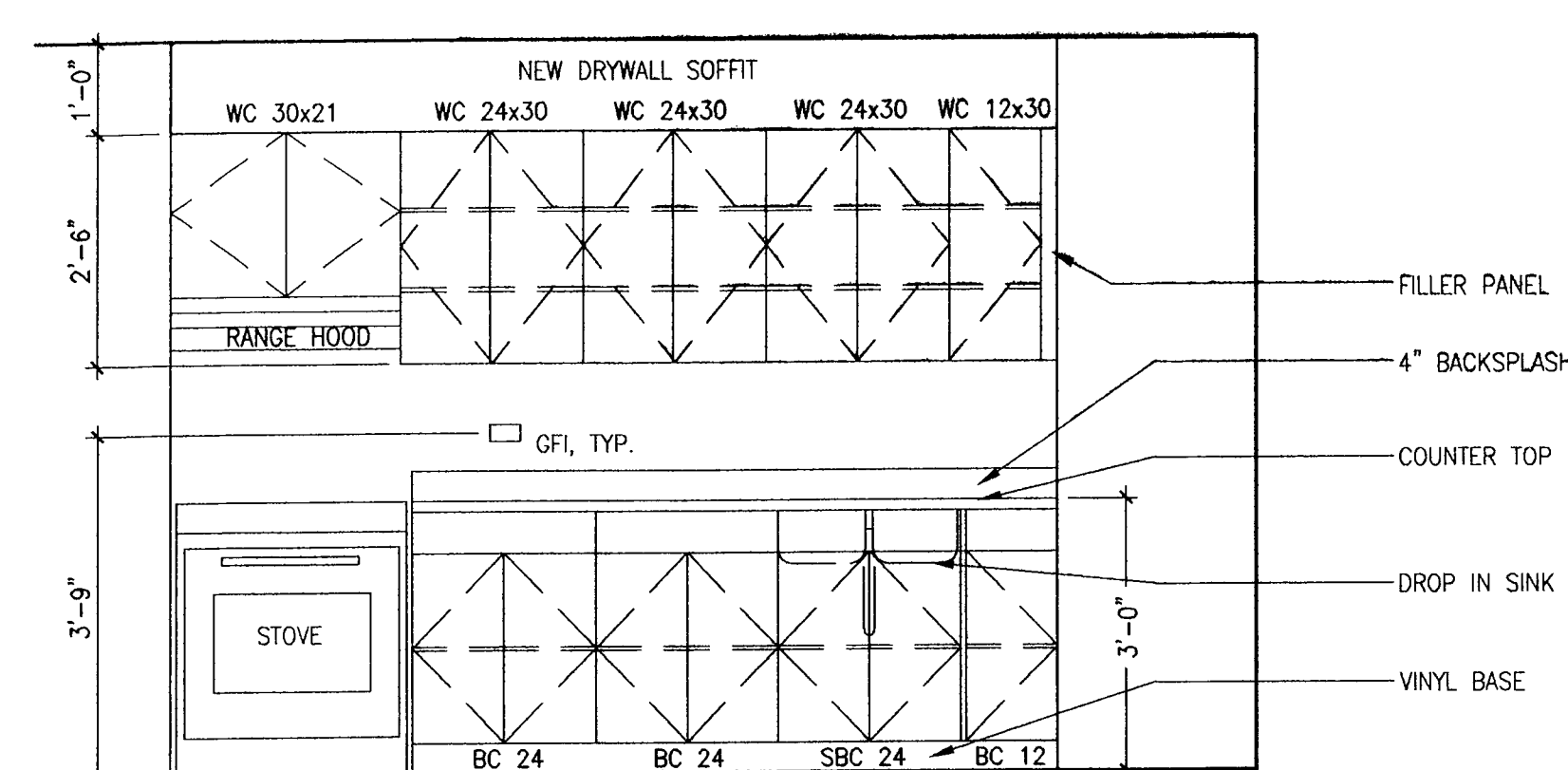
C5 KITCHEN ELEVATION (1 BDRM)
SCALE 1/2"=1'-0"



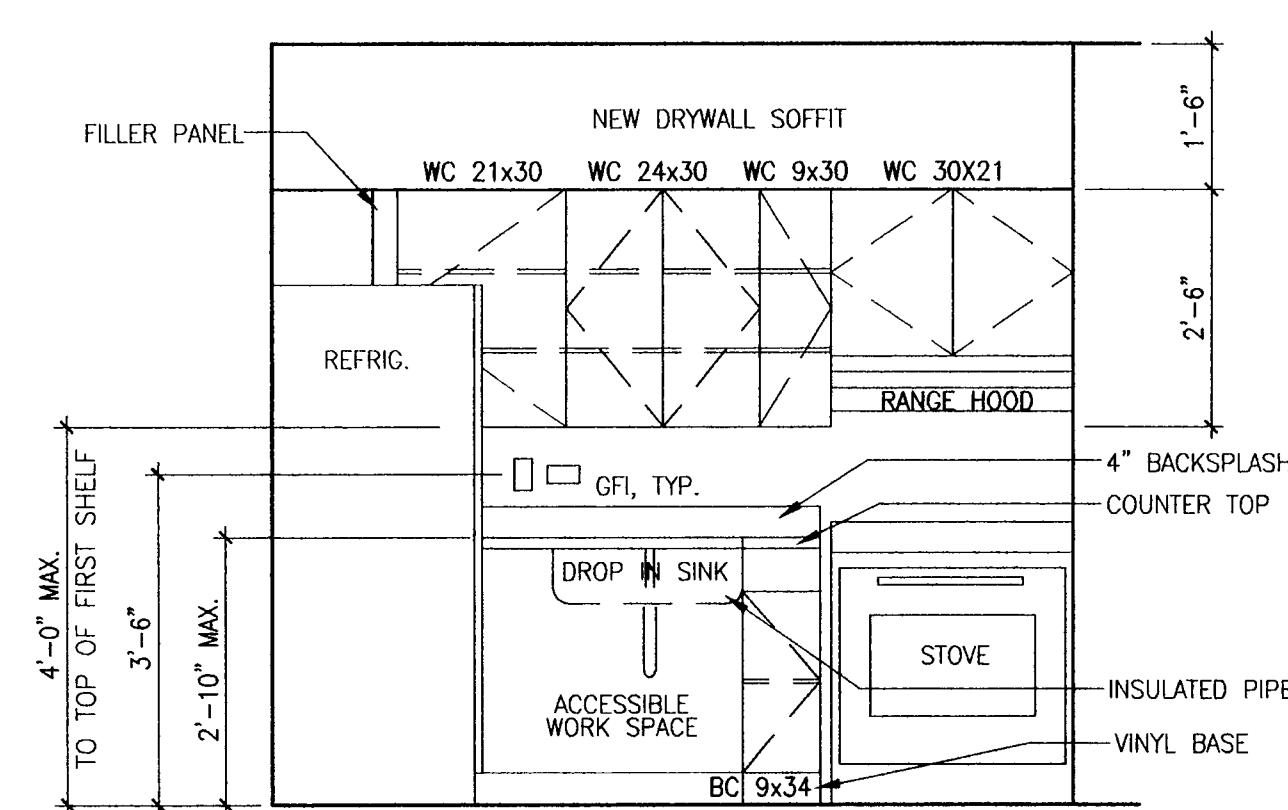
C2 KITCHEN ELEVATION (1 BDRM)
SCALE 1/2"=1'-0"



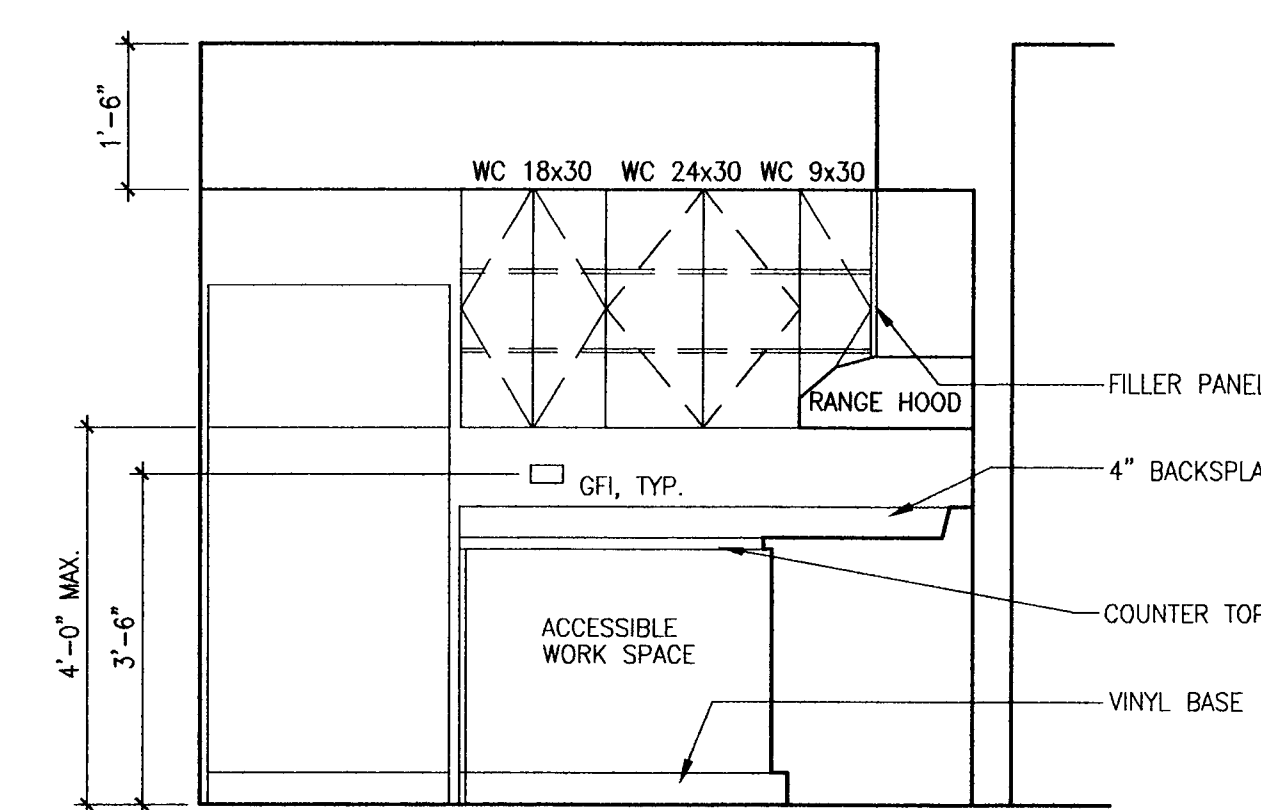
C7 KITCHEN ELEVATION (2 BDRM)
SCALE 1/2"=1'-0"



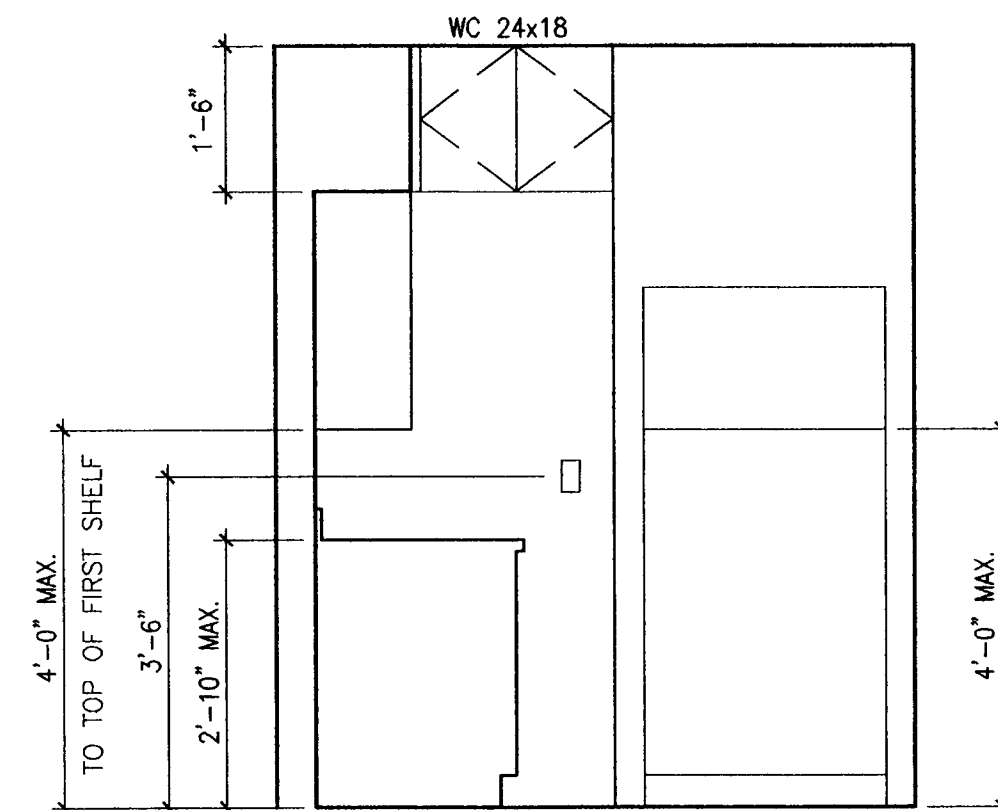
C10 KITCHEN ELEVATION (2 BDRM)
SCALE 1/2"=1'-0"



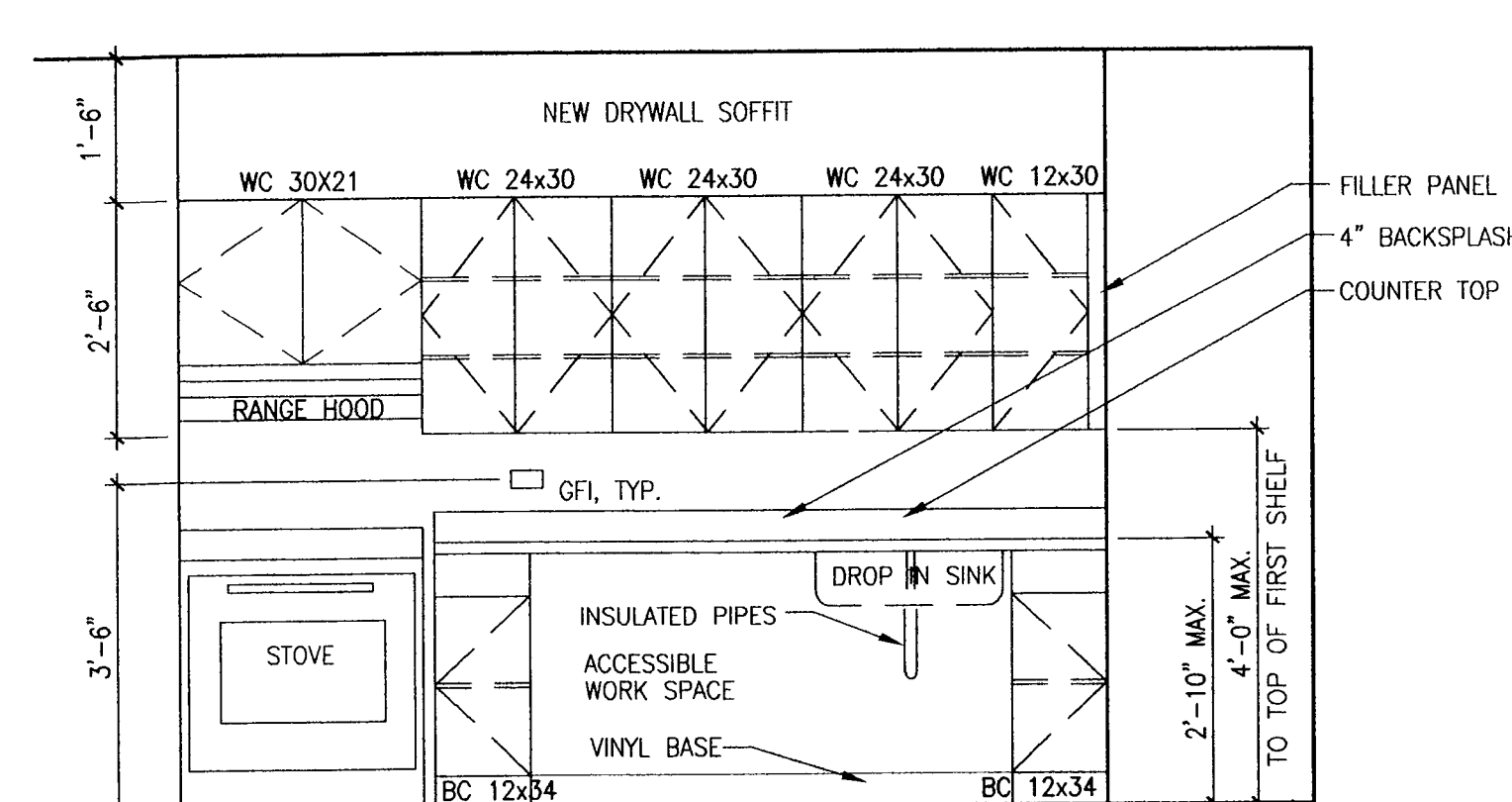
E5 ADA KITCHEN ELEVATION (1 BDRM)
SCALE 1/2"=1'-0"



E2 ADA KITCHEN ELEVATION (1 BDRM)
SCALE 1/2"=1'-0"



E7 ADA KITCHEN ELEVATION (2 BDRM)
SCALE 1/2"=1'-0"



E10 ADA KITCHEN ELEVATION (2 BDRM)
SCALE 1/2"=1'-0"

PROVIDE REMOTE SWITCH FOR STOVE EXHAUST AT ALL ACCESSIBLE UNITS.
FINISHED FLOOR TO EXTEND UNDERNEATH CABINETS AT ADAPTABLE UNITS.
RANGES IN ADA ACCESSIBLE UNITS TO HAVE FRONT CONTROLS.

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FINISHED FLOOR TO EXTEND UNDERNEATH CABINETS AT ADAPTABLE UNITS.
RANGES IN ADA ACCESSIBLE UNITS TO HAVE FRONT CONTROLS.

FINISHED FLOOR TO EXTEND UNDERNEATH CABINETS AT ADAPTABLE UNITS.

DESIGN CRITERIA

1. BUILDING CODE: CHICAGO BUILDING CODE, LATEST EDITION.
2. WIND LOADS:
- | | |
|--|---------|
| MAIN WIND FORCE RESISTING SYSTEM | 20 PSF |
| COMPONENTS & CLADDING (NOT AT CORNERS) | 25 PSF |
| COMPONENTS & CLADDING (AT CORNERS) | 30 PSF |
| ROOFING MATERIAL (AT EDGES) | -40 PSF |
3. SNOW LOADS:
- | | |
|---------------------|--------------------|
| FLAT ROOFS | 25 PSF |
| DRIFTING SNOW LOADS | PER ANSI/ASCE 7-98 |

GENERAL REQUIREMENTS

1. DRAWINGS ARE NOT TO BE SCALED IN THE FIELD. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWN DIMENSIONS. VERIFY ALL DISCREPANCIES, ERRORS OR OMISSIONS WITH ARCHITECT BEFORE PROCEEDING WITH WORK.
2. VERIFY SITE SURVEY AND DIMENSIONS WITH ACTUAL CONDITIONS IN FIELD. VERIFY ANY DISCREPANCIES, CONFLICTING CONDITIONS OR DIMENSIONS WITH ARCHITECT.
3. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH ALL DRAWINGS FOR THE PROJECT.
4. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL PLANS AND SPECIFICATIONS, VERIFYING ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND IMMEDIATELY NOTIFYING ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.
5. SUBMIT SHOP DRAWINGS PREPARED BY CONTRACTORS, SUPPLIERS, ETC. FOR REVIEW BY STRUCTURAL ENGINEER FOR CONFORMANCE WITH DESIGN INTENT. DO NOT START WORK WITHOUT SUCH REVIEW. GENERAL CONTRACTOR MUST REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITAL TO STRUCTURAL ENGINEER.
6. GENERAL CONTRACTOR MUST CHECK WITH ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND OTHER DISCIPLINES FOR THE SIZE AND LOCATION OF OPENINGS, SLEEVES, CHASES, CONDUITS, DEPRESSED AREAS, FLOOR FINISH FILLS, ANCHORS, HANGERS, CURBS, EQUIPMENT SUPPORTS, INSERTS, CONCRETE PADS AND OTHER MISCELLANEOUS ITEMS CONNECTED WITH CONCRETE CONSTRUCTION BEFORE PLACING CONCRETE.
7. CONTRACTORS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY REVIEW OF SHOP DRAWINGS AND BY PERIODIC OBSERVATION OF CONSTRUCTION, FOR THE FOLLOWING:
- A. COMPLIANCE WITH CONTRACT DOCUMENTS.
- B. DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS.
- C. FABRICATION PROCESS AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.).
- D. WORK OF THE CONTRACTOR AND THE VARIOUS TRADES.
- E. SAFE CONDITIONS AT THE JOB SITE.
8. ALL MATERIAL DESIGN AND CONSTRUCTION MUST CONFORM TO ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
9. SECTIONS, DETAILS AND NOTES ARE INTENDED TO APPLY TO SIMILAR SITUATIONS/ CONDITIONS ELSEWHERE.
10. LOCATION OF ALL CONSTRUCTION JOINTS TO BE REVIEWED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
11. PROVIDE TEMPORARY SHORING AND SUPPORT AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY DURING EXECUTION OF THE WORK.
12. ELEVATOR EQUIPMENT CONTRACTOR SHALL SUBMIT DETAILS OF EQUIPMENT INSTALLATION ON STRUCTURAL ITEMS FOR STRUCTURAL ENGINEER'S REVIEW. THIS REVIEW WILL BE LIMITED TO THE ADEQUACY OF THE STRUCTURAL ITEM FOR THE PROPOSED IMPOSED LOADS. SHOULD THE STRUCTURAL ITEM NOT BE ADEQUATE, THE CONTRACTOR SHALL DESIGN AN ALTERNATE SCHEME ACCEPTABLE TO THE STRUCTURAL ENGINEER. THE COST FOR THE DESIGN AND INSTALLATION OF AN ACCEPTABLE ELEVATOR EQUIPMENT SUPPORT SYSTEM IS THE RESPONSIBILITY OF THE ELEVATOR CONTRACTOR.
13. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
14. PROVIDE THE ARCHITECT/ENGINEER ACCESS TO THE WORK IN PREPARATION OR PROGRESS, WHEREVER LOCATED.
15. DESIGN REQUIREMENTS SHALL BE FOLLOWED ENTIRELY REGARDLESS OF WHETHER THEY ARE GIVEN BY BOTH THE SPECIFICATION AND DRAWINGS OR BY EITHER ONE ONLY.
16. DESIGN, PROVIDE, INSTALL AND MAINTAIN ALL UNDERPINNING, SHORING, BRACING, ETC. AS MAY BE REQUIRED FOR THE SUPPORT AND PROTECTION OF SURROUNDING EXISTING PROPERTY, BUILDINGS, UTILITIES, UTILITY EQUIPMENT, ETC. THE COST OF THIS WORK IS INCIDENTAL TO THE CONTRACT.

DEMOLITION AND SHORING

1. DESIGN, PROVIDE, INSTALL, AND MAINTAIN TEMPORARY BRACING, SHORING AND/OR EARTH RETENTION SYSTEM AS REQUIRED TO PROTECT ALL EXISTING STRUCTURAL MEMBERS TO REMAIN PRIOR TO DEMOLITION. SUBMIT DESIGN, LAYOUT, ETC. FOR ARCHITECT'S REVIEW PRIOR TO EXECUTION.
2. REMOVE AND DISPOSE OF MATERIALS AND ITEMS OFF SITE EACH DAY.
3. PROTECT AND STORE ITEMS NOTED TO BE REINSTALLED.
4. PROTECT ALL CONSTRUCTION WHICH IS TO REMAIN.

EXCAVATION & FOUNDATION

1. USE APPROVED METHODS TO EFFECTIVELY MAINTAIN THE CONSTRUCTION AREA IN A Dewatered STATE.
2. ALL EXCAVATIONS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL GOVERNING GUIDELINES.
3. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING UTILITIES FROM DAMAGE. METHODS OF PROTECTION SHALL BE APPROVED BY THE UTILITY. THE CONTRACTOR SHALL BRACE AND SUPPORT THE UTILITIES TO PREVENT SETTLEMENT, DISPLACEMENT, OR DISTURBANCE TO THE UTILITIES. THE COST OF THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
4. COORDINATE EXCAVATION WITH THE FOUNDATION, UNDERFLOOR DRAINAGE SYSTEM AND UNDERGROUND UTILITIES.
5. THE CONTRACTOR SHALL USE CARE IN GRADING AND EXCAVATION NEAR EXISTING ITEMS TO REMAIN. DAMAGE TO THE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
6. FOUNDATION DESIGN WAS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2500 PSF. SOIL BEARING CAPACITY MUST BE VERIFIED BY A QUALIFIED TESTING AGENCY, RETAINED BY THE OWNER, PRIOR TO CONSTRUCTION.
7. WHERE SUITABLE BEARING SOILS ARE SOME DISTANCE BELOW THE PROPOSED BOTTOM OF FOOTING ELEVATION, THE UNSUITABLE SOIL MAY BE EXCAVATED AND REPLACED WITH A WELL-GRADED, ENGINEERED FILL. THE FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING THE LIMITS SPECIFIED IN LOOSE THICKNESS AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557 DENSITY. ALTERNATIVELY, THE FOOTING MAY BE PLACED AT THE ELEVATION OF THE SUITABLE SOILS.

EXCAVATION & FOUNDATION (CONTINUED)

8. ALL EXTERIOR FOOTINGS SHALL EXTEND BELOW THE MAXIMUM ANTICIPATED DEPTH OF FROST. (3'-6" BELOW ADJACENT FINISH GRADE, IF NOT SHOWN).
9. IMMEDIATELY NOTIFY THE ARCHITECT IN THE EVENT THAT THE SOILS CONDITIONS ENCOUNTERED VARY FROM THOSE SHOWN ON THE BORING LOGS.
10. GENERAL MACHINE EXCAVATION SHALL STOP NOT LESS THAN 4" ABOVE ELEVATION OF BOTTOM OF FOOTINGS. FINAL EXCAVATION TO UNDISTURBED SOIL, AT REQUIRED FOOTING ELEVATION, SHALL BE DONE BY HAND NOT MORE THAN 12 HOURS BEFORE FOOTING IS PLACED.
11. ALL NECESSARY CHANGES IN ELEVATION OF WALL FOOTINGS SHALL BE MADE IN NOT MORE THAN 2'-0" VERTICAL AND AT LEAST 4'-0" HORIZONTAL, UNLESS NOTED OTHERWISE.
12. ALL FOUNDATION EXCAVATION SHALL BE CLEAN AND DRY PRIOR TO PLACING CONCRETE. BOTTOM SHALL BE INSPECTED AND DESIGN BEARING CAPACITY CONFIRMED BEFORE PLACING FOOTING.
13. DO NOT PLACE FOOTING ONTO OR AGAINST SUBGRADES CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER, FROST OR ICE ENTER AN AREA AFTER SUB-GRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED AFTER REMOVAL OF WATER, FROST OR ICE.
14. PREPARE THE EXISTING SUBGRADE THAT UNDERLIES THE SLAB-ON-GRADE AS FOLLOWS:
- A. REMOVE ALL TOPSOIL, ORGANIC FILL, CONCRETE, ASPHALT & MISCELLANEOUS UNSUITABLE FILLS.
- B. COMPACT THE REMAINING SUITABLE SUBGRADE TO A MINIMUM OF 90% OF THE ASTM D-1557 DENSITY.
- C. REMOVE UNSUITABLE MATERIAL DISCOVERED WHILE COMPACTING THE EXISTING SUBGRADE AND REPLACE AS INDICATED BELOW.
- D. WHERE UNSUITABLE EXISTING FILL IS REMOVED TO AN ELEVATION LOWER THAN THE BOTTOM OF THE 6" OF GRANULAR FILL, PLACE A WELL GRADED MATERIAL IN LIFTS NOT EXCEEDING 12" IN LOOSE THICKNESS AND COMPACT TO A MINIMUM OF 95% OF ASTM D-1557 DENSITY.
- E. PLACE A MINIMUM OF 6" OF WELL GRADED CRUSHED STONE OR GRAVEL IMMEDIATELY BELOW THE SLAB-ON-GRADE. COMPACT THIS GRANULAR FILL TO 95% OF THE ASTM D-1557 DENSITY.
- F. PLACE A VAPOR BARRIER UNDER INTERIOR SLAB-ON-GRADE.

BACKFILL

1. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF A WALL OR GRADE BEAM, THE BACKFILL OPERATION SHALL PROCEED ON BOTH SIDES SIMULTANEOUSLY AT UNIFORM LEVELS OF FILL SO AS NOT TO CREATE LATERAL EARTH PRESSURES WHICH WOULD DAMAGE THE STRUCTURAL INTEGRITY OF THE WALL.
2. BACKFILL COMPACTION PERCENT VALUES SHALL BE BASED ON ASTM D 1557 (MODIFIED) LABORATORY PROCEDURE. PLACE BACKFILL MATERIAL IN LAYERS NOT EXCEEDING 9" IN LOOSE THICKNESS AND COMPACT TO 95% MAXIMUM DENSITY IN THE BUILDING AREAS, WALKWAYS AND ADJACENT TO FOUNDATION WALLS.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN INSTITUTE PUBLICATIONS: ACI 301, ACI 304, ACI 311, ACI 315, ACI 318, ACI 347.
2. ALL CAST-IN-PLACE CONCRETE SHALL BE OF THE TYPES AND HAVING MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS INDICATED BELOW:

STRUCTURAL ELEMENT	28 DAY COMPRESSIVE CONCRETE STRENGTH	CONCRETE TYPE	REMARKS
FOOTINGS & FOUNDATION WALLS	4000 PSI	145 PCF STONE	AIR-ENTRAINED
INTERIOR SLABS	4000 PSI	145 PCF STONE	
EXTERIOR SLAB	4000 PSI	145 PCF STONE	AIR-ENTRAINED AS REQUIRED

FOR SLAB SURFACE TREATMENT, SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

3. CONCRETE PROTECTION FOR REINFORCING BARS SHALL BE AS FOLLOWS:
- SURFACES NOT FORMED:
- FORMED SURFACES IN CONTACT WITH SOIL OR WATER, OR EXPOSED TO WEATHER:
- BEAMS, GIRDER, AND COLUMNS:
- SLABS AND JOIST, TOP BARS:
- SLABS AND JOIST, BOTTOM BARS AND WALLS:
4. PROVIDE CONSTRUCTION, ISOLATION, AND CONTROL JOINTS AS SPECIFIED AND WHERE INDICATED ON THE DRAWINGS.
5. KEY OR DOWEL ALL CONSTRUCTION JOINTS, UNLESS NOTED OTHERWISE.
6. WIRE BRUSH, CLEAN AND MOISTEN ALL CONSTRUCTION JOINTS IMMEDIATELY PRIOR TO PLACING NEW CONCRETE.
7. PLACE ALL SLAB ON GRADE IN STRIP POURS OF MAXIMUM 30'-0" WIDTH. PROVIDE SAW CUT CONTROL JOINTS FOR STRIP POURED SLABS AT 15'-0" ON CENTER MAXIMUM.
8. DO NOT USE CALCIUM CHLORIDE IN ANY CONCRETE.
9. DO NOT SLEEVE, BOX-OUT OR INTERRUPT THE REINFORCEMENT OF FOUNDATION WALLS AND SLABS EXCEPT AS INDICATED ON THE STRUCTURAL DRAWINGS.
10. SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FINISHES, FLOOR DEPRESSIONS AND CURBS.
11. THOROUGHLY CONSOLIDATE ALL STRUCTURAL CONCRETE WITH MECHANICAL VIBRATORS.
12. PITCH CONCRETE SLABS TO FLOOR DRAINS AS INDICATED ON THE MECHANICAL AND ARCHITECTURAL DRAWINGS.
13. PROVIDE APPROVED CURING COMPOUND, SEALER, AND HARDENER FOR ALL SLABS.
14. PERFORM AND SUBMIT INSTRUMENT SURVEYS OF ALL FINISH REINFORCED CONCRETE AND CONCRETE SLAB SURFACES, BOTH BEFORE AND AFTER REMOVAL OF FORM WORK AND/OR SHORING SYSTEMS.
15. ALL CONCRETE SHALL CONTAIN AN APPROVED WATER REDUCING PLASTICIZING ADMIXTURE. APPROVED HIGH RANGE WATER REDUCING ADMIXTURES MAY BE UTILIZED. ALL CONCRETE PERMANENTLY EXPOSED TO THE WEATHER SHALL ALSO CONTAIN AN APPROVED AIR ENTRAINING ADMIXTURE.
16. THE CONCRETE CONTRACTOR SHALL PREPARE, DOCUMENT, AND SUBMIT TO THE ARCHITECT FOR REVIEW A PROGRAM FOR PROVIDING COLD WEATHER PROTECTION INCLUDING METHODS OF WEATHER ENCLOSURE, HEATING METHODS, AND CONTINUOUS TEMPERATURE MONITORING SYSTEMS.
17. THE OWNER'S CONCRETE TESTING LABORATORY WILL CONDUCT A CONTINUOUS FULL-TIME PROGRAM OF INSPECTION AND TESTING FOR ALL REINFORCING PLACEMENT, FORM WORK INSTALLATION, CONCRETING OPERATIONS AND FINISHING PROCEDURES.

REINFORCING STEEL

1. ALL REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
- | | |
|-----------------------|--------------------------|
| DEFORMED BILLET STEEL | ASTM DESIGNATION A615 |
| (Y.P. 60,000 PSI) | GRADE 60, LATEST EDITION |
| WELDED WIRE FABRIC | ASTM DESIGNATION A185 |
| | LATEST EDITION |
2. REINFORCING DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE ACI 318 BUILDING CODE, LATEST EDITION AND THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES, ACI 315 LATEST EDITION.
3. SUBMIT SHOP DRAWINGS SHOWING THE LOCATIONS OF ALL CONSTRUCTION JOINTS, CURBS, SLAB DEPRESSIONS, SLEEVES, OPENINGS, ETC. ALL REINFORCING SPLICES SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, BUT IN NO CASE SHALL BE LESS THAN 48 BAR DIAMETERS, OR 24" UNLESS NOTED OTHERWISE. WELDING OF REINFORCING BARS IS NOT PERMITTED.
4. LAP ALL WELDED WIRE FABRIC TWO (2) FULL MESH PANELS AND TIE SECURELY.
5. PROVIDE ADEQUATE BOLSTERS, HIGH CHAIRS, SUPPORT BARS, ETC., TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS AND WELDED WIRE FABRIC.
6. SUBMIT CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAIL INCLUDING STEEL SIZES, SPACING, PLACEMENT AND SUPPORT DETAILS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
7. WHERE REQUIRED, DOWELS SHALL MATCH THE SIZE AND QUANTITY OF MAIN REINFORCING, UNLESS NOTED OTHERWISE.

CONCRETE MASONRY

1. CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-99/ASCE 5-99/TMS 402-99) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-99/ASCE 6-99/TMS602-99).
2. ALL MASONRY CONSTRUCTION MUST BE INSPECTED PER "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530/ASCE 5/TMS 402 (SEC 3.1.1) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI/530.1/ASCE 6/TM 602 (SEC 1.8).
3. MASONRY: MEDIUM WEIGHT HOLLOW LOAD BEARING CONCRETE BLOCK; ASTM C-90, GRADE N-II, MINIMUM 1,900 psi COMPRESSIVE STRENGTH.
4. MORTAR: ASTM C-270, TYPE S WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH AS REQUIRED TO ACHIEVE SPECIFIED PRISM f'm (1500psi, IF NOT SPECIFIED).
5. MORTAR CEMENT AND MASONRY CEMENT NOT ACCEPTABLE.
6. GROUT: ASTM C-476 MINIMUM COMPRESSIVE STRENGTH 3000 psi
7. SAND AGGREGATE A.S.T.M. C144 - 84.
8. WATER-POTABLE
9. HYDRATED LIME A.S.T.M. C207 TYPE S.
10. PORTLAND CEMENT A.S.T.M. C150 TYPE I.
11. REINFORCEMENT: BAR REINFORCEMENT: ASTM A615, GRADE 60. JOINT REINFORCEMENT: ASTM A82 GALVANIZED. MIN. 2-#8 SIDE RODS AT 16" O.C. VERT. (OR AS SHOWN IN ARCH. DRWGCS.)
12. DO NOT INCLUDE CALCIUM CHLORIDE IN THE MORTAR OR GROUT MIX.
13. AIR ENTRAINING ADMIXTURES SHALL NOT BE USED.
14. DO NOT PLACE EXTERIOR MASONRY WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN 40 DEGREES F.
15. BRACE MASONRY WALLS TO WITHSTAND A MINIMUM HORIZONTAL WIND PRESSURE OF 25psf DURING THEIR ERECTION, AND UNTIL THEIR DESIGN SUPPORTS ARE IN PLACE.
16. MORTAR SHALL BE TESTED BY AN APPROVED TESTING LABORATORY IN ACCORDANCE WITH ASTM C-780.
17. MORTAR FULLHEAD AND BED JOINTS OF ALL UNIT MASONRY.
18. MEASUREMENTS OF SAND BY SHOVEL NOT BE PERMITTED - EXACT MEASUREMENT METHOD MUST BE USED.

STRUCTURAL STEEL

1. ALL STEEL SHALL BE NEW STEEL MANUFACTURED IN THE U.S.A. AND SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS UNLESS OTHERWISE NOTED:
- | | |
|-------------------|----------------|
| BEAMS AND COLUMNS | ASTM A572 GR50 |
| ALL OTHER STEEL | ASTM A36 |
2. ALL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CURRENT AISC STANDARDS AND APPLICABLE CODES.
3. ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH "THE CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND THE "SPECIFICATION FOR DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" (AISC LATEST EDITION).
4. ALL STRUCTURAL STEEL SHALL BE OF SIZE SHOWN ON DRAWINGS AND SHALL BE STRAIGHT AND FREE OF TWIST. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM THE ENGINEER.
5. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT, FOR REVIEW, ENGINEERED DRAWINGS CHECKED BY THE GENERAL CONTRACTOR SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAM FOR ALL STRUCTURAL STEEL. ALL SHOP DRAWINGS MUST BE COMPLETE FOR ALL STRUCTURAL STEEL WITH BEAM SIZES, MARKS, ETC., SHOWN ON ERECTION PLANS.
6. ALL WELDING ELECTRODES SHALL BE E70XX. ALL WELDING WORK SHALL CONFORM TO AWS D1.1 STRUCTURAL WELDING CODE, LATEST EDITION, AND SHALL BE PERFORMED BY AWS CERTIFIED WELDERS.

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture
Historic Preservation
Construction Management

db HMS ENGINEERING

MEP Engineers
8695 South Archer Avenue
Suite 3
Willows Springs, Illinois 60480

MATRIX ENGINEERING

Structural Engineers
33 W. Jackson Blvd.
Chicago, Illinois 60604

Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

VOLD
Gem
3/4/05

DESIGN CRITERIA

1. BUILDING CODE: CHICAGO BUILDING CODE, LATEST EDITION.
2. WIND LOADS:
MAIN WIND FORCE RESISTING SYSTEM 20 PSF
COMPONENTS & CLADDING (NOT AT CORNERS) 25 PSF
COMPONENTS & CLADDING (AT CORNERS) 30 PSF
ROOFING MATERIAL (AT EDGES) -40 PSF
3. SNOW LOADS:
FLAT ROOFS 25 PSF
DRIFTING SNOW LOADS PER AWS/ASCE 7-98

GENERAL REQUIREMENTS

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2. VERIFY SITE SURVEY AND DIMENSIONS WITH ACTUAL CONDITIONS IN FIELD. VERIFY ANY DISCREPANCIES, CONFLICTING CONDITIONS OR DIMENSIONS WITH ARCHITECT.
3. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FAMILIAR WITH ALL DRAWINGS FOR THE PROJECT.
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5. SUBMIT SHOP DRAWINGS PREPARED BY CONTRACTORS, SUPPLIERS, ETC. FOR REVIEW BY STRUCTURAL ENGINEER FOR CONFORMANCE WITH DESIGN INTENT. DO NOT START WORK WITHOUT SUCH REVIEW. GENERAL CONTRACTOR MUST REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL TO STRUCTURAL ENGINEER.
6. GENERAL CONTRACTOR MUST CHECK WITH ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND OTHER DISCIPLINES FOR THE SIZE AND LOCATION OF OPENINGS, SLEEVES, CHASES, CONDUITS, DEPRESSIONED AREAS, FLOOR FINISH FILLS, ANCHORS, HANGERS, CURBS, EQUIPMENT SUPPORTS, INSERTS, CONCRETE PADS AND OTHER MISCELLANEOUS ITEMS CONNECTED WITH CONCRETE CONSTRUCTION BEFORE PLACING CONCRETE.
7. CONTRACTORS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY REVIEW OF SHOP DRAWINGS AND BY PERIODIC OBSERVATION OF CONSTRUCTION, FOR THE FOLLOWING:
A. COMPLIANCE WITH CONTRACT DOCUMENTS.
B. DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS.
C. FABRICATION PROCESS AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.).
D. WORK OF THE CONTRACTOR AND THE VARIOUS TRADES.
E. SAFE CONDITIONS AT THE JOB SITE.
8. ALL MATERIAL DESIGN AND CONSTRUCTION MUST CONFORM TO ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
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12. ELEVATOR EQUIPMENT CONTRACTOR SHALL SUBMIT DETAILS OF EQUIPMENT INSTALLATION ON STRUCTURAL ITEMS FOR STRUCTURAL ENGINEER'S REVIEW. THIS REVIEW WILL BE LIMITED TO THE ADEQUACY OF THE STRUCTURAL ITEM FOR THE PROPOSED IMPOSED LOADS. SHOULD THE STRUCTURAL ITEM NOT BE ADEQUATE, THE CONTRACTOR SHALL DESIGN AN ALTERNATE SCHEME ACCEPTABLE TO THE STRUCTURAL ENGINEER. THE COST FOR THE DESIGN AND INSTALLATION OF AN ACCEPTABLE ELEVATOR EQUIPMENT SUPPORT SYSTEM IS THE RESPONSIBILITY OF THE ELEVATOR CONTRACTOR.
13. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
14. PROVIDE THE ARCHITECT/ENGINEER ACCESS TO THE WORK IN PREPARATION OR PROGRESS, WHEREVER LOCATED.
15. DESIGN REQUIREMENTS SHALL BE FOLLOWED ENTIRELY REGARDLESS OF WHETHER THEY ARE GIVEN BY BOTH THE SPECIFICATION AND DRAWINGS OR BY EITHER ONE ONLY.
16. DESIGN, PROVIDE, INSTALL AND MAINTAIN ALL UNDERPINNING, SHORING, BRACING, ETC. AS MAY BE REQUIRED FOR THE SUPPORT AND PROTECTION OF SURROUNDING EXISTING PROPERTY, BUILDINGS, UTILITIES, UTILITY EQUIPMENT, ETC. THE COST OF THIS WORK IS INCIDENTAL TO THE CONTRACT.

DEMOLITION AND SHORING

1. DESIGN, PROVIDE, INSTALL, AND MAINTAIN TEMPORARY BRACING, SHORING AND/OR EARTH RETENTION SYSTEM AS REQUIRED TO PROTECT ALL EXISTING STRUCTURAL MEMBERS TO REMAIN PRIOR TO DEMOLITION. SUBMIT DESIGN, LAYOUT, ETC. FOR ARCHITECT'S REVIEW PRIOR TO EXECUTION.
2. REMOVE AND DISPOSE OF MATERIALS AND ITEMS OFF SITE EACH DAY.
3. PROTECT AND STORE ITEMS NOTED TO BE REINSTALLED.
4. PROTECT ALL CONSTRUCTION WHICH IS TO REMAIN.

EXCAVATION & FOUNDATION

1. USE APPROVED METHODS TO EFFECTIVELY MAINTAIN THE CONSTRUCTION AREA IN A DEWATERED STATE.
2. ALL EXCAVATIONS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL GOVERNING GUIDELINES.
3. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING UTILITIES FROM DAMAGE. METHODS OF PROTECTION SHALL BE APPROVED BY THE UTILITY. THE CONTRACTOR SHALL BRACE AND SUPPORT THE UTILITIES TO PREVENT SETTLEMENT, DISPLACEMENT, OR DISTURBANCE TO THE UTILITIES. THE COST OF THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
4. COORDINATE EXCAVATION WITH THE FOUNDATION, UNDERFLOOR DRAINAGE SYSTEM AND UNDERGROUND UTILITIES.
5. THE CONTRACTOR SHALL USE CARE IN GRADING AND EXCAVATION NEAR EXISTING ITEMS TO REMAIN. DAMAGE TO THE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
6. FOUNDATION DESIGN WAS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2500 PSF. SOIL BEARING CAPACITY MUST BE VERIFIED BY A QUALIFIED TESTING AGENCY, RETAINED BY THE OWNER, PRIOR TO CONSTRUCTION.
7. WHERE SUITABLE BEARING SOILS ARE SOME DISTANCE BELOW THE PROPOSED BOTTOM OF FOOTING ELEVATION, THE UNSUITABLE SOIL MAY BE EXCAVATED AND REPLACED WITH A WELL-GRADED, ENGINEERED FILL. THE FILL SHALL BE PLACED IN LIFTS NOT EXCEEDING THE LIMITS SPECIFIED IN LOOSE THICKNESS AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557 DENSITY. ALTERNATIVELY, THE FOOTING MAY BE PLACED AT THE ELEVATION OF THE SUITABLE SOILS.

EXCAVATION & FOUNDATION (CONTINUED)

8. ALL EXTERIOR FOOTINGS SHALL EXTEND BELOW THE MAXIMUM ANTICIPATED DEPTH OF FROST. (3'-6" BELOW ADJACENT FINISH GRADE, IF NOT SHOWN).
9. IMMEDIATELY NOTIFY THE ARCHITECT IN THE EVENT THAT THE SOILS CONDITIONS ENCOUNTERED VARY FROM THOSE SHOWN ON THE BORING LOGS.
10. GENERAL MACHINE EXCAVATION SHALL STOP NOT LESS THAN 4" ABOVE ELEVATION OF BOTTOM OF FOOTINGS. FINAL EXCAVATION TO UNDISTURBED SOIL, AT REQUIRED FOOTING ELEVATION, SHALL BE DONE BY HAND NOT MORE THAN 12 HOURS BEFORE FOOTING IS PLACED.
11. ALL NECESSARY CHANGES IN ELEVATION OF WALL FOOTINGS SHALL BE MADE IN NOT MORE THAN 2'-0" VERTICAL AND AT LEAST 4'-0" HORIZONTAL, UNLESS NOTED OTHERWISE.
12. ALL FOUNDATION EXCAVATION SHALL BE CLEAN AND DRY PRIOR TO PLACING CONCRETE. BOTTOM SHALL BE INSPECTED AND DESIGN BEARING CAPACITY CONFIRMED BEFORE PLACING FOOTING.
13. DO NOT PLACE FOOTING ONTO OR AGAINST SUBGRADES CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER, FROST OR ICE ENTER AN AREA AFTER SUB-GRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED AFTER REMOVAL OF WATER, FROST OR ICE.
14. PREPARE THE EXISTING SUBGRADE THAT UNDERLIES THE SLAB-ON-GRADE AS FOLLOWS:
A. REMOVE ALL TOPSOIL, ORGANIC FILL, CONCRETE, ASPHALT & MISCELLANEOUS UNSUITABLE FILLS.
B. COMPACT THE REMAINING SUITABLE SUBGRADE TO A MINIMUM OF 90% OF THE ASTM D-1557 DENSITY.
C. REMOVE UNSUITABLE MATERIAL DISCOVERED WHILE COMPACTING THE EXISTING SUBGRADE AND REPLACE AS INDICATED BELOW.
D. WHERE UNSUITABLE EXISTING FILL IS REMOVED TO AN ELEVATION LOWER THAN THE BOTTOM OF THE 6" OF GRANULAR FILL, PLACE A WELL GRADED MATERIAL IN LIFTS NOT EXCEEDING 12" IN LOOSE THICKNESS AND COMPACT TO A MINIMUM OF 95% OF ASTM D-1557 DENSITY.
E. PLACE A MINIMUM OF 6" OF WELL GRADED CRUSHED STONE OR GRAVEL IMMEDIATELY BELOW THE SLAB-ON-GRADE. COMPACT THIS GRANULAR FILL TO 95% OF THE ASTM D-1557 DENSITY.
- BACKFILL
1. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF A WALL OR GRADE BEAM, THE BACKFILL OPERATION SHALL PROCEED ON BOTH SIDES SIMULTANEOUSLY AT UNIFORM LEVELS OF FILL SO AS NOT TO CREATE LATERAL EARTH PRESSURES WHICH WOULD DAMAGE THE STRUCTURAL INTEGRITY OF THE WALL.
2. BACKFILL COMPACTION PERCENT VALUES SHALL BE BASED ON ASTM D 1557 (MODIFIED) LABORATORY PROCEDURE. PLACE BACKFILL MATERIAL IN LAYERS NOT EXCEEDING 8" IN LOOSE THICKNESS AND COMPACT TO 95% MAXIMUM DENSITY IN THE BUILDING AREAS, WALKWAYS AND ADJACENT TO FOUNDATION WALLS.

CAISSON NOTES

1. CAISSONS SHALL BE FOUNDED UPON UNDISTURBED NATURAL HARD SILTY CLAY WITH A MINIMUM ALLOWABLE BEARING CAPACITY OF 20,000 PSF. THE BEARING ELEVATION AND CAPACITY ARE BASED ON THE RECOMMENDATIONS CONTAINED IN THE SOIL EXPLORATION REPORT PREPARED BY GROUND ENGINEERING CONSULTANTS, LTD., DATED 11/18/04. THE FINAL BEARING ELEVATION MAY VARY AND SHALL BE ESTABLISHED BY THE OWNER'S SOILS TESTING LABORATORY AT THE TIME OF INSTALLATION OF EACH CAISSON.
2. THE CONTRACTOR SHALL REVIEW ALL EXISTING SITE CONDITIONS AND THE SUBSURFACE EXPLORATION REPORT. THE CONTRACTOR SHALL ESTABLISH SPECIFIC CONSTRUCTION PROCEDURES AND SEQUENCES FOR THE INSTALLATION OF THE CAISSONS AND SUBMIT THEM TO THE OWNER'S SOILS TESTING LABORATORY FOR REVIEW. THE CONTRACTOR'S PROCEDURES AND METHODS OF CAISSON INSTALLATION SHALL MINIMIZE SETTLEMENT OF ADJACENT CONSTRUCTION. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ALL REMEDIAL WORK RESULTING FROM SUCH SETTLEMENT.
3. WHEN THE DRILLING FOR EACH CAISSON REACHES THE ESTIMATED ELEVATION INDICATED ON THE DRAWINGS, THE DRILLING OPERATION SHALL CEASE UNTIL THE SOILS ENGINEER HAS MADE HIS DETERMINATION.
4. ALL CAISSONS SHALL HAVE TEMPORARY STEEL CASINGS TO PREVENT WATER INFILTRATION AND SLOUCHING OF THE FILL DEPOSITS ABOVE THE STABLE SOIL STRATA. THE CONTRACTOR SHALL DESIGN AND UTILIZE A CASING THICKNESS AS REQUIRED TO WITHSTAND ALL INSTALLATION, SOIL, WATER, AND CONCRETE HYDRAULIC STRESSES.
5. THE CONTRACTOR SHALL SUBMIT FOR REVIEW CHECKED SHOP DRAWINGS FOR ALL CAISSON LOCATIONS, TEMPORARY LINERS, AND CONCRETE REINFORCEMENT.
6. THE BOTTOM OF EACH CAISSON SHALL BE THOROUGHLY CLEANED OF ALL LOOSE MATERIALS.
7. CAISSON CONCRETE SHALL BE PLACED IN A MANNER WHICH WILL PREVENT SEGREGATION. CONCRETE SHALL FALL FREELY WITHOUT HITTING THE REINFORCEMENT OR THE SIDES OF THE HOLE.
8. CAISSON CONCRETE SHALL BE PLACED CONTINUOUSLY FOR THE FULL HEIGHT OF THE CAISSON. IF PLACEMENT OF THE CONCRETE IS INTERRUPTED THE CONTRACTOR SHALL ROUGHEN AND CLEAN THE TOP OF INTERRUPTED POUR AND PLACE SIX INCHES OF CEMENT GROUT PRIOR TO PLACING THE REMAINDER OF THE CONCRETE.
9. THE CONTRACTOR SHALL REMOVE ALL LAITANCE MATERIALS FROM THE TOP OF EACH CAISSON PRIOR TO PLACEMENT OF FURTHER CONSTRUCTION.
10. SEE "STRUCTURAL CONCRETE NOTES" THIS SHEET FOR ADDITIONAL REQUIREMENTS.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE PUBLICATIONS: ACI 301, ACI 304, ACI 311, ACI 315, ACI 318, ACI 347.
2. ALL CAST-IN-PLACE CONCRETE SHALL BE OF THE TYPES AND HAVING MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS INDICATED BELOW:
- | STRUCTURAL ELEMENT | 28 DAY COMPRESSIVE CONCRETE STRENGTH | CONCRETE TYPE | REMARKS |
|-----------------------------|--------------------------------------|---------------|---------------|
| FOOTINGS & FOUNDATION WALLS | 4000 PSI | 145 PCF STONE | AIR-ENTRAINED |
| INTERIOR SLABS | 4000 PSI | 145 PCF STONE | |
| EXTERIOR SLAB | 4000 PSI | 145 PCF STONE | AIR-ENTRAINED |
| CAISSON | 4000 PSI | 145 PCF STONE | |

FOR SLAB SURFACE TREATMENT, SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.

3. CONCRETE PROTECTION FOR REINFORCING BARS SHALL BE AS FOLLOWS:
SURFACES NOT FORMED: 3"
FORMED SURFACES IN CONTACT WITH SOIL OR WATER, OR EXPOSED TO WEATHER: 2"
BEAMS, GIRDER, AND COLUMNS: 1 1/2"
SLABS AND JOIST, TOP BARS: 3/4"
SLABS AND JOIST, BOTTOM BARS AND WALLS: 1"
4. PROVIDE CONSTRUCTION, ISOLATION, AND CONTROL JOINTS AS SPECIFIED AND WHERE INDICATED ON THE DRAWINGS.
5. KEY OR DOWEL ALL CONSTRUCTION JOINTS, UNLESS NOTED OTHERWISE.
6. WIRE BRUSH, CLEAN AND MOISTEN ALL CONSTRUCTION JOINTS IMMEDIATELY PRIOR TO PLACING NEW CONCRETE.
7. PLACE ALL SLAB ON GRADE IN STRIP POURS OF MAXIMUM 30'-0" WIDTH. PROVIDE SAW CUT CONTROL JOINTS FOR STRIP POURED SLABS AT 15'-0" ON CENTER MAXIMUM.
8. DO NOT USE CALCIUM CHLORIDE IN ANY CONCRETE.
9. DO NOT SLEEVE, BOX-OUT OR INTERRUPT THE REINFORCEMENT OF FOUNDATION WALLS AND SLABS EXCEPT AS INDICATED ON THE STRUCTURAL DRAWINGS.
10. SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FINISHES, FLOOR DEPRESSIONS AND CURBS.
11. THOROUGHLY CONSOLIDATE ALL STRUCTURAL CONCRETE WITH MECHANICAL VIBRATORS.
12. PITCH CONCRETE SLABS TO FLOOR DRAINS AS INDICATED ON THE MECHANICAL AND ARCHITECTURAL DRAWINGS.
13. PROVIDE AND APPLY APPROVED CURING COMPOUND, SEALER, AND HARDENER FOR ALL SLABS.
14. PERFORM AND SUBMIT INSTRUMENT SURVEYS OF ALL FINISH REINFORCED CONCRETE AND CONCRETE SLAB SURFACES, BOTH BEFORE AND AFTER REMOVAL OF FORM WORK AND/OR SHORING SYSTEMS.
15. ALL CONCRETE SHALL CONTAIN AN APPROVED WATER REDUCING PLASTICIZING ADMIXTURE. APPROVED HIGH RANGE WATER REDUCING ADMIXTURES MAY BE UTILIZED. ALL CONCRETE PERMANENTLY EXPOSED TO THE WEATHER SHALL ALSO CONTAIN AN APPROVED AIR ENTRAINING ADMIXTURE.
16. THE CONCRETE CONTRACTOR SHALL PREPARE, DOCUMENT, AND SUBMIT TO THE ARCHITECT FOR REVIEW A PROGRAM FOR PROVIDING COLD WEATHER PROTECTION INCLUDING METHODS OF WEATHER ENCLOSURE, HEATING METHODS, AND CONTINUOUS TEMPERATURE MONITORING SYSTEMS.
17. THE OWNER'S CONCRETE TESTING LABORATORY WILL CONDUCT A CONTINUOUS FULL-TIME PROGRAM OF INSPECTION AND TESTING FOR ALL REINFORCING PLACEMENT, FORM WORK INSTALLATION, CONCRETING OPERATIONS AND FINISHING PROCEDURES.

REINFORCING STEEL

1. ALL REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
DEFORMED BILLET STEEL ASTM DESIGNATION A615
(Y.P. 60,000 PSI) GRADE 60, LATEST EDITION
WELDED WIRE FABRIC ASTM DESIGNATION A185
LATEST EDITION
2. REINFORCING DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE ACI 318 BUILDING CODE, LATEST EDITION AND THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES, ACI 315 LATEST EDITION.
3. SUBMIT SHOP DRAWINGS SHOWING THE LOCATIONS OF ALL CONSTRUCTION JOINTS, CURBS, SLAB DEPRESSIONS, SLEEVES, OPENINGS, ETC. ALL REINFORCING SPLICES SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, BUT IN NO CASE SHALL BE LESS THAN 48 BAR DIAMETERS, OR 24" UNLESS NOTED OTHERWISE. WELDING OF REINFORCING BARS IS NOT PERMITTED.
4. LAP ALL WELDED WIRE FABRIC TWO (2) FULL MESH PANELS AND TIE SECURELY.
5. PROVIDE ADEQUATE BOLSTERS, HIGH CHAIRS, SUPPORT BARS, ETC., TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS AND WELDED WIRE FABRIC.
6. SUBMIT CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAIL INCLUDING STEEL SIZES, SPACING, PLACEMENT AND SUPPORT DETAILS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.
7. WHERE REQUIRED, DOWELS SHALL MATCH THE SIZE AND QUANTITY OF MAIN REINFORCING, UNLESS NOTED OTHERWISE.

CONCRETE MASONRY

1. CONFORM TO "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530-99/ASCE 5-99/TMS 402-99) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-99/ASCE 6-99/TMS602-99).
2. ALL MASONRY CONSTRUCTION MUST BE INSPECTED PER "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" ACI 530/ASCE 5/TMS 402 (SEC 3.1.1) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI/530.1/ASCE 6/TM 602 (SEC 1.6).
3. MASONRY: MEDIUM WEIGHT HOLLOW LOAD BEARING CONCRETE BLOCK; ASTM C-90, GRADE N-II, MINIMUM 1,900 psi COMPRESSIVE STRENGTH.
4. MORTAR: ASTM C-270, TYPE S WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH AS REQUIRED TO ACHIEVE SPECIFIED PRISM f'm (1500psi, IF NOT SPECIFIED).
5. MORTAR CEMENT AND MASONRY CEMENT NOT ACCEPTABLE.
6. GROUT: ASTM C-476 MINIMUM COMPRESSIVE STRENGTH 3000 psi
7. SAND AGGREGATE A.S.T.M. C144 -- 84.
8. WATER-POTABLE
9. HYDRATED LIME A.S.T.M. C207 TYPE S.
10. PORTLAND CEMENT A.S.T.M. C150 TYPE I.
11. REINFORCEMENT: BAR REINFORCEMENT: ASTM A615, GRADE 60. JOINT REINFORCEMENT: ASTM A62 GALVANIZED. MIN. 2-# SIDE RODS AT 16" O.C. VERT. (OR AS SHOWN IN ARCH. DRWGS.)
12. DO NOT INCLUDE CALCIUM CHLORIDE IN THE MORTAR OR GROUT MIX.
13. AIR ENTRAINING ADMIXTURES SHALL NOT BE USED.
14. DO NOT PLACE EXTERIOR MASONRY WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN 40 DEGREES F.
15. BRACE MASONRY WALLS TO WITHSTAND A MINIMUM HORIZONTAL WIND PRESSURE OF 25psf DURING THEIR ERECTION, AND UNTIL THEIR DESIGN SUPPORTS ARE IN PLACE.
16. MORTAR SHALL BE TESTED BY AN APPROVED TESTING LABORATORY IN ACCORDANCE WITH ASTM C-780.
17. MORTAR FULLHEAD AND BED JOINTS OF ALL UNIT MASONRY.
18. MEASUREMENTS OF SAND BY SHOVEL NOT BE PERMITTED -- EXACT MEASUREMENT METHOD MUST BE USED.

STRUCTURAL STEEL

1. ALL STEEL SHALL BE NEW STEEL MANUFACTURED IN THE U.S.A. AND SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS UNLESS OTHERWISE NOTED:
BEAMS AND COLUMNS ASTM A572 GR50
ALL OTHER STEEL ASTM A36
2. ALL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH CURRENT AISC STANDARDS AND APPLICABLE CODES.
3. ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH "THE CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" AND THE "SPECIFICATION FOR DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" (AISC LATEST EDITION).
4. ALL STRUCTURAL STEEL SHALL BE OF SIZE SHOWN ON DRAWINGS AND SHALL BE STRAIGHT AND FREE OF TWIST. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM THE ENGINEER.
5. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT, FOR REVIEW, ENGINEERED DRAWINGS CHECKED BY THE GENERAL CONTRACTOR SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAM FOR ALL STRUCTURAL STEEL. ALL SHOP DRAWINGS MUST BE COMPLETE FOR ALL STRUCTURAL STEEL WITH BEAM SIZES, MARKS, ETC., SHOWN ON ERECTION PLANS.
6. ALL WELDING ELECTRODES SHALL BE E70XX. ALL WELDING WORK SHALL CONFORM TO AWS D1.1 STRUCTURAL WELDING CODE, LATEST EDITION, AND SHALL BE PERFORMED BY AWS CERTIFIED WELDERS.

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
626 West Jackson 3rd Floor
Chicago, Illinois 60661

S M I T H H A R D I N G

Architecture
Historic Preservation
Construction Management

db HMS ENGINEERING

MEP Engineers
8695 South Archer Avenue
Suite 1
Willows Springs, Illinois 60480

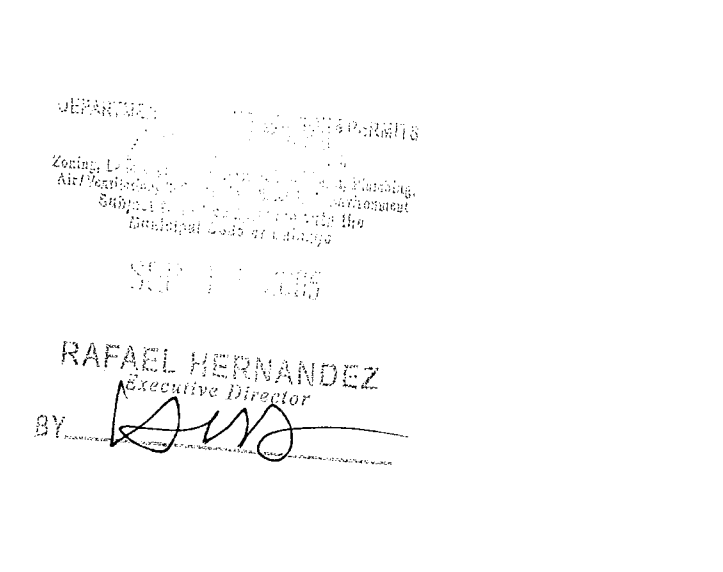
MATRIX ENGINEERING

Structural Engineers
33 W. Jackson Blvd.
Chicago, Illinois 60604

Bid Documents

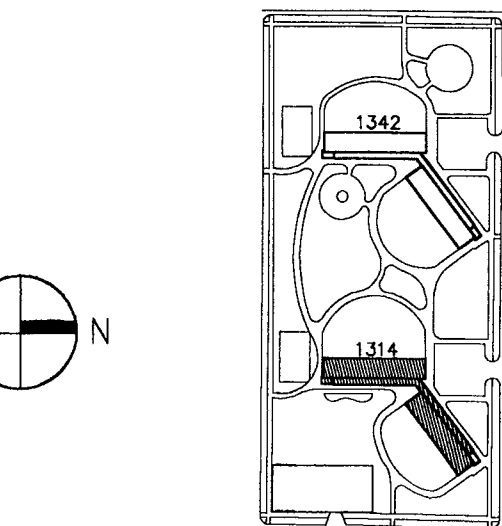
These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes



Key Plan

DENOTES SCOPE OF WORK / CONTRACT LIMIT



▲	02.11.05	ISSUED FOR CONSTRUCTION COST ISSUED FOR PERMIT CORRECTIONS	
5	10.08.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500

FAX (312) 655-1105

GENERAL
STRUCTURAL NOTES

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE 10/08/04	SCALE	JOB NO. 2003005.01	SHEET NUMBER
DRAWN	CHECKED ECS	APPROVED ECS	S-000

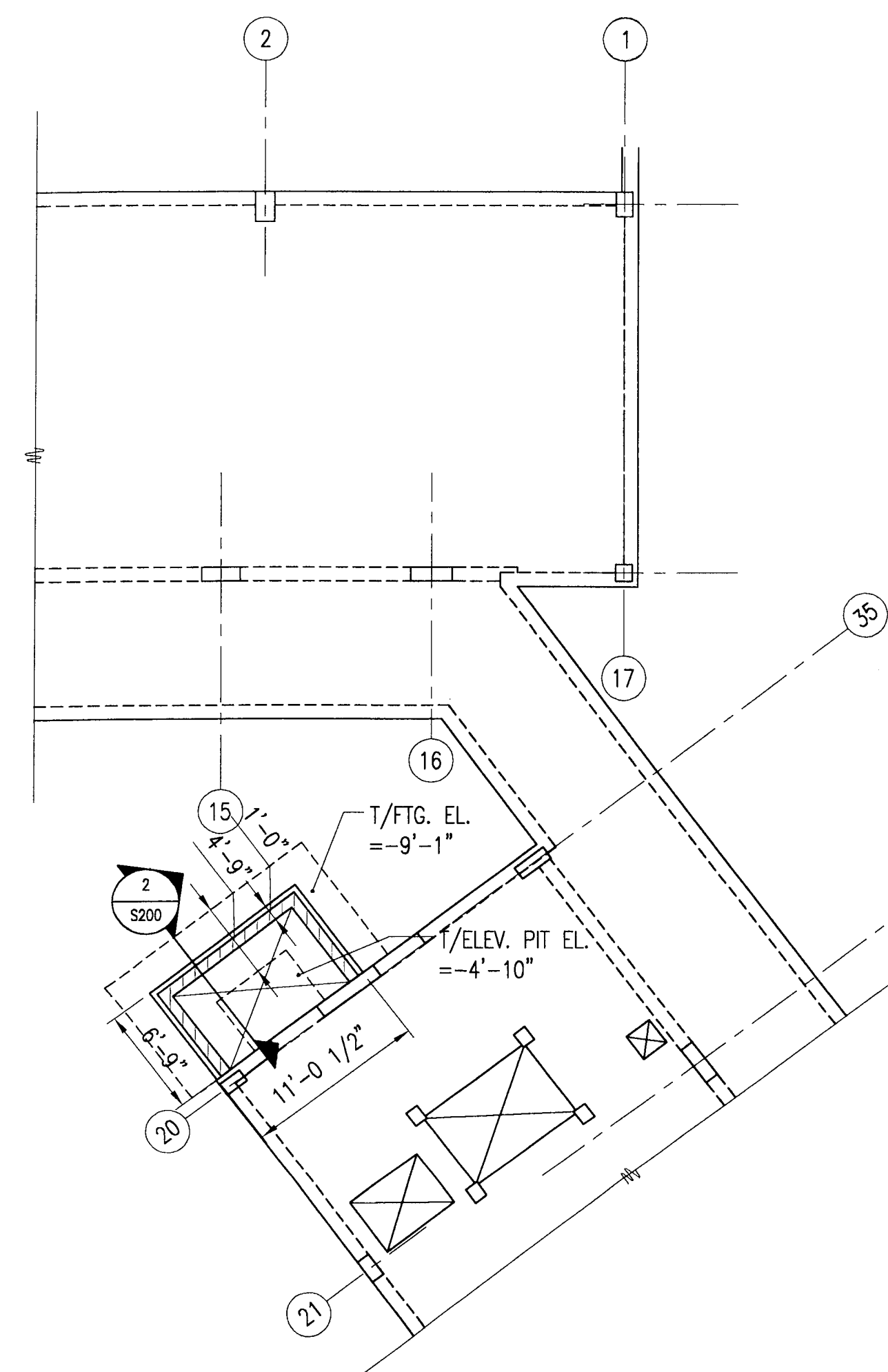
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General Notes

Rev. Date

*VOID
GR
3/8/05*

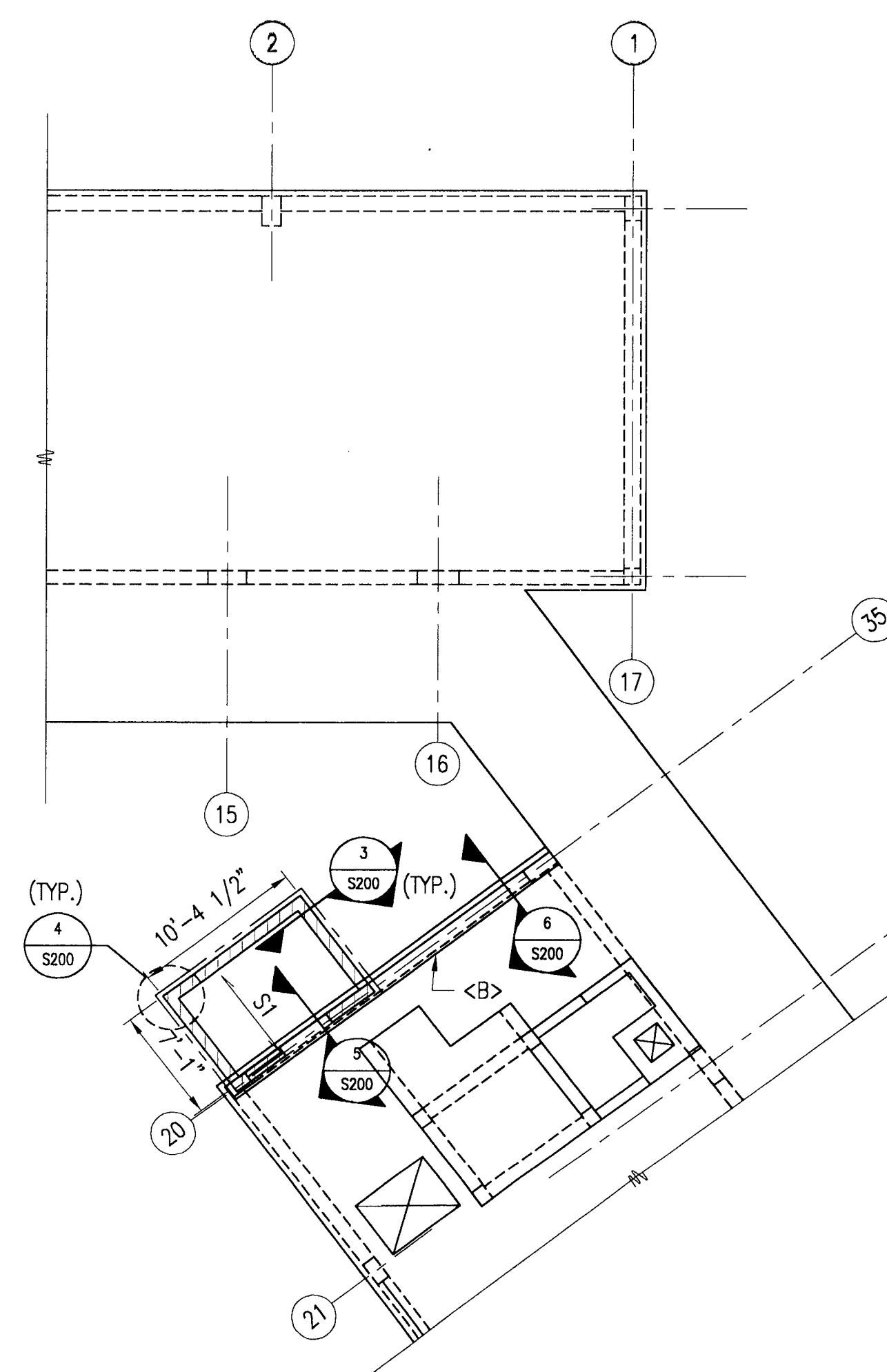


LOOMIS COURT 1314
EXIST. BLDG 2



PARTIAL FIRST FLOOR FRAMING PLAN
1/8"=1'-0"

1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DWGS. PRIOR TO CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIAL WORK NECESSITATED BY UN-VERIFIED DIMENSIONS AND ELEVATIONS.
2. SEE S-000 FOR GENERAL STRUCTURAL NOTES.
3. INDICATES 8" CMU WALL W/BOND BEAMS SPACED VERTICALLY @ 4'-0" O.C. REINF. EA. BOND BEAM W/2-#4 CONT.

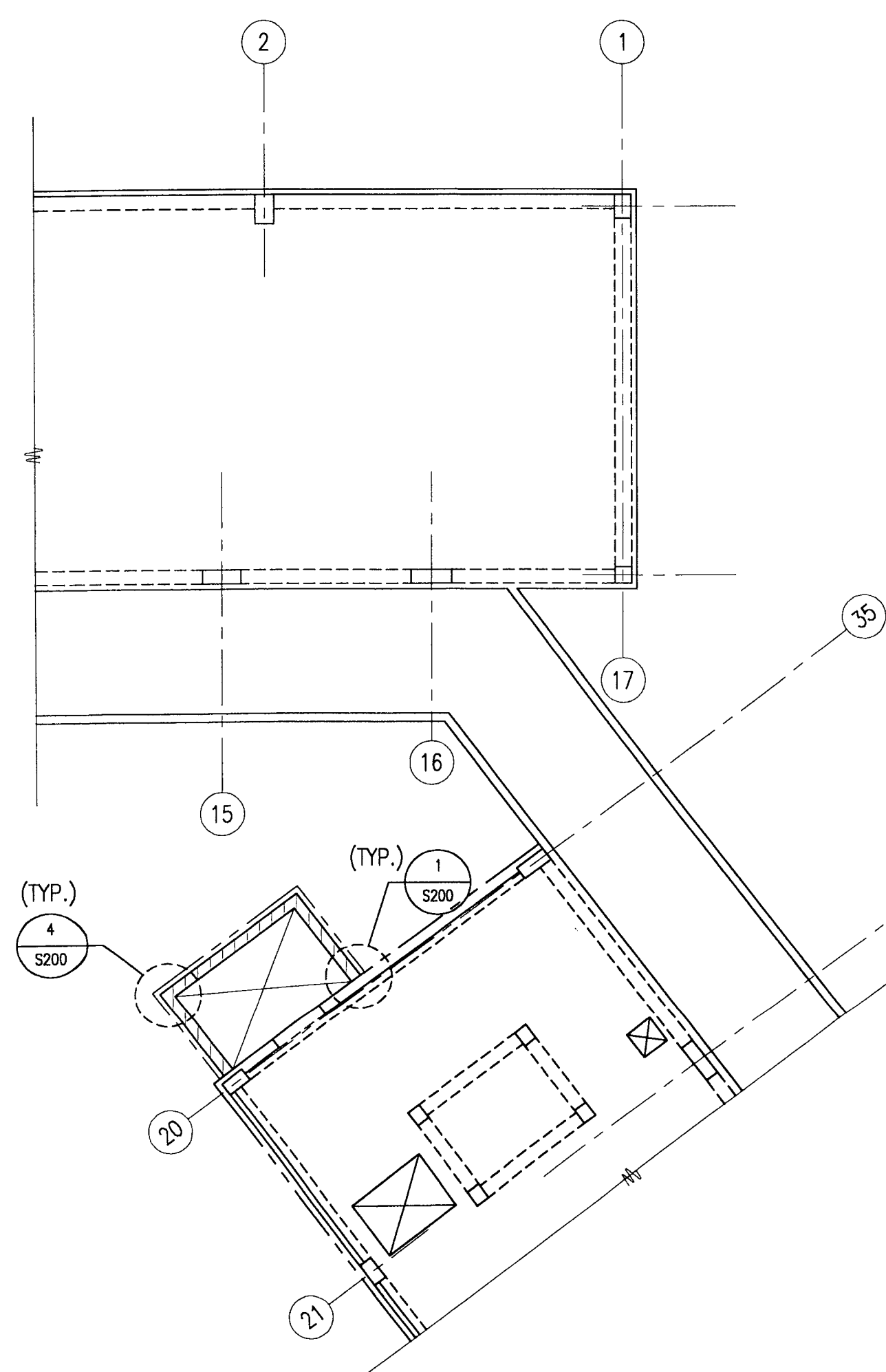


LOOMIS COURT 1314
EXIST. BLDG 2



MACHINE ROOM FRAMING PLAN
1/8"=1'-0"

1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DWGS. PRIOR TO CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIAL WORK NECESSITATED BY UN-VERIFIED DIMENSIONS AND ELEVATIONS.
2. SEE S-000 FOR GENERAL STRUCTURAL NOTES.
3. INDICATES 8" CMU WALL W/BOND BEAMS SPACED VERTICALLY @ 4'-0" O.C. REINF. EA. BOND BEAM W/2-#4 CONT.
4. "S1" INDICATES 8" REINF. CONC. SLAB W/#6 @ 6" O.C. SHORT WAY BOT. & # 5 @ 12" O.C. LONG WAY BOT. T/SLAB EL.=+6'-3"
5. INDICATES NEW 12x18 CONC. BEAM W/3-#10 TOP & BOT. CONT. W/#3 STIRRUPS @ 6" O.C.

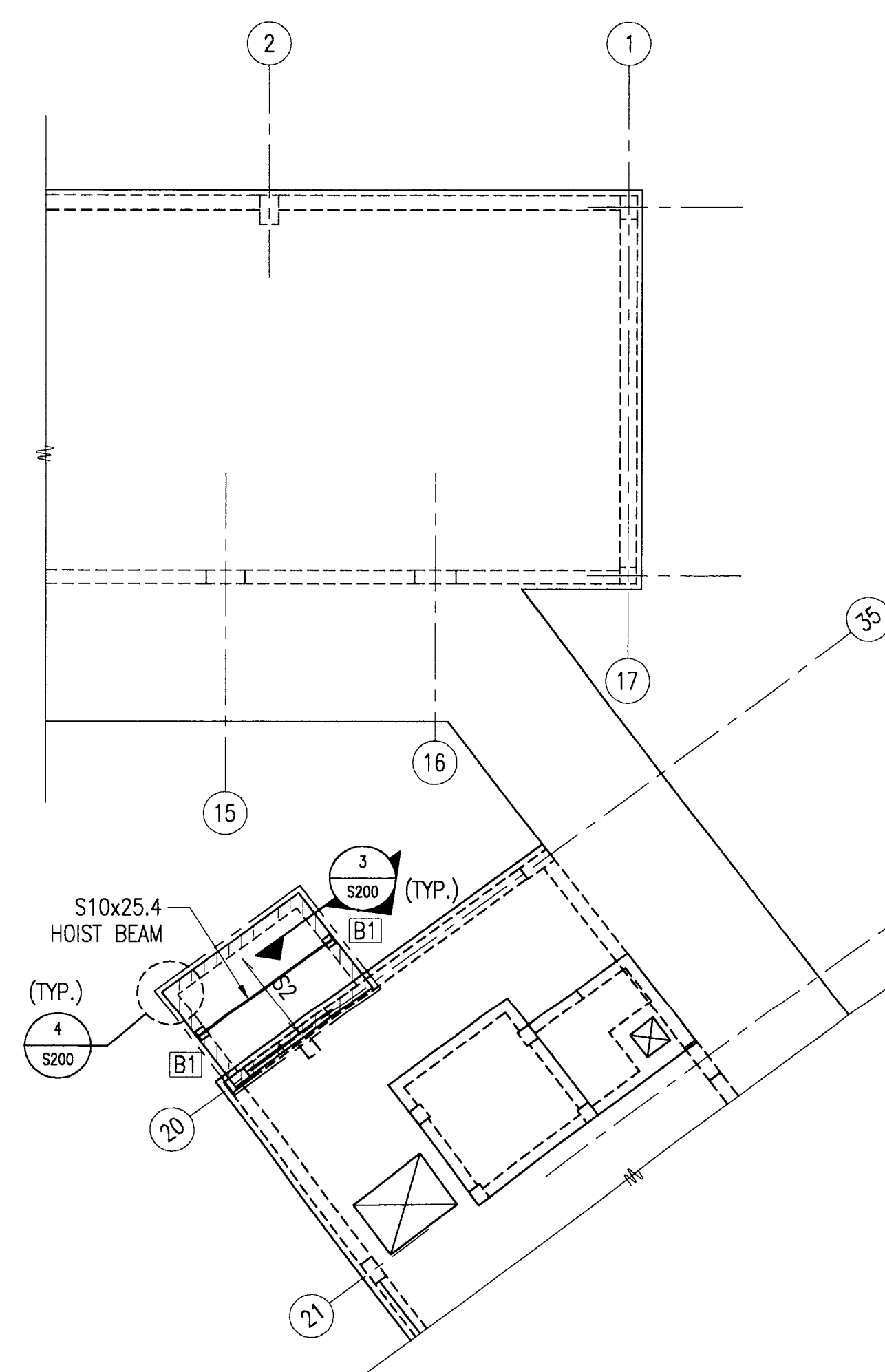


LOOMIS COURT 1314
EXIST. BLDG 2



PARTIAL TYPICAL FLOOR FRAMING PLAN
1/8"=1'-0"

1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DWGS. PRIOR TO CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIAL WORK NECESSITATED BY UN-VERIFIED DIMENSIONS AND ELEVATIONS.
2. SEE S-000 FOR GENERAL STRUCTURAL NOTES.
3. INDICATES 8" CMU WALL W/BOND BEAMS SPACED VERTICALLY @ 4'-0" O.C. REINF. EA. BOND BEAM W/2-#4 CONT.



LOOM
EXIST



NEW I
1/8"=1'-0"

1. VERIFY CONST. WORK
2. SEE S
- 3.
4. "S2" I
5. "L1" I
6. IN GROU

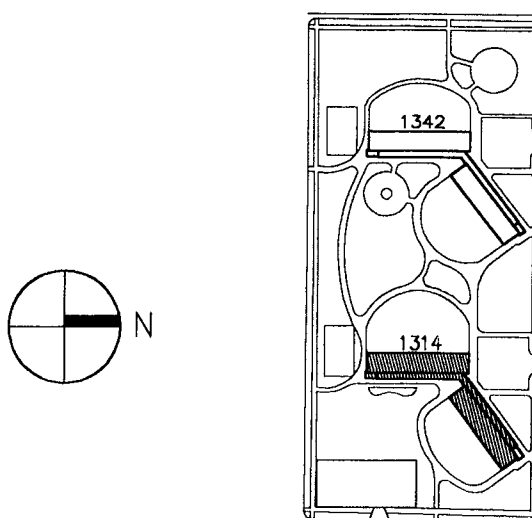
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General Notes

SEAL
EUGENE C. MOJEKWU
81-5180
SEP 16 2005
RAFAEL HERNANDEZ
Associate Director
BY *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



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10.08.04	ISSUED FOR BID	
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STRUCTURAL FRAMING PLANS

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE 10/08/04	SCALE	JOB NO. 2003005.01	SHEET NUMBER S-100
DRAWN	CHECKED ECS	APPROVED ECS	

LOOMIS COURT 1314
EXIST. BLDG 2

PARTIAL FIRST FLOOR FRAMING PLAN

- 1/8"=1'-0"
1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DWGS. PRIOR TO CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIAL WORK NECESSITATED BY UN-VERIFIED DIMENSIONS AND ELEVATIONS.
 2. SEE S-000 FOR GENERAL STRUCTURAL NOTES.
 3. [Hatched] INDICATES 8" CMU WALL W/BOND BEAMS SPACED VERTICALLY @ 4'-0" O.C. REINF. EA. BOND BEAM W/2-#4 CONT. SEE 4/S-200
 4. "*" INDICATES DIMENSION TO BE COORDINATED WITH ARCH. DWGS.
 5. "GBX" INDICATES CONC. GRADE BEAM T/B ELEV. = -5'-10" SEE SCHEDULE AND DETAILS ON SHT. S200
 6. "CSN-X" INDICATES CAISSON T/CAISSON EL. = -8'-10" SEE SCHEDULE AND DETAILS ON SHT. S200

LOOMIS COURT 1314
EXIST. BLDG 2

PARTIAL TYPICAL FLOOR FRAMING PLAN

- 1/8"=1'-0"
1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DWGS. PRIOR TO CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIAL WORK NECESSITATED BY UN-VERIFIED DIMENSIONS AND ELEVATIONS.
 2. SEE S-000 FOR GENERAL STRUCTURAL NOTES.
 3. [Hatched] INDICATES 8" CMU WALL W/BOND BEAMS SPACED VERTICALLY @ 4'-0" O.C. REINF. EA. BOND BEAM W/2-#4 CONT. SEE 4/S-200

LOOMIS COURT 1314
EXIST. BLDG 2

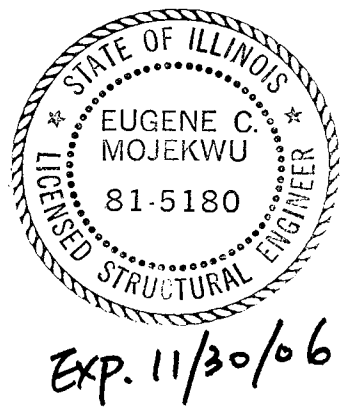
MACHINE ROOM FRAMING PLAN

- 1/8"=1'-0"
1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DWGS. PRIOR TO CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIAL WORK NECESSITATED BY UN-VERIFIED DIMENSIONS AND ELEVATIONS.
 2. SEE S-000 FOR GENERAL STRUCTURAL NOTES.
 3. [Hatched] INDICATES 8" CMU WALL W/BOND BEAMS SPACED VERTICALLY @ 4'-0" O.C. REINF. EA. BOND BEAM W/2-#4 CONT. SEE 4/S-200
 4. "S1" INDICATES 8" REINF. CONC. SLAB W/#6 @ 6" O.C. SHORT WAY BOT. & # 5 @ 12" O.C. LONG WAY BOT. T/SLAB EL.=+67'-3"
 5. INDICATES NEW 14 1/4x18 CONC. BEAM W/3-#10 TOP & BOT. CONT. W/#3 [] STIRRUPS @ 6" O.C.

LOOMIS COURT 1314
EXIST. BLDG 2

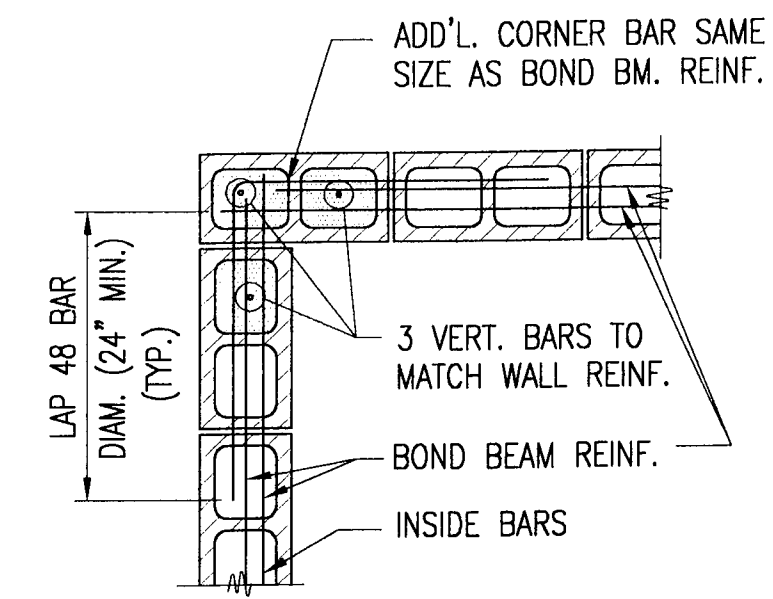
NEW ELEVATOR SHAFT ROOF FRAMING PLAN

- 1/8"=1'-0"
1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. DWGS. PRIOR TO CONSTRUCTION. CONTRACTOR IS SOLELY RESPONSIBLE FOR REMEDIAL WORK NECESSITATED BY UN-VERIFIED DIMENSIONS AND ELEVATIONS.
 2. SEE S-000 FOR GENERAL STRUCTURAL NOTES.
 3. [Hatched] INDICATES 8" CMU WALL W/BOND BEAMS SPACED VERTICALLY @ 4'-0" O.C. REINF. EA. BOND BEAM W/2-#4 CONT. SEE 4/S-200
 4. "S2" INDICATES 6" REINF. CONC. SLAB W/#5 @ 12" O.C. EA. WAY BOT. T/SLAB EL.=+75'-1"
 5. "L1" INDICATES L4x3 1/2x3/8 LLV LINTEL FOR EACH 4" WALL THICKNESS.
 6. [B1] INDICATES 1/2"x7"x0"-8" BRG. PLATE W/1/2"x4" HEADED STUD IN GROUTED CMU. SEE DTL 7/S-200



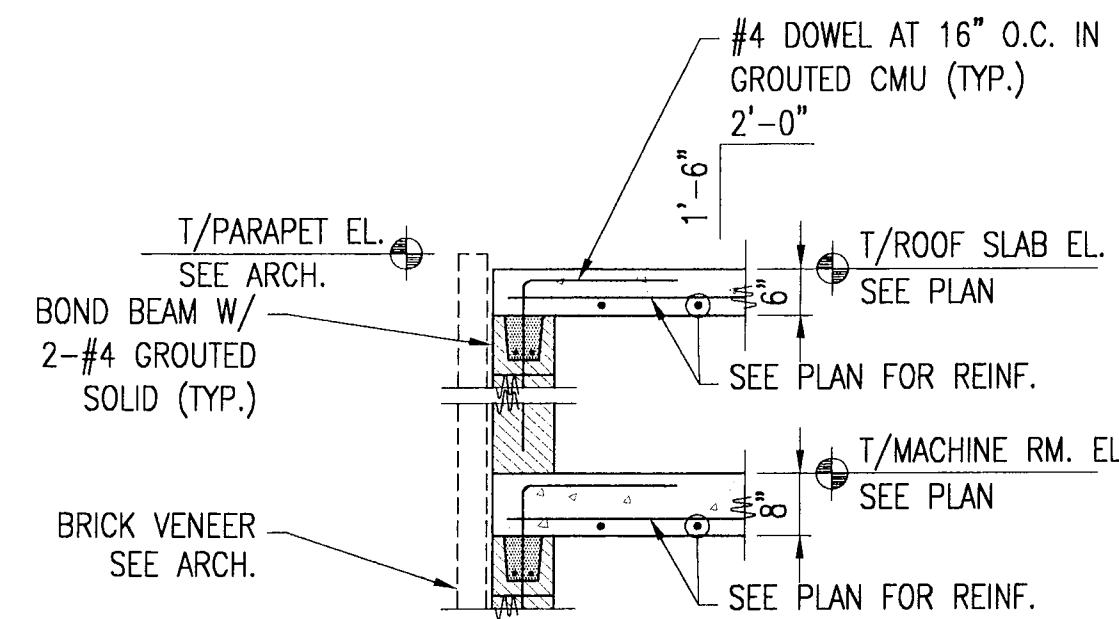
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General Notes



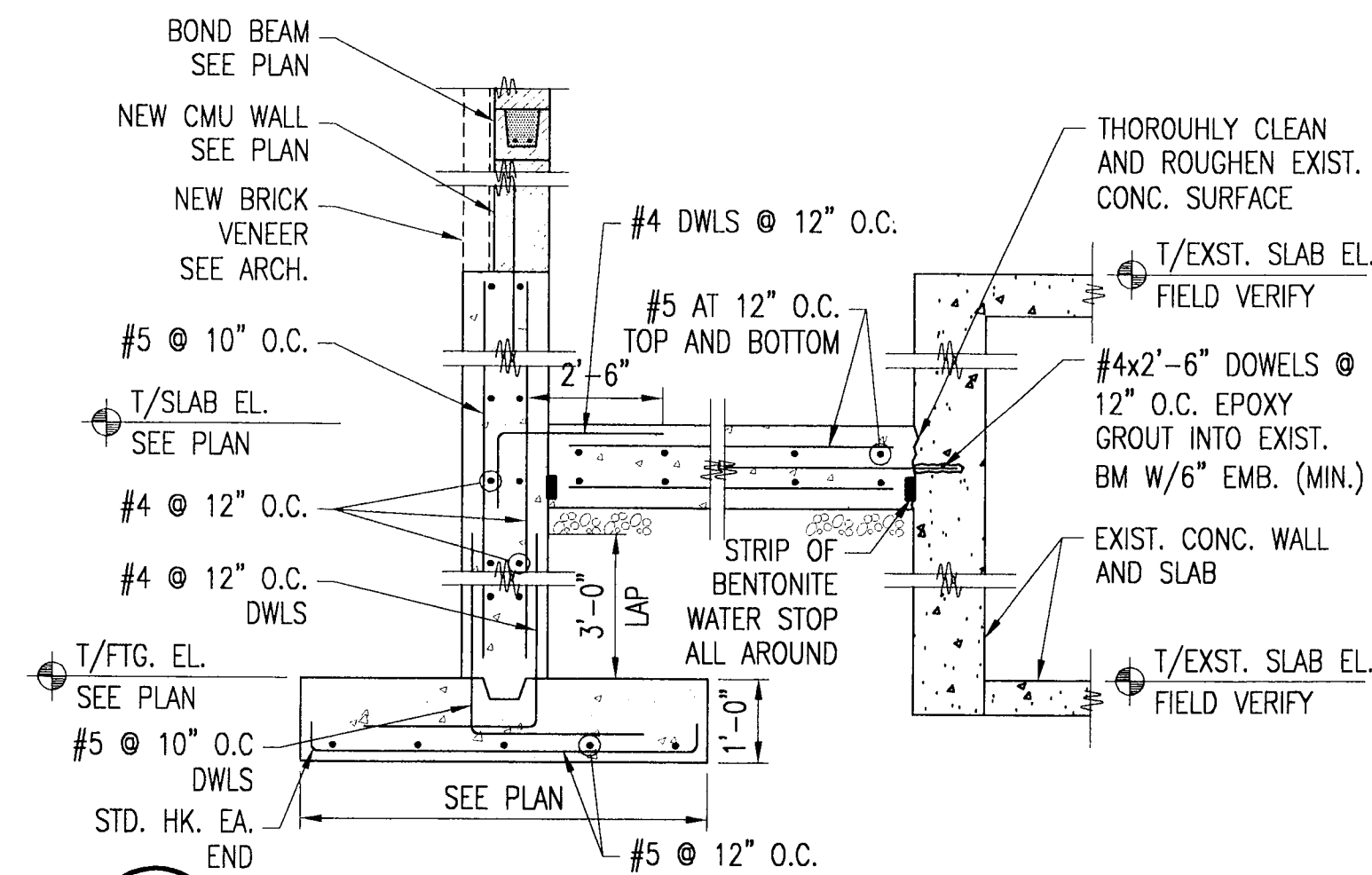
TYPICAL MASONRY WALL BOND BEAM AND ADD'L VERT. BAR DETAILS

S200 N.T.S.



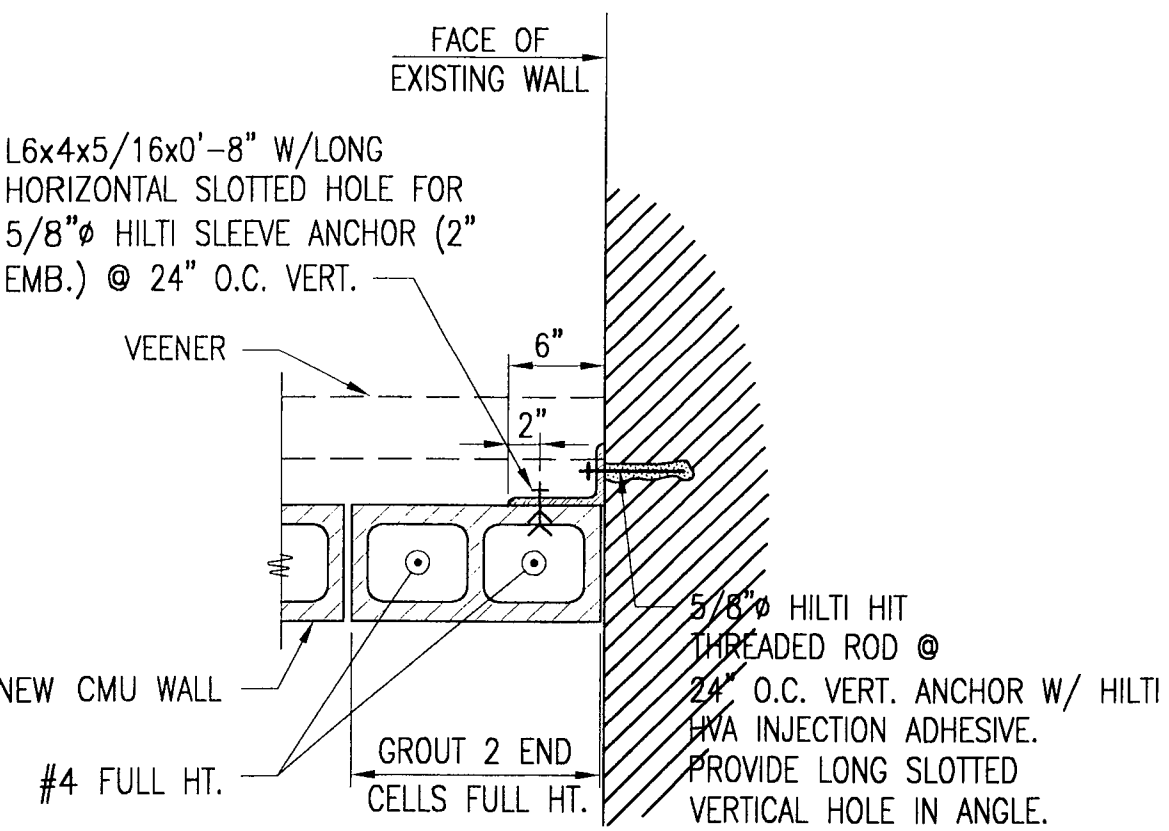
SECTION AT ROOF

S200 1/2"=1'-0"



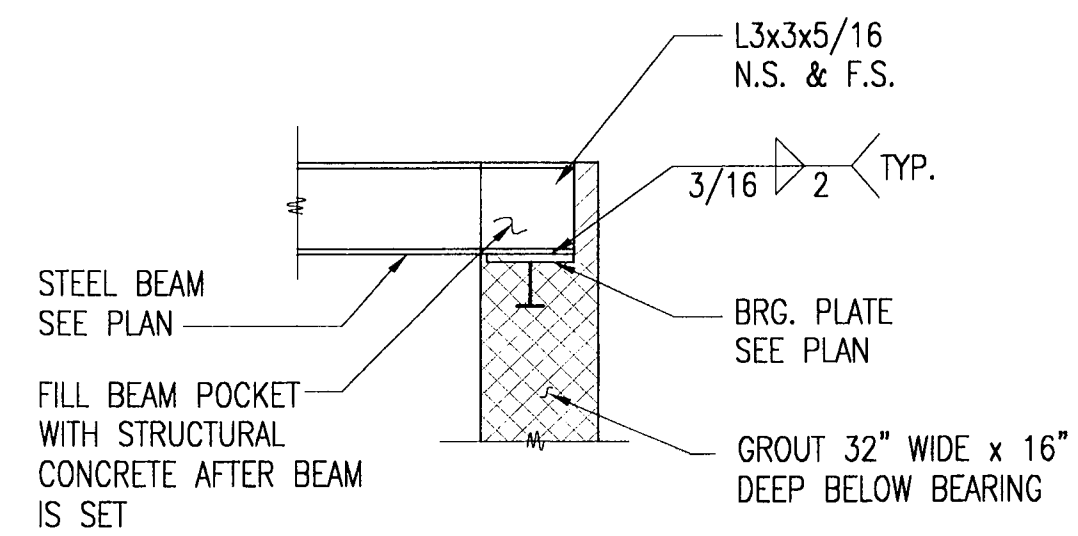
SECTION AT ELEVATION PIT

S200 1/2"=1'-0"



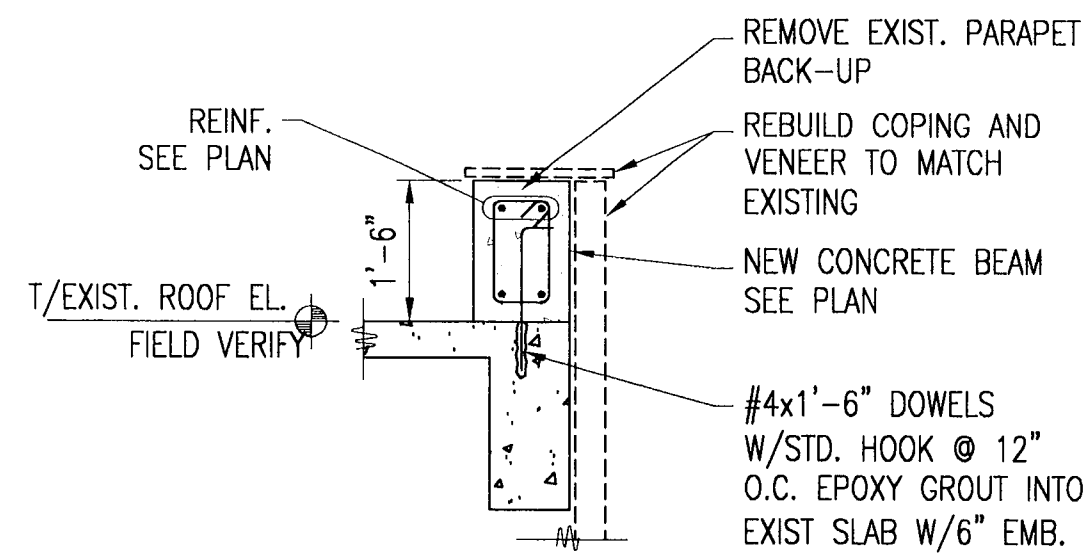
PLAN DETAIL

S200 1"=1'-0"



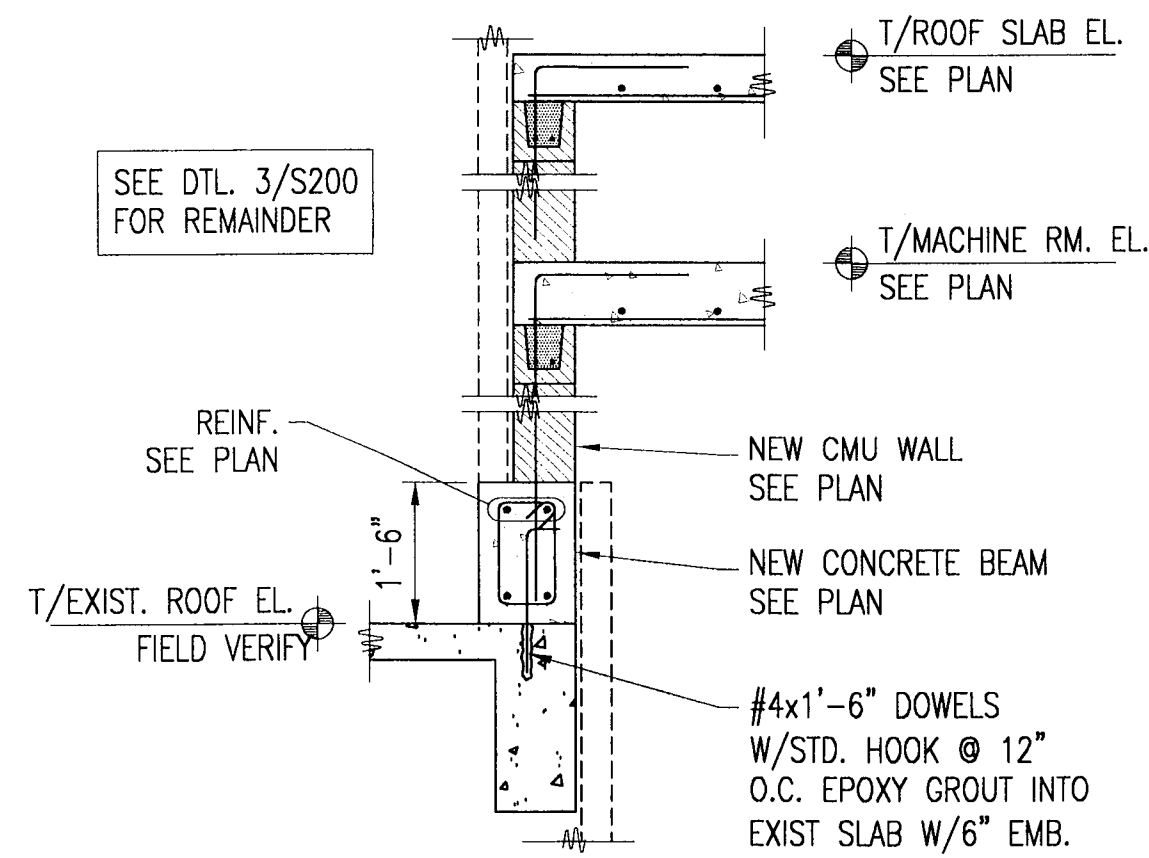
TYPICAL BEAM BRG. ON CMU WALL

S200 3/4"=1'-0"



SECTION AT ROOF

S200 1/2"=1'-0"



SECTION AT ROOF

S200 1/2"=1'-0"

VOLD
GCM
3/4/05

CHANGE

CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
626 West Jackson 3rd Floor
Chicago, Illinois 60661

SMITH HARDING

Architecture
Historic Preservation
Construction Management

db HMS ENGINEERING

MEP Engineers
8695 South Archer Avenue
Suite 3
Willows Springs, Illinois 60480

MATRIX ENGINEERING

Structural Engineers
33 W. Jackson Blvd.
Chicago, Illinois 60604

Bid Documents

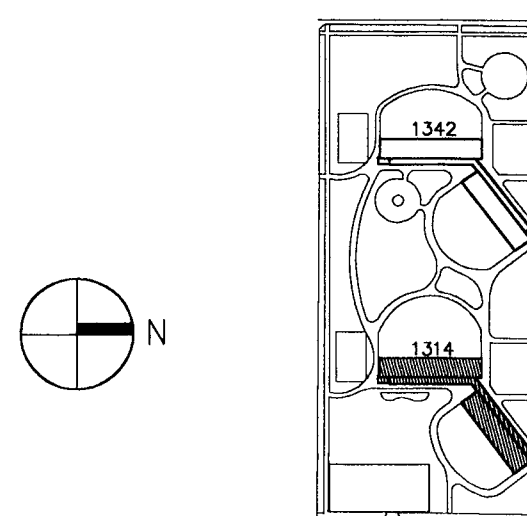
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General Notes

SEP 19 2005
RAFAEL HERNANDEZ
Project Director

Key Plan

□ DENOTES SCOPE OF WORK / CONTRACT LIMIT



6	02.11.05	ISSUED FOR CONSTRUCTION COST ISSUED FOR PERMIT CORRECTIONS	
5	10.08.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

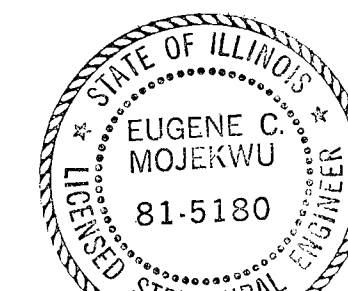
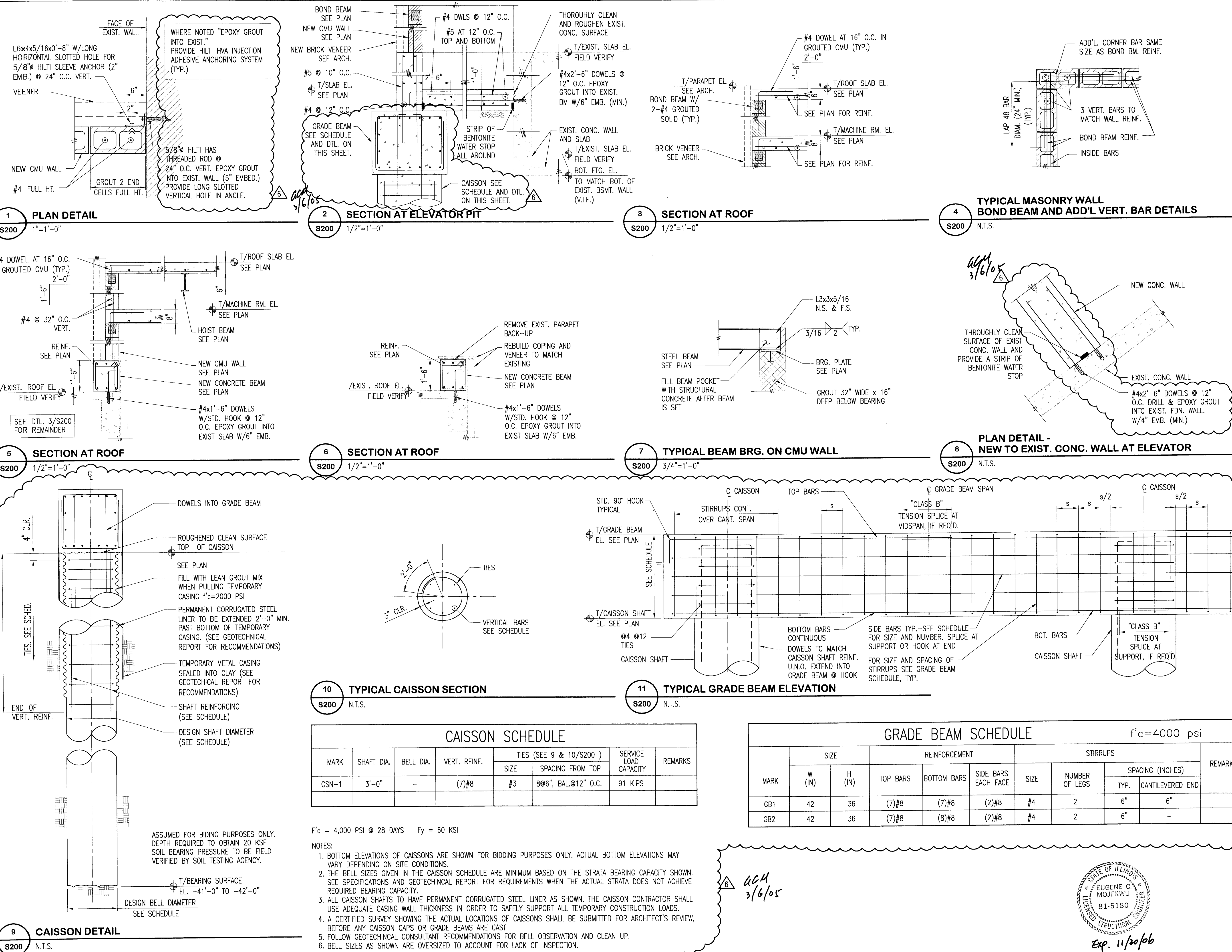
(312) 742-5500 FAX (312) 655-1105

SECTIONS AND DETAILS

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

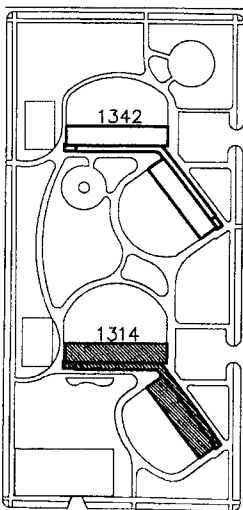
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10/08/04		2003005.01	S-200
DRAWN	CHECKED	APPROVED	
EGS	EGS	EGS	



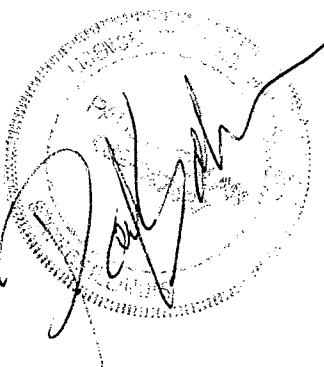
Exp. 11/30/06

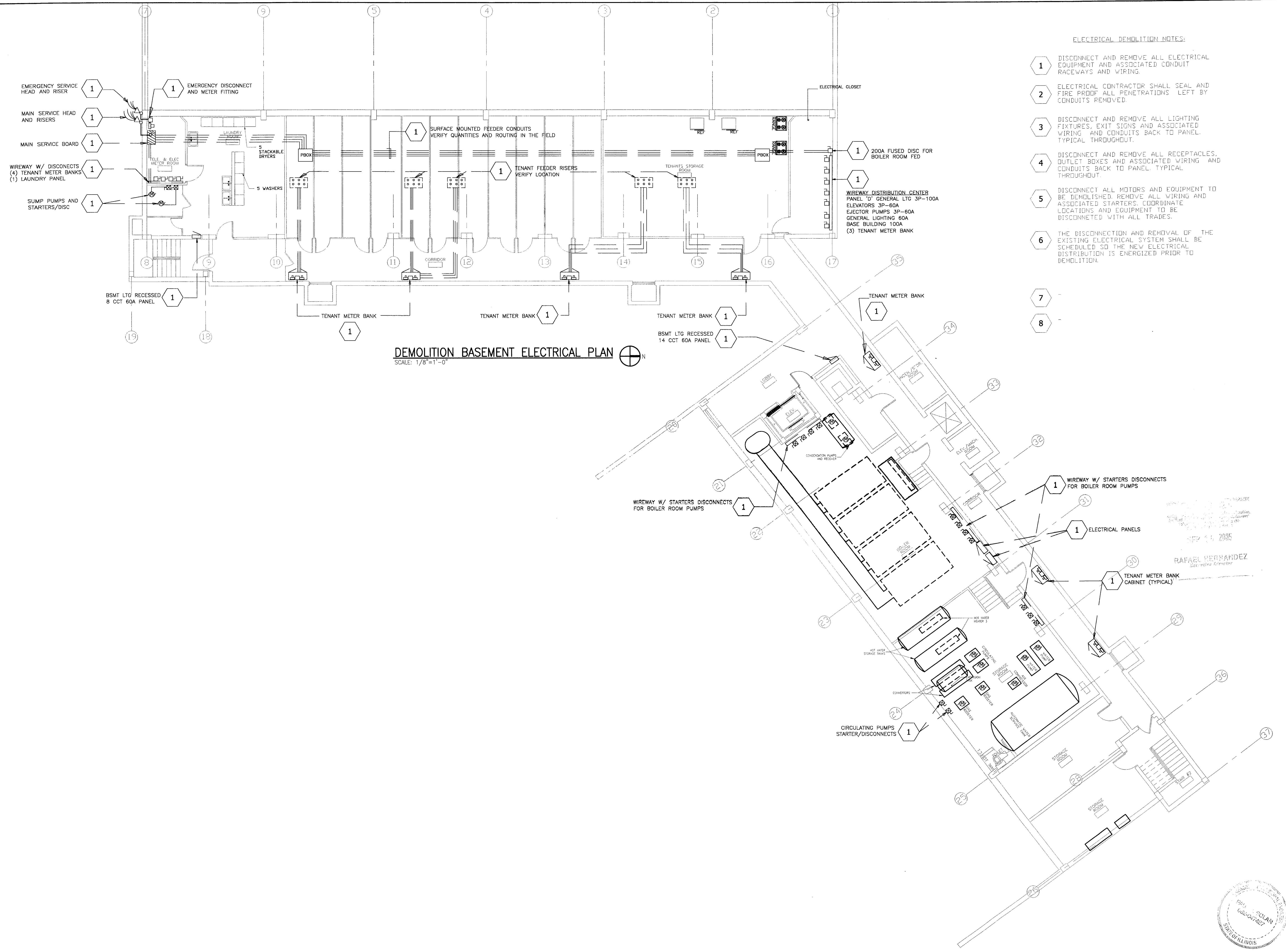
ELECTRICAL DRAWING NOTES

1. THE SCOPE OF WORK INCLUDES 100% REPLACEMENT OF EXISTING WIRING, PRIOR TO THE INSTALLATION OF ANY ROUGH IN FOR ELECTRICAL WORK. THE ELECTRICAL CONTRACTOR IS TO WALK THROUGH EACH SPACE WITH THE ARCHITECT AND OWNER TO DETERMINE FINAL LOCATIONS FOR ALL LIGHT FIXTURES AND ELECTRICAL DEVICES.
2. AT LOCATION INDICATED AS [NOTE 2] REUSE EXISTING JUNCTION, BOX LOCATION AND RELATED CONDUIT. REPLACE ALL WIRING AND DEVICES.
3. AT LOCATION INDICATED AS [NOTE 3] PROVIDE COVER PLATE AT EXISTING JUNCTION BOX.
4. ALL BEDROOM RECEPTACLES ARE TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS.
5. AT LOCATION INDICATED AS [NOTE 5] LOCATE DEVICE IN CASEWORK, COORDINATE WITH ARCHITECT AND CASEWORK CONTRACTOR.
6. RECEPTACLES IN KITCHENS AND BATH ROOMS ARE TO BE ON 20 AMP CIRCUITS.
7. UNDERCABINET LIGHTS ARE TO BE SIZED AND GANGED TOGETHER TO PROVIDE THE MAXIMUM LINEAR FOOT COVERAGE OF EACH RESPECTIVE CABINET LOCATION. COORDINATE WITH CASEWORK CONTRACTOR AND ARCHITECT.
8. UNLESS OTHERWISE INDICATED, ALL ELECTRICAL DEVICES ARE TO BE "LUTRON" "ARIADNI" SERIES, COLOR: BR.
9. ALL DEVICE TRIM PLATES ARE TO BE
10. PROVIDE CATEGORY 1 TELEPHONE WIRING TO ALL TELEPHONE JACK LOCATIONS.
11. PROVIDE POWER TO SEVEN AIR CONDITIONING UNITS. LOCATIONS MAY VARY FROM THOSE INDICATED ON THE PLANS.
12. PROVIDE POWER TO THREE APRIL-AIRE HUMIDIFIERS (LOCATIONS TO BE DETERMINED).



<div style="text-align: center;"> REVISIONS </div>			
<div style="text-align: center;"> CHICAGO HOUSING AUTHORITY CAPITAL CONSTRUCTION DIVISION ARCHITECTURAL/ENGINEERING SERVICES 626 W JACKSON CHICAGO, IL 60604 </div>			
(312) 742 5500		FAX (312) 655-1105	
<div style="text-align: center;"> BLDG. 1314 ELECTRICAL SYMBOLS </div>			
1314 WEST 15TH STREET FAMILY DEVELOPMENT			HUD NUMBER RH-5
DATE 12.09.2003	SCALE AS SHOWN	JOB NO. 2003005.03	SHEET NUMBER <div style="font-size: 2em; font-weight: bold;">E-01B</div>
DRAWN ---	CHECKED DAS	APPROVED PAH	
			SHT. _ X OF _ X SHTS.





DEMOLITION BASEMENT ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

ELECTRICAL DEMOLITION NOTES:

- 1 DISCONNECT AND REMOVE ALL ELECTRICAL EQUIPMENT AND ASSOCIATED CONDUIT RACEWAYS AND WIRING.
- 2 ELECTRICAL CONTRACTOR SHALL SEAL AND FIRE PROOF ALL PENETRATIONS LEFT BY CONDUITS REMOVED.
- 3 DISCONNECT AND REMOVE ALL LIGHTING FIXTURES, EXIT SIGNS AND ASSOCIATED WIRING AND CONDUITS BACK TO PANEL. TYPICAL THROUGHOUT.
- 4 DISCONNECT AND REMOVE ALL RECEPTACLES, OUTLET BOXES AND ASSOCIATED WIRING AND CONDUITS BACK TO PANEL. TYPICAL THROUGHOUT.
- 5 DISCONNECT ALL MOTORS AND EQUIPMENT TO BE DEMOLISHED. REMOVE ALL WIRING AND ASSOCIATED STARTERS. COORDINATE LOCATIONS AND EQUIPMENT TO BE DISCONNECTED WITH ALL TRADES.
- 6 THE DISCONNECTION AND REMOVAL OF THE EXISTING ELECTRICAL SYSTEM SHALL BE SCHEDULED SO THE NEW ELECTRICAL DISTRIBUTION IS ENERGIZED PRIOR TO DEMOLITION.

- 7
- 8



CHICAGO HOUSING AUTHORITY
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600 West Jackson
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Architecture 224 South Michigan Avenue
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db HMS
ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

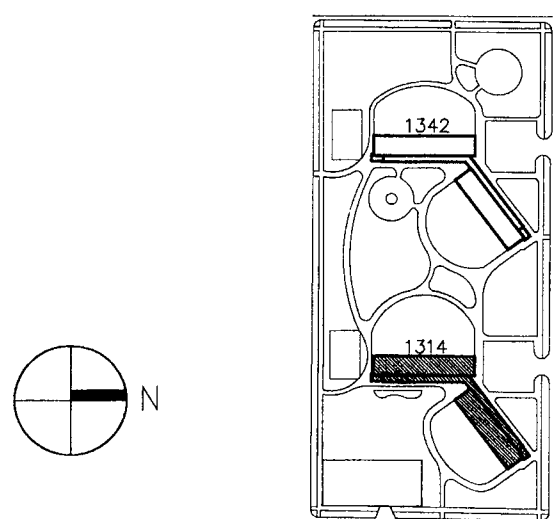
Bid Documents

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General Notes

RAFAEL HERNANDEZ
BY: [Signature]
DATE: 12/14/2005
RAFAEL HERNANDEZ
Electrical Engineer

Key Plan



4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

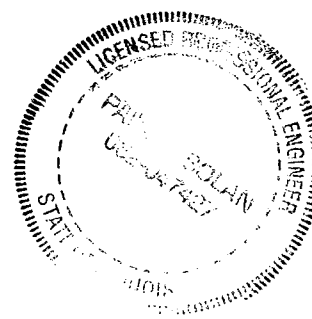
(312) 742 5500 FAX (312) 655-1105

BLDG. 1314 BASEMENT
DEMO ELECTRICAL PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	E-101B
DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
---	DAS	PAH	



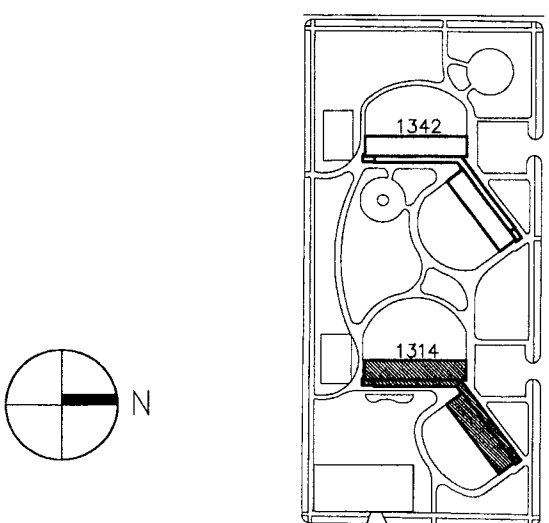
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General Notes

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604
RAPHAEL HERNANDEZ
Construction Director

Key Plan



4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

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CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

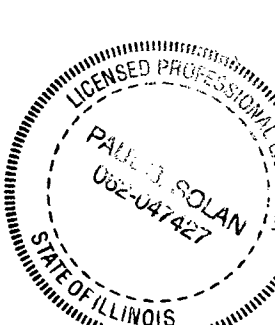
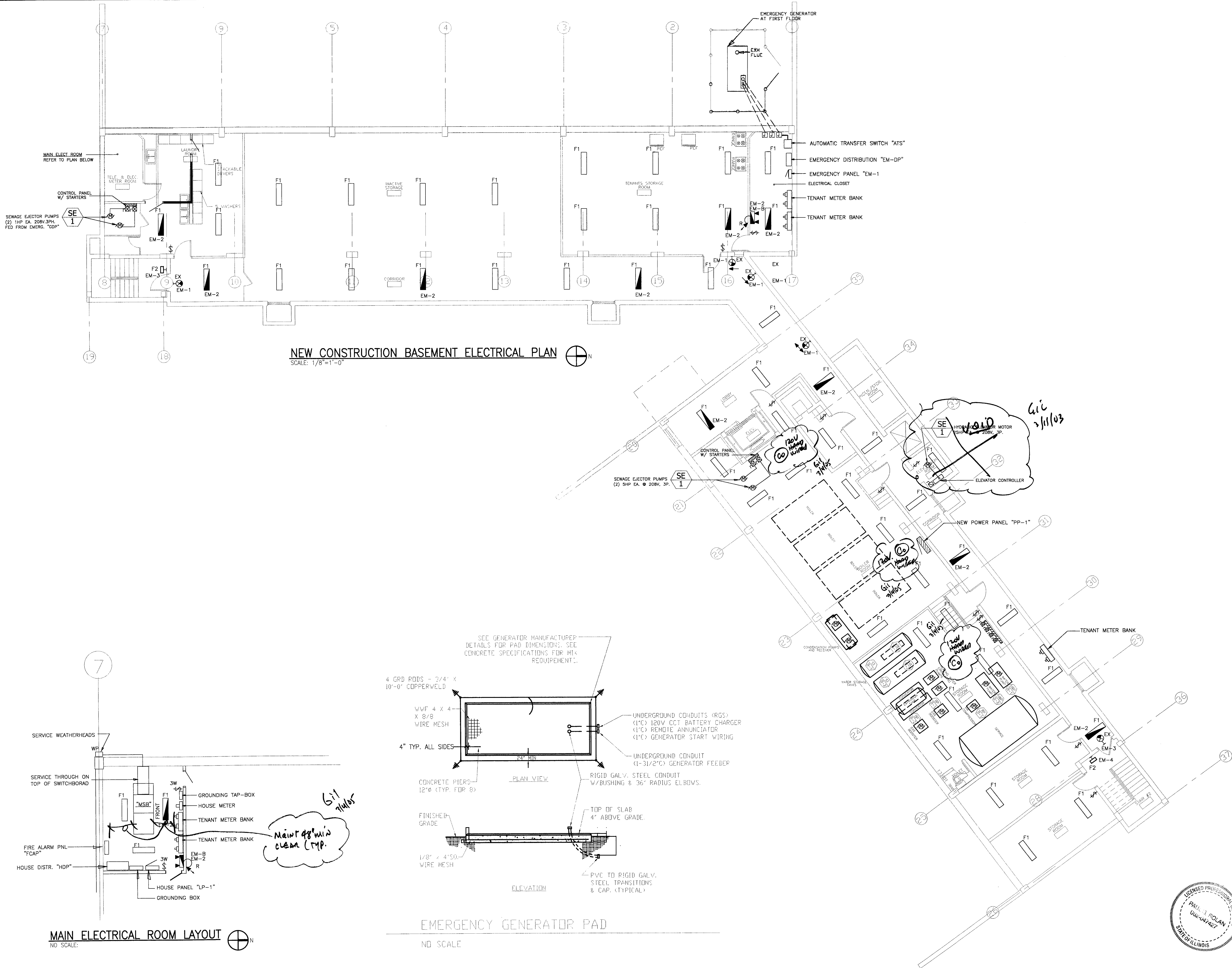
(312) 742 5500 FAX (312) 655-1105

BLDG. 1314 BASEMENT
NEW ELECTRICAL PLAN

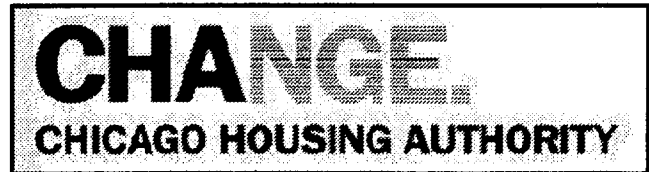
1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

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DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
---	DAS	PAH	



TYPICAL 2B APARTMENT UNIT - PANEL SCHEDULE (1B APARTMENT & STUDIO PANEL SIMILAR)									
VOLTAGE:		240/120-1PHASE-3W				MODEL:		-	
MAIN TYPE:		MAIN BREAKER				ENCLOSURE:		NEMA 1	
BUS AMPS:		60 AMPS				MAX. CKT. POLES:		12	
BREAKER AMPS:		60 AMPS				MOUNTING:		RECESSED	
INTERR. RATING:		-				NEUTRAL BUS:		100%	
INTERR. RATING:		10 KA - BRANCH BREAKER				EQ. GND. BUS:		YES	
						ISOLATED GND:		NO	
FEED THRU: NO									
SERVES									
	A	B	1	2	3	4	A	B	SERVES
KITCHEN REFRIG	800	20	1	A	2	15	650	1220	7 LIGHT FIXTURES
KITCHEN APPLIANCES	1200	20	3	B	4	20			7 DUPLEX RECEPTACLES
BATHROOM GFI	500	20	5	A	6	20	1220		7 DUPLEX RECEPTACLES
SMOKE DETECTORS	100	15	7	B	8	15			3 SPARE
BEDROOM A/C UNIT	668	25	9	A	10	25	668		LIVINGROOM A/C UNIT
(2B APT. UNIT ONLY)		668	15	11	B	12	15		
	1968	1968					2538	1888	
SERIES RATED BREAKERS ARE NOT APPROVED.									
BATHROOM, AND KITCHEN RECEPTACLES SHALL BE GFI TYPE.									
BREAKERS SERVING BEDROOM RECEPTACLES SHALL BE AFI TYPE.									
PROVIDE BREAKER LOCK-ON DEVICE TO BREAKERS SERVING SMOKE DETECTORS.									
									A 4508
									B 3856
									TOTAL (VA) 8382
									CONNEC. AMPS 40.20



CHICAGO HOUSING AUTHORITY
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Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
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ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

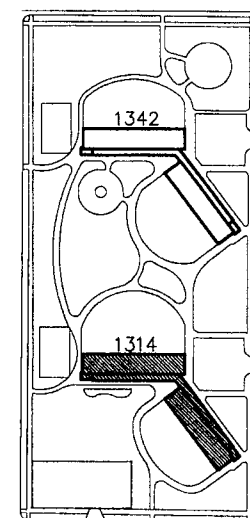
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General Notes

REVISIONS OF DRAWINGS
1. 09.07.04 ISSUED FOR 100% CD'S
2. 08.10.04 ISSUED FOR 50% CD'S
3. 03.29.04 ISSUE FOR PRE-PROPOSAL REVIEW
4. 12.12.03 ISSUED FOR HUD PREAPPLICATION
BY: RAFAEL HERNANDEZ
12/12/03

Key Plan



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

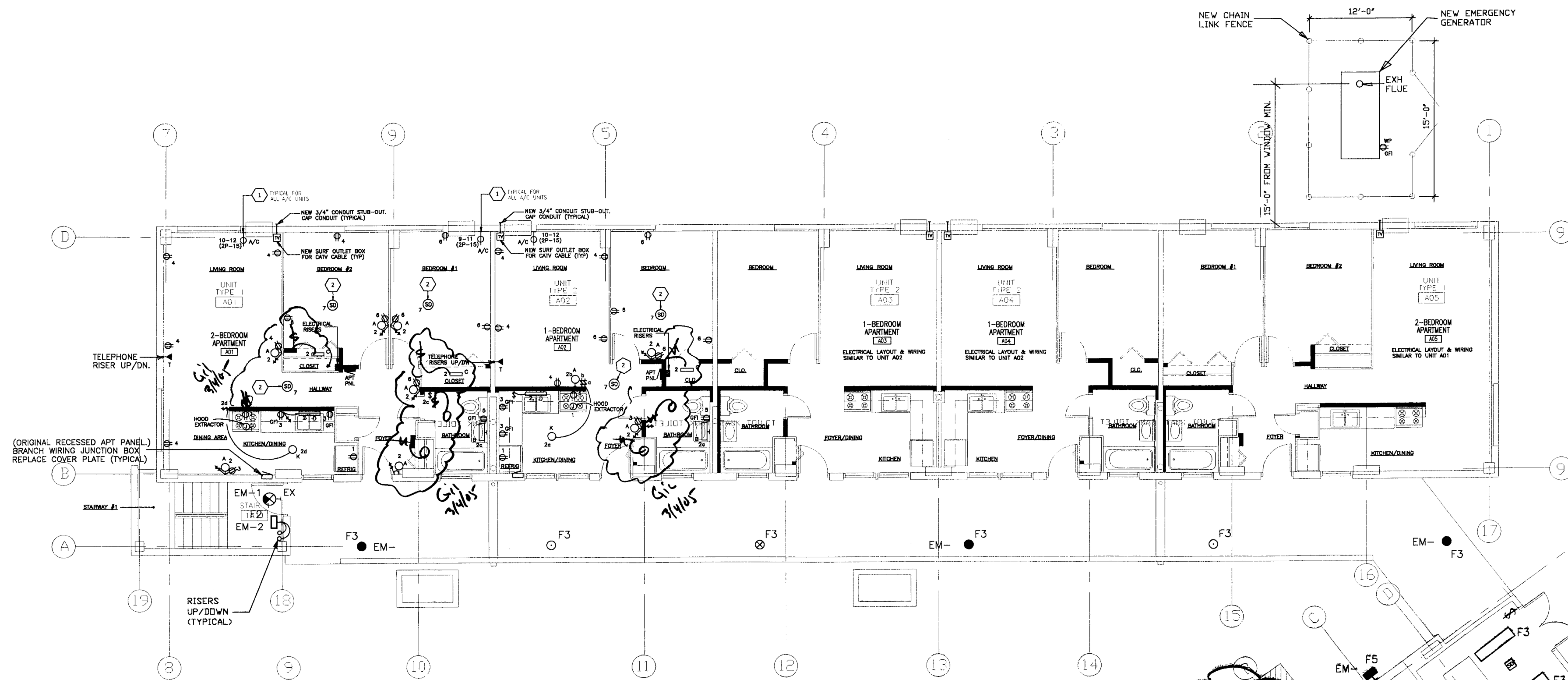
CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

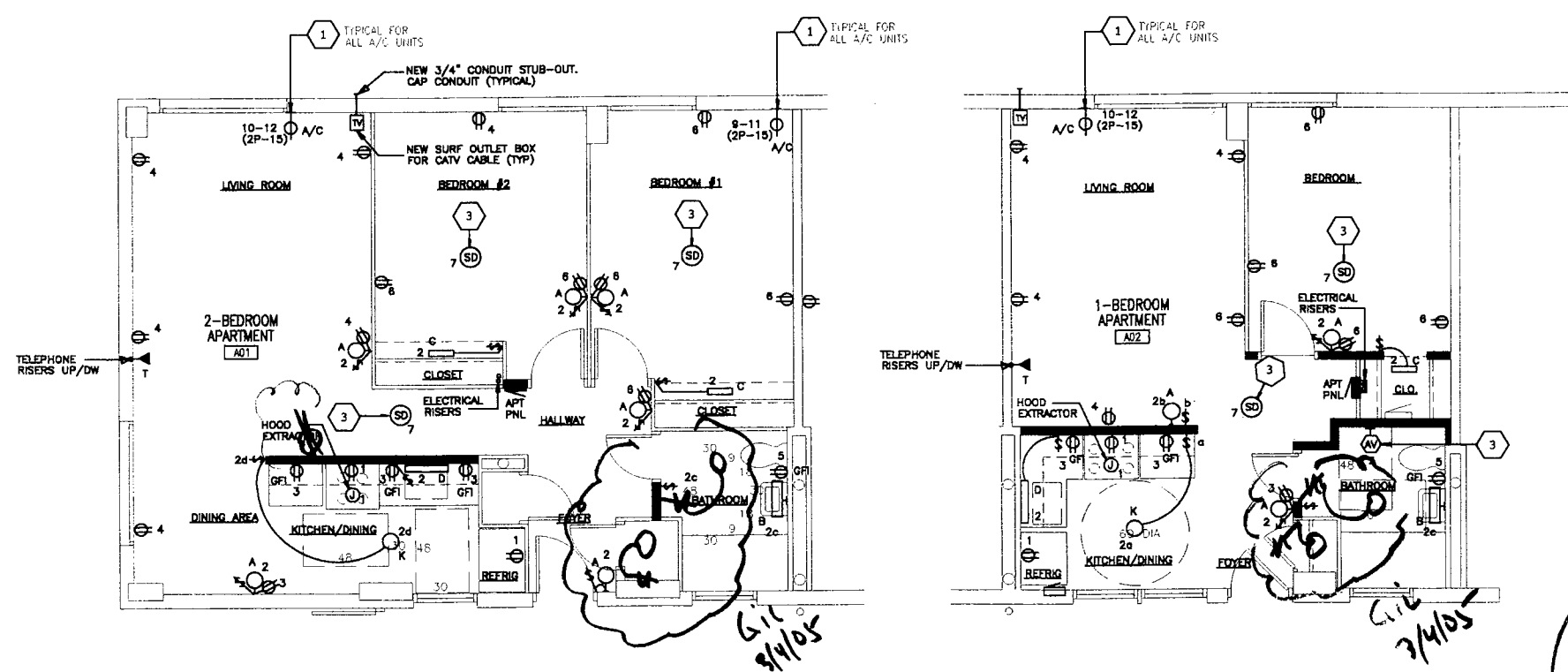
BLDG. 1314 1st. FLOOR
NEW ELECTRICAL PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	E-104B
DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
---	DAS	PAH	



NEW CONSTRUCTION 1st. FLOOR ELECTRICAL PLAN
SCALE: 1/8"=1'-0"



NEW ADA ADAPTABLE ELECTRICAL FLOOR PLANS
REFER TO ARCHITECTURAL MATRIX SCHEDULE FOR QUANTITIES AND LOCATIONS
SCALE: 1/8"=1'-0"

ELECTRICAL NOTES:

- 1
- 2

NOTES:

REFER TO ARCHITECTURAL MATRIX SCHEDULE TO IDENTIFY LOCATION AND QUANTITY OF UNITS TO BE:
• ACCESSIBLE FOR THE HEARING IMPAIRED (VISUALLY ACCESSIBLE)
• ADAPTABLE FOR VISUALLY ACCESSIBLE UNITS.

IN ALL ACCESSIBLE UNITS, ELECTRICAL CONTRACTOR SHALL PROVIDE THE FOLLOWING:

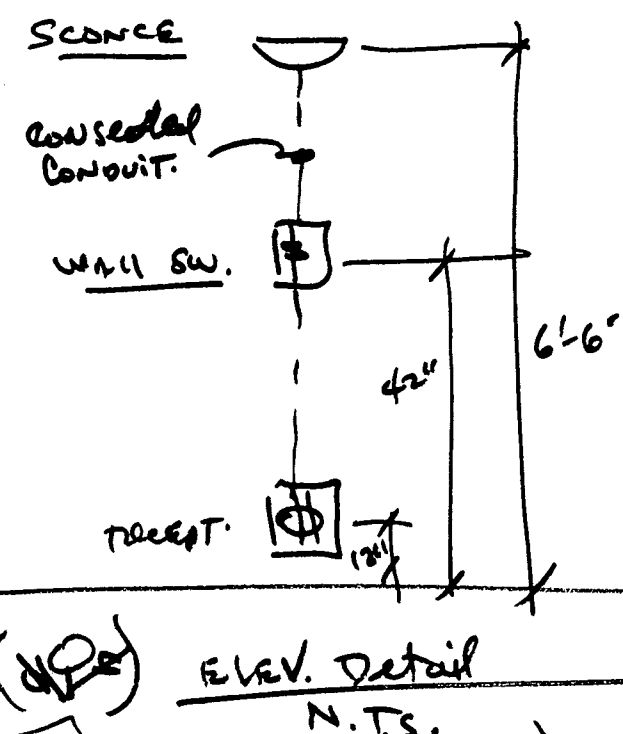
1. PROVIDE 4-GANG LIGHT SWITCHES MTD 42" AFF IN KITCHEN AREA FOR :
 - OVERHEAD KITCHEN LIGHT.
 - UNDER-CABINET LIGHTS.
 - HOOD EXTRACTOR.
2. PROVIDE AUDIO/VISUAL STROBE ALARM UNITS IN ALL ROOMS INCLUDING BATHROOMS.
3. ALL VISUAL FIRE ALARM UNITS SHALL BE SYNCHRONIZED AS A SEIZURE PRECAUTION.
4. PROVIDE INTERCOM BUZZER WITH BLUE DOME LIGHT AND ENTRY DOOR RELEASE BUTTON.

IN ALL ADAPTABLE UNITS, ELECTRICAL CONTRACTOR SHALL PROVIDE THE FOLLOWING:

5. PROVIDE 4-GANG LIGHT SWITCHES MTD 42" AFF IN KITCHEN AREA FOR :
 - OVERHEAD KITCHEN LIGHT.
 - UNDER-CABINET LIGHTS.
 - HOOD EXTRACTOR.
6. PROVIDE BOXES AND RACEWAYS TO ACCOMMODATE FUTURE AUDIO/VISUAL STROBE ALARM UNITS IN ALL ROOMS INCLUDING BATHROOMS.
7. PROVIDE INTERCOM BUZZER WITH PROVISIONS FOR A BLUE DOME LIGHT AND ENTRY DOOR RELEASE BUTTON.

PROVIDE A DEDICATED DOOR BUZZER SYSTEM FOR EACH APARTMENT INCLUDING THE FOLLOWING:

- EXTERIOR DOOR BUZZER AT EACH APARTMENT ENTRY DOOR.
- BUZZER WITH LV TRANSFORMER INSIDE EACH APARTMENT.
- STROBE LIGHT WITH BUZZER WITH BLUE DOME AT ACCESSIBLE UNITS.
- AND ALL ASSOCIATED RACEWAYS AND WIRING.

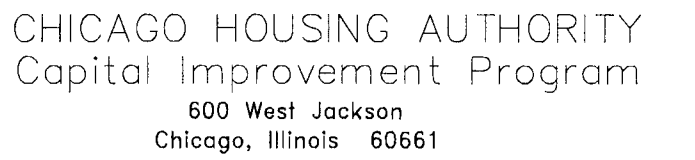


Handwritten note: 444 EMERG. P.A.S. UNIT @ BLDG. 1314

Handwritten note: (N.T.S.) Elev. Detail N.T.S.

Handwritten note: 45 3/11/05

Handwritten note: 11/2/04



Architecture 224 South Michigan Avenue
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Construction Management Chicago, Illinois 60604

3695 South Archer Ave.
Suite #3
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Tel: 1-708-467-0557
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DEPARTMENT OF LAND, AIR, & PERMITS
 2000 15th Street, NW
 Xing, 1 and 2nd Floor, Room 200, Sacramento, CA 95811
 And Visitation, 2000 15th Street, NW, Sacramento, CA 95811
 Subject to all regulations with the
 Municipal Code of Chicago

SEP 16 2005

RAFAEL HERNANDEZ
 Executive Director

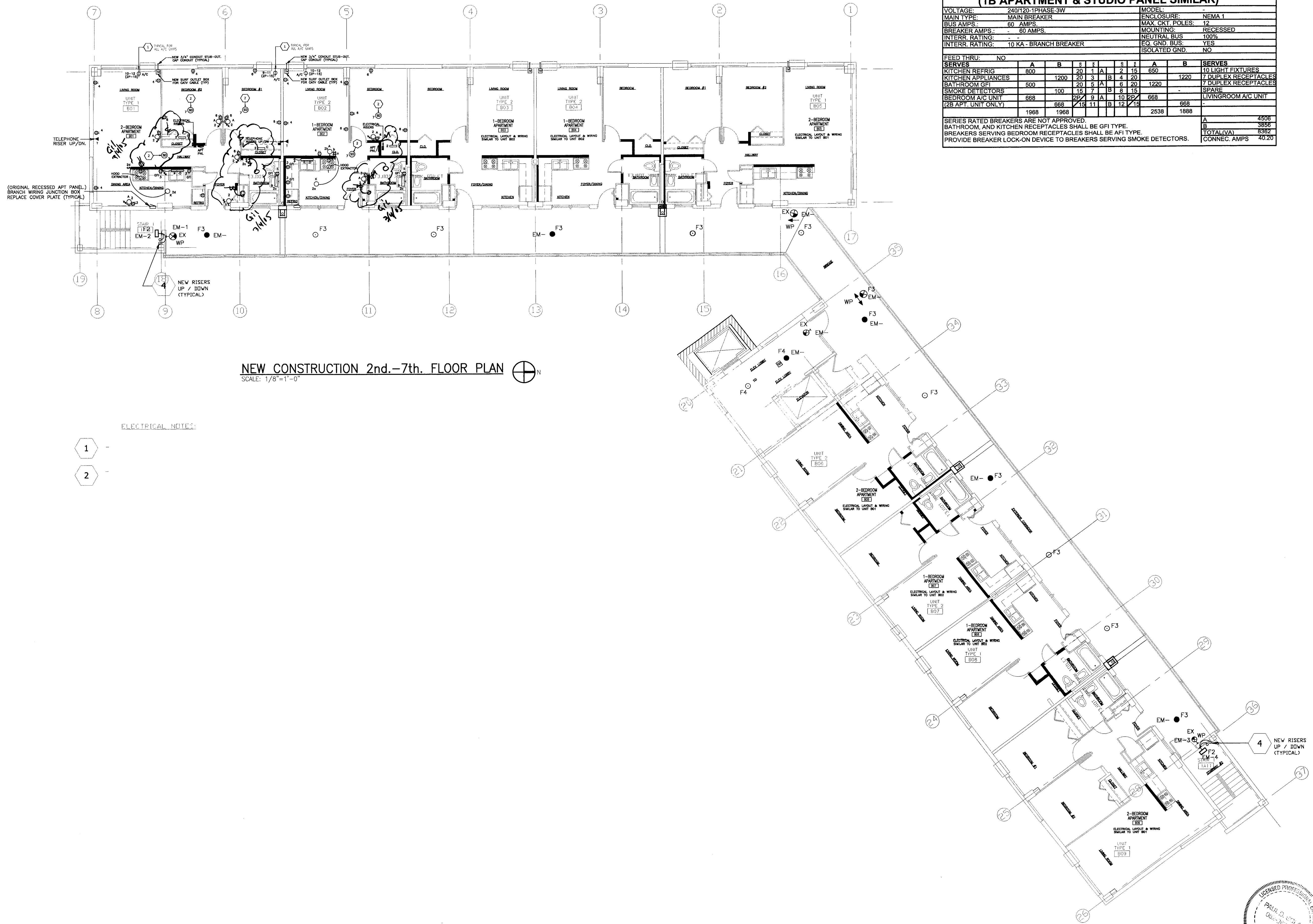
LY [Signature]

REVISIONS

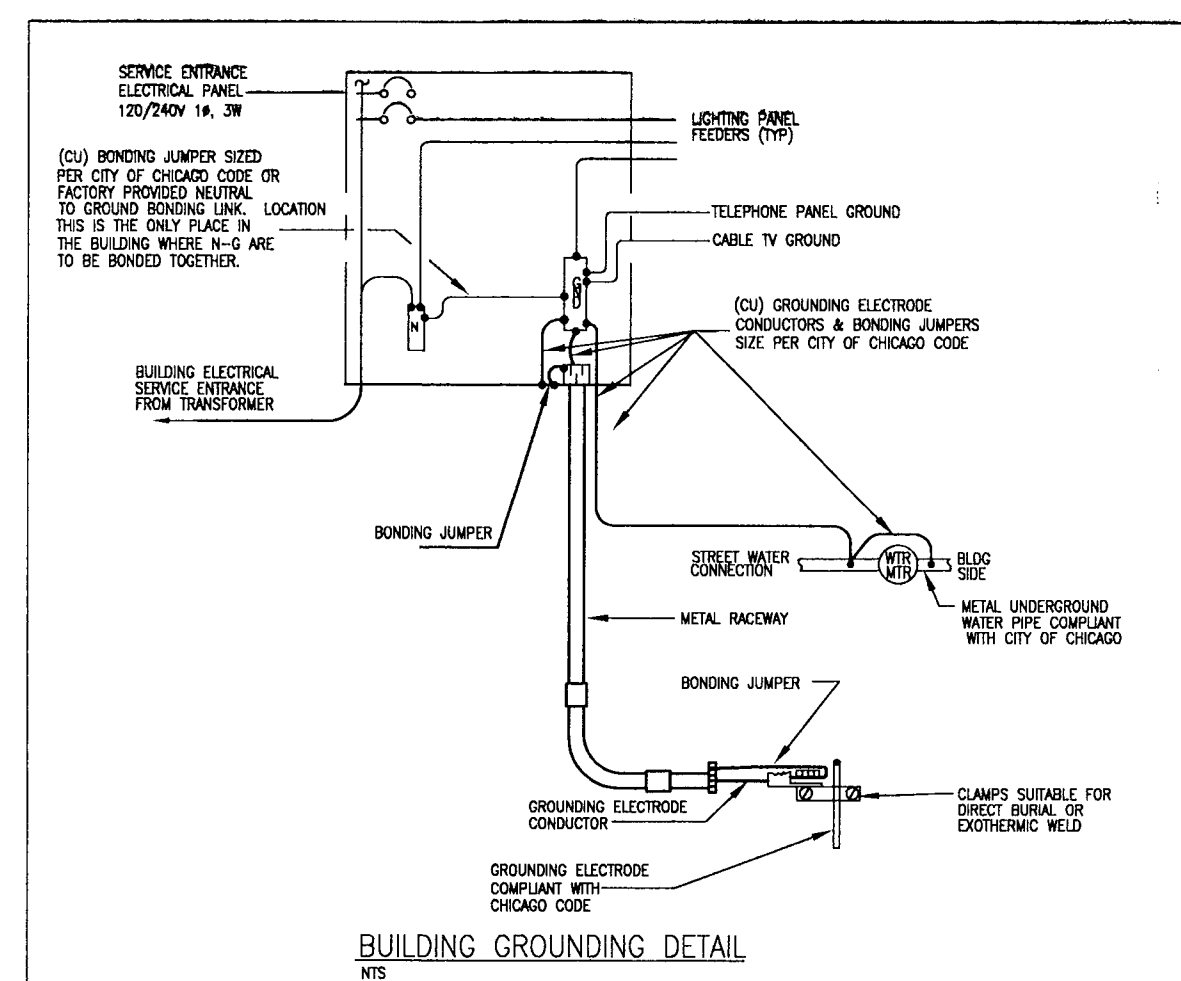
(312) 742 5500 FAX (312) 655-1105

1314 WEST 15TH STREET FAMILY DEVELOPMENT	HUD NUMBER RH-7
---	--------------------

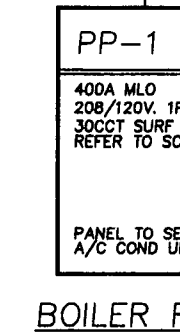
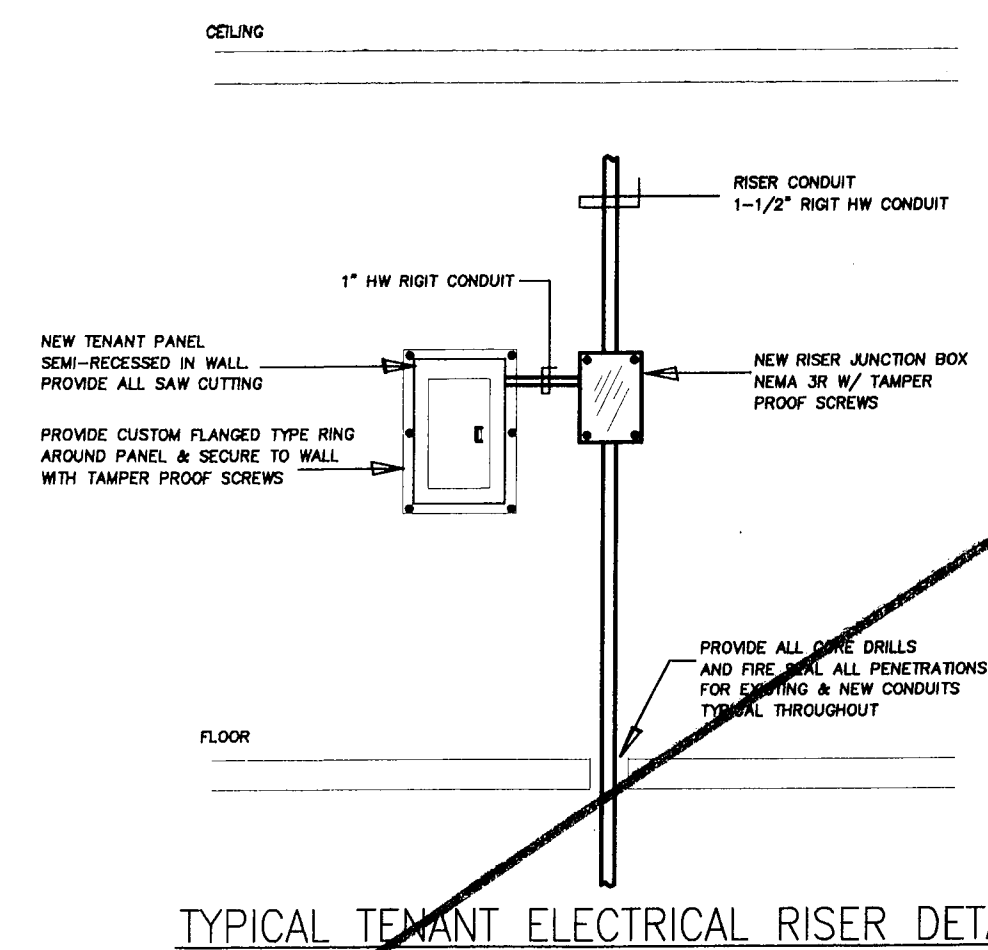
DATE	SCALE	JOB NO.	SHEET NUMBER E-105B SHT. X OF X SHTS.
12.09.2003	AS SHOWN	2003005.03	
DRAWN ---	CHECKED DAS	APPROVED PAH	



A circular professional engineer seal for the State of Maryland. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "STATE OF MARYLAND" at the bottom. Inside the ring, the name "PAUL E. SOLAN" is printed above the license number "98067". The seal also includes the text "COUNCIL ON ENGINEERING REGULATION" around the inner edge.



MAIN SWITCHBOARD "MSB"			LOCATION: MAIN ELECTRICAL ROOM	
VOLTAGE: 120/208V; 3Ø, 4W			SIZE: 1600A BUS SEQUENCE BOARD	
(4) FOUR MAIN CIRCUIT BREAKERS			FREE-STANDING BOARD	
SERVICE ENTRANCE EQUIPMENT – OVERHEAD SERVICE				
INTERRUPTING RATINGS rms Sym AMP = 65KA (VERIFY W/ COMED)				
MAIN C/B	POLE	LOAD	SERVE	REMARKS
HOUSE METERING SECTION – 800A BUS				
400A	3	–	PP-1	MOTOR LOADS
400A	3	–	HDP	HOUSE DISTR PNL
400A	3	–	EMERGENCY	–
UNMETERED SECTION – TENANT DISTRIBUTION – 800A BUS				
225A	3	–	14 METER BANK	–
225A	3	–	14 METER BANK	–
225A	3	–	14 METER BANK	–
225A	3	–	14 METER BANK	–
150	3	–	7 METER BANK	–
200A	3	–	SPARE	–



NO SCALE

ELECTRICAL NOTES

ELECTRICAL CLOSET

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

S M I T H H A R D I N G

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

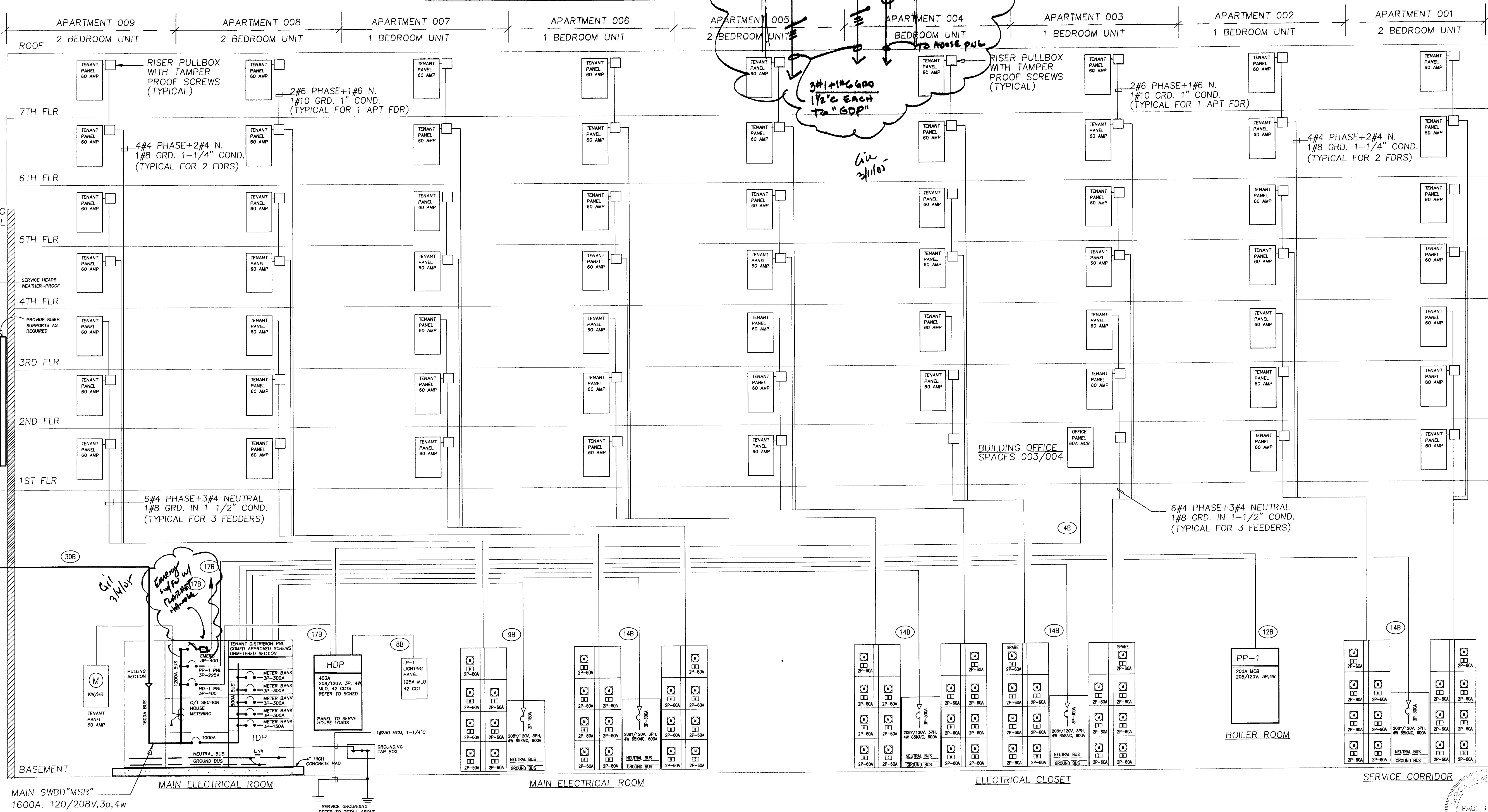
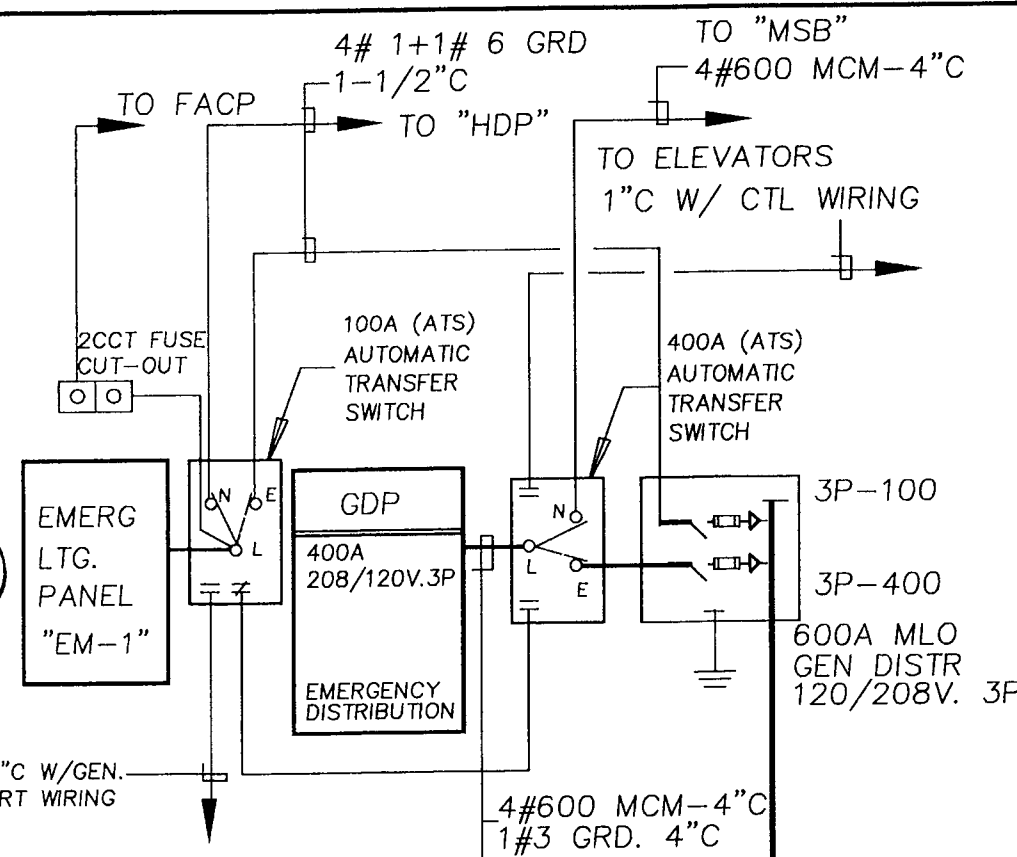
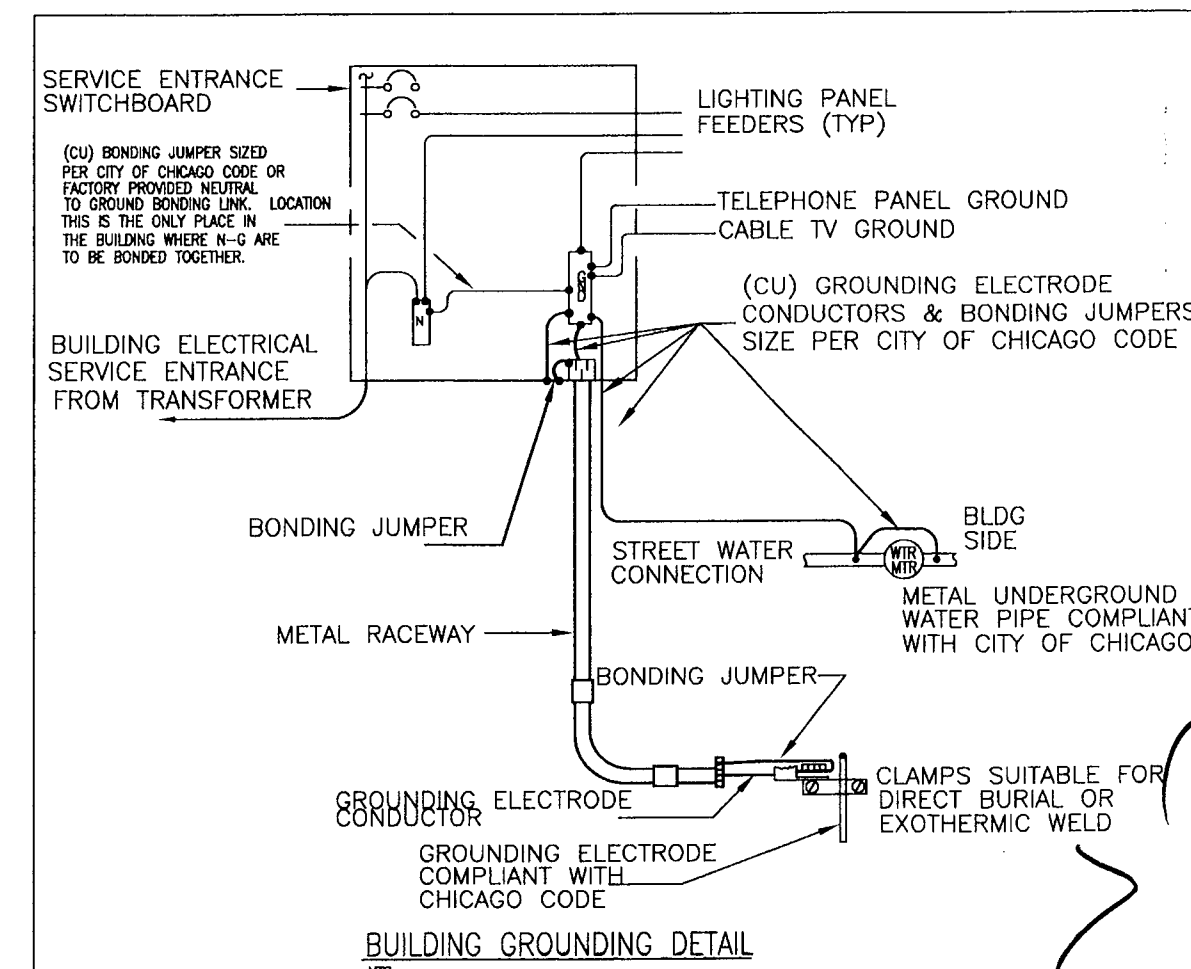
db HMS
ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes



NO SCALE

DATE 9/28/04	SCALE AS SHOWN	JOB NO. 2003005.01	SHEET NUMBER E-201B
DRAWN CMH	CHECKED ECS	APPROVED ECS	

HVAC EQUIPMENT SCHEDULE									
STEP # 1 ELECTRICAL CONTRACTOR (E.C.) SHALL VERIFY FINAL LOCATION OF ALL EQUIPMENT WITH THE ORIGINAL EQUIPMENT MANUFACTURER (OEM) PRIOR TO INSTALLING CONDUIT. SEE EXISTING DRAWINGS FOR EQUIPMENT TAG PLACEMENT LOCATIONS.					STEP # 8 E.C. SHALL VERIFY IN THE FIELD THE OCPD REQUIREMENTS WITH THE OEM PRIOR TO INSTALLING CONDUIT. OCPD REQUIREMENTS OR SCHEDULE ON DRAWING 27.01 FOR 1/2" AND 3/4" SIZE.				
STEP # 2 E.C. SHALL REVIEW THE ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONDUIT DRAWINGS AND SHOP DRAWINGS FOR FINAL EQUIPMENT LOCATION, ELEVATION AND POWER REQUIREMENTS PRIOR TO INSTALLING CONDUIT.					STEP # 9 E.C. SHALL VERIFY IN THE FIELD THE OCPD REQUIREMENTS WITH THE OEM PRIOR TO INSTALLING CONDUIT. SEE EXISTING DRAWINGS FOR EQUIPMENT TAG PLACEMENT LOCATIONS.				
STEP # 3 E.C. SHALL VERIFY IN THE FIELD THE PANELBOARD NOTING WITH THE OEM PRIOR TO INSTALLING CONDUIT. SEE EXISTING DRAWINGS FOR PANELBOARD LOCATION.					STEP # 10 E.C. SHALL VERIFY IN THE FIELD THE OCPD REQUIREMENTS WITH THE OEM PRIOR TO INSTALLING CONDUIT. SEE EXISTING DRAWINGS FOR EQUIPMENT TAG PLACEMENT LOCATIONS.				
STEP # 4 E.C. SHALL VERIFY IN THE FIELD THE PANELBOARD NOTING WITH THE OEM PRIOR TO INSTALLING CONDUIT. SEE EXISTING DRAWINGS FOR PANELBOARD LOCATION.					STEP # 11 E.C. SHALL VERIFY IN THE FIELD THE OCPD REQUIREMENTS WITH THE OEM PRIOR TO INSTALLING CONDUIT. SEE EXISTING DRAWINGS FOR EQUIPMENT TAG PLACEMENT LOCATIONS.				
NOTES: 1. E.C. SHALL PROVIDE MOUNTING/HANGING FOR STARTER TYPES (PANEL, PWR, PWR, 250V, 4 & 250V). E.C. SHALL PROVIDE THERMAL OVERLOADS FOR STARTER TYPES PER OEM/FIELD VERIFICATION. E.C. SHALL PROVIDE TWO SETS OF FORM "1" FOR ALL CONDUITS FOR ALL STARTER TYPES. E.C. SHALL PROVIDE 120V/240V CONTROL COIL FOR STARTER TYPES (PANEL, PWR, 250V, 4 & 250V). E.C. SHALL PROVIDE 240V CONTROL COIL FOR POWER RELAYS/MANUAL STARTER TYPES. 2. E.C. SHALL PROVIDE MOUNTING/HANGING FOR STARTER TYPES (PANEL, PWR, PWR, 250V, 4 & 250V). E.C. SHALL PROVIDE THERMAL OVERLOADS FOR STARTER TYPES PER OEM/FIELD VERIFICATION. E.C. SHALL PROVIDE TWO SETS OF FORM "1" FOR ALL CONDUITS FOR ALL STARTER TYPES. E.C. SHALL PROVIDE 120V/240V CONTROL COIL FOR STARTER TYPES (PANEL, PWR, 250V, 4 & 250V). E.C. SHALL PROVIDE 240V CONTROL COIL FOR POWER RELAYS/MANUAL STARTER TYPES. 3. E.C. SHALL PROVIDE MOUNTING/HANGING FOR DISCONNECT SWITCHES. ALL DISCONNECT SWITCHES SHALL BE WITHIN SIGHT OF THE MOTOR/EQUIPMENT. E.C. SHALL PROVIDE FOUR SETS OF FORM "1" FOR ALL CONDUITS WITHIN THE VEC ENCLOSURE. E.C. SHALL PROVIDE ONE SET-UP AND CONNECTIONS OF VEC PRIOR TO FINAL PANELBOARD. E.C. SHALL PROVIDE WRITTEN FORM OF VEC FIELD PROGRAMMED PARAMETER SETTINGS. 4. E.C. SHALL VERIFY MOUNTING/HANGING FOR DISCONNECT SWITCHES. ALL DISCONNECT SWITCHES SHALL BE WITHIN SIGHT OF THE MOTOR/EQUIPMENT. E.C. SHALL PROVIDE FOUR SETS OF FORM "1" FOR ALL CONDUITS WITHIN THE VEC ENCLOSURE. E.C. SHALL PROVIDE ONE SET-UP AND CONNECTIONS OF VEC PRIOR TO FINAL PANELBOARD. E.C. SHALL PROVIDE WRITTEN FORM OF VEC FIELD PROGRAMMED PARAMETER SETTINGS.					5. E.C. SHALL VERIFY MOUNTING/HANGING FOR DISCONNECT SWITCHES. ALL DISCONNECT SWITCHES SHALL BE WITHIN SIGHT OF THE MOTOR/EQUIPMENT. E.C. SHALL PROVIDE FOUR SETS OF FORM "1" FOR ALL CONDUITS WITHIN THE VEC ENCLOSURE. E.C. SHALL PROVIDE ONE SET-UP AND CONNECTIONS OF VEC PRIOR TO FINAL PANELBOARD. E.C. SHALL PROVIDE WRITTEN FORM OF VEC FIELD PROGRAMMED PARAMETER SETTINGS.				
PANEL PROVIDED BY: _____					PANEL PROVIDED BY: _____				
R. INSTALLED BY: _____					R. INSTALLED BY: _____				
ENC. NEMA ENCLOSURE: _____					ENC. NEMA ENCLOSURE: _____				
OCPD: CONTROL POWER TRANSFORMER					OCPD: OVERCURRENT PROTECTION DEVICE				
STEP # 1					STEP # 2				
EQUIPMENT POWER CHARACTERISTICS AND LOAD SPECIFICATIONS					EQUIPMENT POWER CHARACTERISTICS AND LOAD SPECIFICATIONS				
TAG					TAG				
115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10					115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10				
115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10					115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10				
115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10					115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10				
480 3 -- 1 3 4 -- 30.0 -- 30.24 -- -- -- 100 70 3 3 9A					480 3 -- 1 3 4 -- 30.0 -- 30.24 -- -- -- 100 70 3 3 9A				
480 3 -- 1 3 4 -- 30.0 -- 30.24 -- -- -- 100 70 3 3 9A					480 3 -- 1 3 4 -- 30.0 -- 30.24 -- -- -- 100 70 3 3 9A				
480 3 -- 1 3 4 -- 30.0 -- 30.24 -- -- -- 100 70 3 3 9A					480 3 -- 1 3 4 -- 30.0 -- 30.24 -- -- -- 100 70 3 3 9A				
115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10					115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10				
115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10					115 1 1 1 1 2 3 1/4 -- 0.8 0.87 -- -- -- 30 15 1 1 10				
480 3 -- 1 3 4 1 -- 2.1 1.87 -- -- -- 30 15 3 3 1A					480 3 -- 1 3 4 1 -- 2.1 1.87 -- -- -- 30 15 3 3 1A				
480 3 -- 1 3 4 1 -- 2.1 1.87 -- -- -- 30 15 3 3 1A					480 3 -- 1 3 4 1 -- 2.1 1.87 -- -- -- 30 15 3 3 1A				
480 3 -- 1 3 4 1 -- 2.1 1.87 -- -- -- 30 15 3 3 1A					480 3 -- 1 3 4 1 -- 2.1 1.87 -- -- -- 30 15 3 3 1A				
480 3 -- 1 3 4 2 -- 3.4 2.71 -- -- -- 30 15 3 3 1A					480 3 -- 1 3 4 2 -- 3.4 2.71 -- -- -- 30 15 3 3 1A				
480 3 -- 1 3 4 -- 30.0 -- 31.23 -- -- -- 30 20 3 3 2A					480 3 -- 1 3 4 -- 30.0 -- 31.23 -- -- -- 30 20 3 3 2A				
480 3 -- 1 3 4 -- 30.0 -- 31.23 -- -- -- 30 20 3 3 2A					480 3 -- 1 3 4 -- 30.0 -- 31.23 -- -- -- 30 20 3 3 2A				
208 3 -- 1 3 4 -- 8.4 -- 3.02 -- -- -- 30 15 3 3 1A					208 3 -- 1 3 4 -- 8.4 -- 3.02 -- -- -- 30 15 3 3 1A				
480 3 -- 1 3 4 10 -- 14.0 11.14 -- -- -- 30 25 3 3 2A					480 3 -- 1 3 4 10 -- 14.0 11.14 -- -- -- 30 25 3 3 2A				
480 3 -- 1 3 4 10 -- 14.0 11.14 -- -- -- 30 25 3 3 2A					480 3 -- 1 3 4 10 -- 14.0 11.14 -- -- -- 30 25 3 3 2A				

TYPICAL APARTMENT SERVICE LOADS									
PROJECT NAME: 1314 WEST 15TH STREET					LOAD CALCULATIONS 18-27-2220				
TYPE OF SERVICE: <input type="checkbox"/> 400Y/277V, 3P, 4W <input type="checkbox"/> 208/120V, 3P, 4W <input type="checkbox"/> 120/208V, 1P, 3W					<input type="checkbox"/> 480, 3P, 3W <input type="checkbox"/> 208V, 3P, 3W <input checked="" type="checkbox"/> 120/240, 1P, 3W				
TOTAL BLDG. AREA: 850 Sq. Ft.					SERVICE OCP: 60 AMP. <input checked="" type="checkbox"/> 80% RATED <input type="checkbox"/> 100% RATED				
SERVICE FEEDER: 3/8" AWG + 1 #10 EGC IN 1" CONDUIT					18-27-220.3(a) A.1 GENERAL LIGHTING LOAD 850 # 3 VA @ 100% = 2550				
18-27-220.3(a) A.2 SMALL APPLIANCE LOAD 2 # 1500 VA @ 100% = 3000					18-27-220.16(b) A.3 LAUNDRY LOAD 0 # 1500 VA @ 100% = -				
18-27-220.17 C APPLIANCE LOAD					TAOTAL 5550				
C.1 DISHWASHER 0 # 1000 VA @ 75% = 0					C.2 FURNACE 0 # 1200 VA @ 100% = 0				
C.3 WHIRLPOOL 0 # 1800 VA @ 75% = 0					18-27-430.26 D OTHER LOADS				
18-27-220.21 NONCOINCIDENTAL LOAD AIR CONDITIONING LOAD OTHER LOAD 1 # 1500 VA @ 100% = 1500					0 # 1500 VA @ 75% = 0				
TOTAL SERVICE LOAD: 7050					TOTAL APPLIANCE 1500 VA				
					TOTAL SERVICE LOAD: 7050 - 208 = 34.0 AMP				

POWER PANEL "1P-1"									
MAIN OVERCURRENT PROTECTION DEVICE					PANELBOARD SCHEDULE				
VOLUME SYSTEM TYPE 208Y/120V, 3P, 4W, 5/0					BUS TYPE SILVER-PLATED Cu				
MAIN FEEDER CONN. TYPE MAIN CIRCUIT BREAKER					FEED OPT -				
MAIN OCPD OPTIONS -					BUS OPT -				
MAIN OCPD ACC -					C.B. TYPE -				
MAIN OCPD TRIP TYPE -					BUS AMPS 125				
C.B./M.O.-MAIN LUGS/PHASE (1) #0-300 kcmil Cu					BUS RATING -				
C.B./M.O.-MAIN AMPS 125					E.C. BUS TYPE -				
R-REG. L-LIGHTS, D-EXCUP					FEED -THRU -				
TYPE NAME/DG/PM #					C.B. L1 L2 L3 C.B. OCT				
A B C					NO. AMP. A B C				
1 20					2 20				
3 20					4 20				
5 20					6 20				
7 20					8 20				
9 20					10 20				
11 20					12 20				
13 20					14 20				
15 20					16 20				
17 20					18 20				
19 20					20 20				
21 15					22 15				
23 15					24 15				
25 15					26 15				
27 15					28 15				
29 15					30 15				
31 15					32 15				
33 15					34 15				
35 15					36 15				
37 15					38 15				
39 15					40 15				
41 15					42 15				
TOTAL PER PHASE					TOTAL PER PHASE				
PANELBOARD ENCLOSURE					PANELBOARD ENCLOSURE				
ENCLOSURE -					ENCLOSURE -				
ACCESSIBILITY -					ACCESSIBILITY -				
MOUNTING -					MOUNTING -				
COVER -					COVER -				

HOUSE DISTRIBUTION PANEL				"100"				PANELBOARD SCHEDULE								PANEL LOCATION				MAIN ELECTRICAL ROOM			
MAIN OVERCURRENT PROTECTION DEVICE								PANELBOARD BUS TYPE								NEUTRAL AND GROUNDING TYPES							
VOLUME SYSTEM TYPE								BUS TYPE SILVER-PLATED Cu								NEUTRAL & GROUND							
MAIN FEEDER CONN. TYPE								FEED OPT -								NEUTRAL BUS TYPE							
MAIN OCPD OPTIONS								BUS OPT -								NEUTRAL OPTIONS							
MAIN OCPD AC/L								C.B. TYPE								NEUTRAL BONDING							
MAIN OCPD TRIP TYPE								BUS AMPS 400								NEUTRAL BUS AMPS							
CB/ALC-MIN LAMP/FAULT								BUS BONDING								NEUTRAL BUS LINES							
CB/ALC-MIN AMPS								FUSES 62								EAC BUS VES							
MAIN OCPD RATING								FEED -"0MM" -								EAC BUS VES							
R-MED, L-LIGHTS, E-EXAMP								VOLTMPS								R-MED, L-LIGHTS, E-EXAMP							
TYPE NAME/20/1M #								A B C								TYPE NAME/20/1M #							
-	-	-	-	-	-	-	-	01	NO.	A	L1	L2	L3	C.B.	01	A	B	C	-	-	-	-	
-	-	-	-	-	-	-	-	2	20	-	-	-	-	20	2	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	3	20	-	-	-	-	20	4	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	6	20	-	-	-	-	20	6	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	7	20	-	-	-	-	20	8	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	9	20	-	-	-	-	20	10	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	11	20	-	-	-	-	20	12	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	13	20	-	-	-	-	20	14	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	16	20	-	-	-	-	20	16	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	17	20	-	-	-	-	20	18	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	18	20	-	-	-	-	15	20	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	21	15	-	-	-	-	15	22	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	23	15	-	-	-	-	15	24	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	26	15	-	-	-	-	20	26	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	27	15	-	-	-	-	20	28	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	29	-	-	-	-	-	20	30	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	31	-	-	-	-	-	20	32	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	33	-	-	-	-	-	15	34	-	-	-	-	-	-	-	
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-	-	-	-	-	-	-	-	41	-	-	-	-	-	20	42	-	-	-	-	-	-	-	
TOTAL PER PHASE								PANELBOARD USE								TOTAL PER PHASE							
PANELBOARD ENCLOSURE								T.V.A.S. - BUNK PROTECTION								PHASE C.B. OPTIONS							
ENCLOSURE								ENCLOSURE								SHUNT TRIP							
ACCESSIBILITY								RATING								C.B. LOCK							
MOUNTING								MOUNTING								GFC TRIP							
COVER								OPTIONS								GFC TRIP							
																TOTALS							



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
626 West Jackson 3rd Floor
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

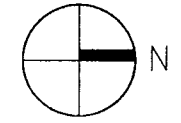
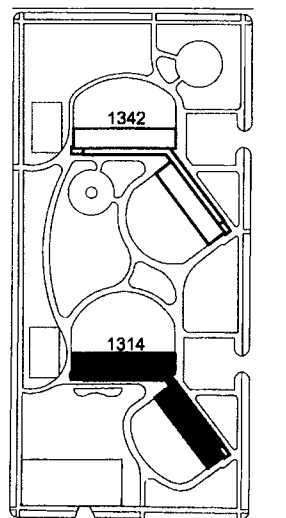
MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

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General Notes

SEP 17 2015
RAFAEL HERNANDEZ
BY: [Signature]

Key Plan
DENOTES SCOPE OF WORK / CONTRACT LIMIT



6	03.03.05	PERMIT	
5	09.28.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

BLDG. 1314 ELECTRICAL
PANEL SCHEDULE

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-5

DATE	SCALE	JOB NO.	SHEET NUMBER
9/28/04	AS SHOWN	2003005.01	E-301B
DRAWN	CHECKED	APPROVED	
CMH	ECS	ECS	

POWER PANEL "TOP"									
MAIN OVERCURRENT PROTECTION DEVICE									
VOLUME SYSTEM TYPE 208Y/120V, 3PH, 4W, 5/N									
MAIN FEEDER CONN. TYPE MAIN CIRCUIT BREAKER									
MAIN OCPD OPTIONS									
MAIN OCPD ACC									
MAIN OCPD TRIP TYPE									
CB/ALD-MAN LUGS/PHASE (1) #2-800 kcmil Cu									
CB/ALD-MAN LUGS/PHASE (1) #2-800 kcmil Cu									
MAIN OCPD RATING 500A									
MAIN OCPD RATING 500A									
R-REEL, L-LIGHTS, E-EQUIP									
TYPE NAME/TA/TA/TA									
SERV. ELECTOR PUMPS									
(2) HP EACH									
CONDENSATE PUMPS									
(2) SHP EACH									
HOUSE PUMPS HP-B1									
(1) 7.5HP									
HOUSE PUMPS HP-B2									
(1) 7.5HP									
SPARE									
SPARE									
SPARE									
SPARE									
SPARE									
SPARE									
SPARE									
SPARE									
SPARE									
TOTAL PER PHASE									
PANELBOARD ENCLOSURE									
ENCLOSURE									
ACCESSIBILITY									
MOUNTING									
OPTIONS									

LAUNDRY ROOM PANEL "TOP"									
MAIN OVERCURRENT PROTECTION DEVICE									
VOLUME SYSTEM TYPE 208Y/120V, 3PH, 4W, 5/N									
MAIN FEEDER CONN. TYPE MAIN CIRCUIT BREAKER									
MAIN OCPD OPTIONS									
MAIN OCPD ACC									
MAIN OCPD TRIP TYPE									
CB/ALD-MAN LUGS/PHASE (1) #2-350 kcmil Cu									
CB/ALD-MAN LUGS/PHASE (1) #2-350 kcmil Cu									
MAIN OCPD RATING 100A									
MAIN OCPD RATING 100A									
R-REEL, L-LIGHTS, E-EQUIP									
TYPE NAME/TA/TA/TA									
ELEV. PUMP AND LIGHT									
ELEV. PUMP AND LIGHT									
BAGMINT LIGHTING									
BAGMINT LIGHTING									
GFI RECEPTACLES IN MCH ROOMS									
GFI RECEPTACLES IN MCH ROOMS									
TYP. RECEPTACLES									
SP. SPACE									
2-SHP									
SP. SPACE									
SPARE									
SPARE									
SPARE									
SPARE									
SPARE									
SPARE									
TOTAL PER PHASE									
PANELBOARD ENCLOSURE									
ENCLOSURE									
ACCESSIBILITY									
MOUNTING									
OPTIONS									

TYPICAL 14 METER BANK LOAD CALCULATION									
PROJECT NAME: 14 APARTMENT UNITS									
LOAD CALCULATIONS 18-27-2220									
TYPE OF SERVICE:									
480Y/277V, 3P, 4W									
120/208V, 1P, 3W									
480, 3P, 3W									
120/240, 1P, 3W									
TOTAL TENANT AREA: 8,700 Sq. Ft.									
SERVICE OCP: 300 AMP									
80% RATED									
SERVICE FEEDER: 4#350 AWG +1 #4 EGC IN 3" CONDUIT									
18-27-220.3(a) A.1 GENERAL LIGHTING LOAD									
8,700 # 3 VA @ 100% = 26,100									
18-27-220.3(a) A.2 SMALL APPLIANCE LOAD									
28 # 1500 VA @ 100% = 42,000									
18-27-220.16(b) A.3 LAUNDRY LOAD									
0 # 1500 VA @ 100% = 0									
TOTAL 68,100									
GENERAL LIGHTING DEMAND LOAD									
FIRST 20,000 VA @ 100% = 20,000									
NEXT 100,000 VA @ 35% = 16,835									
REMAINDER OVER 120,000 VA @ 25% = 37,400									
TOTAL 74,235 VA									
TOTAL SERVICE LOAD: 74,235 VA @ 100% = 206 AMP									

TYPICAL 7 METER BANK LOAD CANCELLATION									
TOTAL SERVICE LOAD: 37,118 VA @ 100% = 103 AMP									

TYPICAL DISTRIBUTION SECTION "TDP" @ MSB - LOAD CALCULATIONS									
PROJECT NAME: TENANT METERING SECTION					LOAD CALCULATIONS 18-27-2220				
TYPE OF SERVICE:									
<input type="checkbox"/> 480Y/277V, 3P, 4W			<input checked="" type="checkbox"/> 120/208V, 3P, 4W			<input type="checkbox"/> 120/208V, 1P, 3W			
<input type="checkbox"/> 480, 3P, 3W			<input type="checkbox"/> 208Y/120V, 3P, 3W			<input type="checkbox"/> 120/240, 1P, 3W			
TOTAL TENANT AREA: 36,950 Sq Ft									
SERVICE OCP: 1000 AMP					<input checked="" type="checkbox"/> 80% RATED		<input type="checkbox"/> 100% RATED		
SERVICE FEEDER: -									
18-27-220.3(a) A.1 GENERAL LIGHTING LOAD 36,950 # 3 VA @ 100% = 110,880									
18-27-220.3(a) A.2 SMALL APPLIANCE LOAD 126 # 1500 VA @ 100% = 189,000									
18-27-220.18(b) A.3 LAUNDRY LOAD 0 # 1500 VA @ 100% = -									
								TOTAL	299,880
GENERAL LIGHTING DEMAND LOAD									
FIRST 20,000 VA @ 100%					= 20,000				
NEXT 100,000 VA @ 35%					= 35,000				
REMAINDER OVER 120,000 VA @ 25% (179,880)					= 44,970				
								TOTAL	99,970
18-27-430.26 D OTHER LOADS									
18-27-220.21 NONCOINCIDENT LOAD									
AIR CONDITIONING LOAD					126 # 1,336 VA @ 100% = 168,336				
OTHER LOAD					0 # - VA @ - = 0				
								TOTAL	268,306 VA
TOTAL SERVICE LOAD: 268,306 -8- 360 = 745 AMP									

POWER FEEDER AND BRANCH CIRCUIT SCHEDULE											
SCHEDULE A: FEEDER & BRANCH CIRCUITS 3 PHASE NO NEUTRAL CONDUCTOR (G.C.)						SCHEDULE B: FEEDER & BRANCH CIRCUITS 3 PHASE WITH NEUTRAL CONDUCTOR (G.C.)					
CIRCUIT AMPS	CIRCUIT TAG	CONDUCTOR (CU) AWG - kcmil	THWN OR XHHW SIZE	CONDUIT TRADE SIZE		CIRCUIT TAG	CONDUCTOR (CU) AWG - kcmil	THWN OR XHHW SIZE	CONDUIT TRADE SIZE		
20	(1A)	3 #12 & 1 #12 EGC	3/4"	(1B)	4 #12 & 1 #12 EGC	3/4"					
30	(2A)	3 #10 & 1 #10 EGC	3/4"	(2B)	4 #10 & 1 #10 EGC	3/4"					
50	(3A)	3 #8 & 1 #8 EGC	3/4"	(3B)	4 #8 & 1 #8 EGC	3/4"					
65	(4A)	3 #6 & 1 #10 EGC	1"	(4B)	4 #6 & 1 #10 EGC	1"					
85	(5A)	3 #4 & 1 #8 EGC	1"	(5B)	4 #4 & 1 #8 EGC	1-1/4"					
100	(6A)	3 #3 & 1 #8 EGC	1-1/4"	(6B)	4 #3 & 1 #8 EGC	1-1/4"					
115	(7A)	3 #2 & 1 #8 EGC	1-1/4"	(7B)	4 #2 & 1 #8 EGC	1-1/4"					
130	(8A)	3 #1 & 1 #6 EGC	1-1/4"	(8B)	4 #1 & 1 #6 EGC	1-1/2"					
150	(9A)	3 #1/0 & 1 #6 EGC	1-1/2"	(9B)	4 #1/0 & 1 #6 EGC	2"					
175	(10A)	3 #2/0 & 1 #6 EGC	2"	(10B)	4 #2/0 & 1 #6 EGC	2"					
200	(11A)	3 #3/0 & 1 #6 EGC	2"	(11B)	4 #3/0 & 1 #6 EGC	2"					
230	(12A)	3 #4/0 & 1 #4 EGC	2"	(12B)	4 #4/0 & 1 #4 EGC	2-1/2"					
255	(13A)	3 #250 & 1 #4 EGC	2-1/2"	(13B)	4 #250 & 1 #4 EGC	2-1/2"					
310	(14A)	3 #350 & 1 #4 EGC	3"	(14B)	4 #350 & 1 #4 EGC	3"					
335	(15A)	3 #400 & 1 #3 EGC	3"	(15B)	4 #400 & 1 #3 EGC	3"					
380	(16A)	3 #500 & 1 #3 EGC	3-1/2"	(16B)	4 #500 & 1 #3 EGC	4"					
420	(17A)	3 #600 & 1 #3 EGC	4"	(17B)	4 #600 & 1 #3 EGC	4"					
460	(18A)	2 SETS 3 #4/0 & 1 #2 EGC	2" EA.	(18B)	2 SETS 4 #4/0 & 1 #2 EGC	2-1/2" EA.					
510	(19A)	2 SETS 3 #250 & 1 #2 EGC	2-1/2" EA.	(19B)	2 SETS 4 #250 & 1 #2 EGC	2-1/2" EA.					
620	(20A)	2 SETS 3 #350 & 1 #1 EGC	3" EA.	(20B)	2 SETS 4 #350 & 1 #1 EGC	3" EA.					
670	(21A)	2 SETS 3 #400 & 1 #1/0 EGC	3" EA.	(21B)	2 SETS 4 #400 & 1 #1/0 EGC	3" EA.					
690	(22A)	3 SETS 3 #4/0 & 1 #1/0 EGC	2" EA.	(22B)	3 SETS 4 #4/0 & 1 #1/0 EGC	2-1/2" EA.					
760	(23A)	2 SETS 3 # 500 & 1 # 1/0 EGC	3" EA.	(23B)	2 SETS 4 # 500 & 1 # 1/0 EGC	3-1/2" EA.					
1,005	(24A)	3 SETS 3 # 400 & 1 # 2/0 EGC	3" EA.	(24B)	3 SETS 4 # 400 & 1 # 2/0 EGC	3" EA.					
1,020	(25A)	4 SETS 3 # 250 & 1 # 2/0 EGC	2-1/2" EA.	(25B)	4 SETS 4 # 250 & 1 # 2/0 EGC	2-1/2" EA.					
1,140	(26A)	3 SETS 3 # 500 & 1 # 3/0 EGC	3" EA.	(26B)	3 SETS 4 # 500 & 1 # 3/0 EGC	3-1/2" EA.					
1,240	(27A)	4 SETS 3 # 350 & 1 # 3/0 EGC	3" EA.	(27B)	4 SETS 4 # 350 & 1 # 3/0 EGC	3" EA.					
1,340	(28A)	4 SETS 3 # 400 & 1 # 4/0 EGC	3" EA.	(28B)	4 SETS 4 # 400 & 1 # 4/0 EGC	3" EA.					
1,550	(29A)	5 SETS 3 # 350 & 1 # 4/0 EGC	3" EA.	(29B)	5 SETS 4 # 350 & 1 # 4/0 EGC	3" EA.					
1,675	(30A)	5 SETS 3 # 400 & 1 # 4/0 EGC	3" EA.	(30B)	5 SETS 4 # 400 & 1 # 4/0 EGC	3" EA.					
1,860	(31A)	6 SETS 3 # 350 & 1 # 250 EGC	3" EA.	(31B)	6 SETS 4 # 350 & 1 # 250 EGC	3" EA.					
1,900	(32A)	5 SETS 3 # 500 & 1 # 250 EGC	3" EA.	(32B)	5 SETS 4 # 500 & 1 # 250 EGC	3-1/2" EA.					
2,010	(33A)	6 SETS 3 # 400 & 1 # 250 EGC	3" EA.	(33B)	6 SETS 4 # 400 & 1 # 250 EGC	3" EA.					
2,170	(34A)	7 SETS 3 # 350 & 1 # 250 EGC	3" EA.	(34B)	7 SETS 4 # 350 & 1 # 250 EGC	3" EA.					
2,280	(35A)	6 SETS 3 # 500 & 1 # 350 EGC	3" EA.	(35B)	6 SETS 4 # 500 & 1 # 350 EGC	3-1/2" EA.					
2,660	(36A)	7 SETS 3 # 500 & 1 # 350 EGC	3 EA.	(36B)	7 SETS 4 # 500 & 1 # 350 EGC	3-1/2 EA.					
3,040	(37A)	8 SETS 3 # 500 & 1 # 400 EGC	3-1/2" EA.	(37B)	8 SETS 4 # 500 & 1 # 400 EGC	4" EA.					
3,420	(38A)	9 SETS 3 # 500 & 1 # 500 EGC	4" EA.	(38B)	9 SETS 4 # 500 & 1 # 500 EGC	4" EA.					
3,800	(39A)	10 SETS 3 # 500 & 1 # 500 EGC	4" EA.	(39B)	10 SETS 4 # 500 & 1 # 500 EGC	4" EA.					
4,180	(40A)	11 SETS 3 # 500 & 1 # 500 EGC	4" EA.	(40B)	11 SETS 4 # 500 & 1 # 500 EGC	4" EA.					
5,040	(41A)	12 SETS 3 # 600 & 1 # 600 EGC	4" EA.	(41B)	12 SETS 4 # 600 & 1 # 600 EGC	5" EA.					

TEMPORARY UTILITIES NOTES:

- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITY SERVICES AND ALL UTILITIES TO MAINTAIN ANY TENANT OCCUPIED SPACES. TENANT OCCUPIED SPACES WILL REQUIRE POWER, GAS, HEATING AND WATER SERVICES AT ALL TIMES.

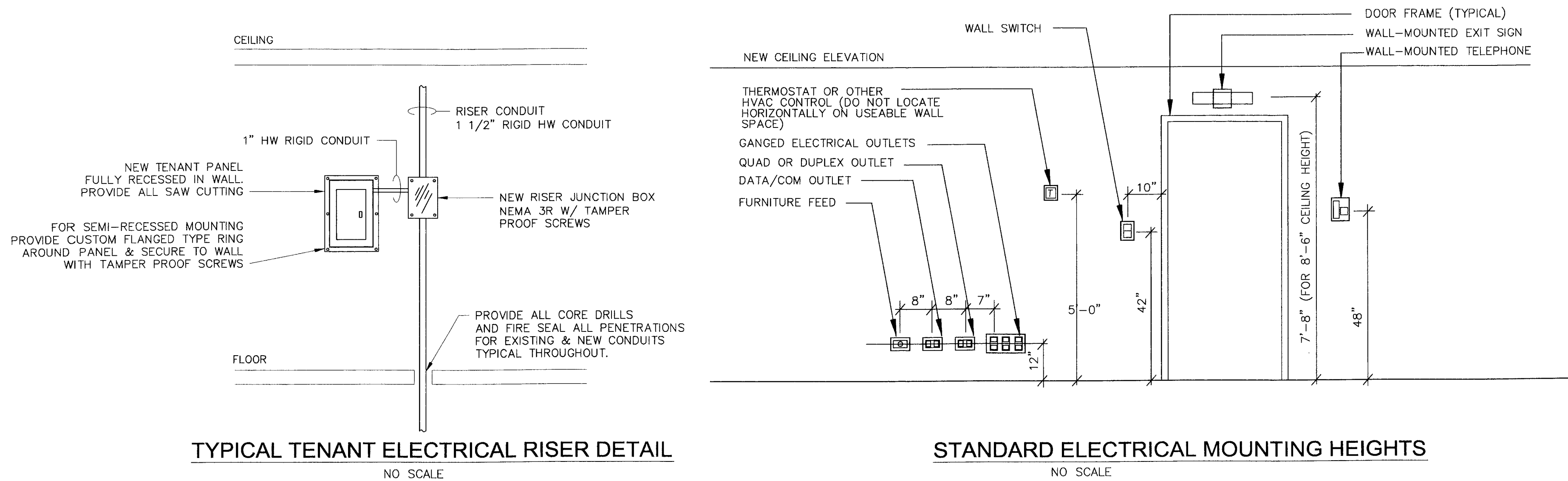
FIRE STOPPING NOTES:

- FIRE STOPPING REQUIRED FOR ALL FLOOR PENETRATIONS AND BETWEEN TENANT SPACES. SEE ARCHITECTURAL SPECIFICATIONS FOR REQUIREMENTS.

APARTMENT LIGHTING FIXTURE SCHEDULE										
SYMBOL	LAMP		FIXTURE		MOUNTING		MANUFACTURER		REMARKS	
	NO.	WATTS	TYPE	TYPE	TRIM DIFFUSER	TYPE	HEIGHT	NAME	CAT.NO.	
	1	32W-TRT TRIPLE	FLUORESCENT	WALL SCENCE	POLYCARBONATE .125"THICK	SURFACE WALL	6'6" AFF	LITHONIA LIGHTOLIER EQUAL	VG01 SERIES	WALL MOUNTED FIXTURE IN APT.
	2	17W T8	FLUORESCENT	ABOVE MIRROR	ACRYLIC DIFFUSER	SURF. WALL ABOVE MIRROR		LIGHTOLIER LITHONIA EQUAL	BELMONT 5493WHU	BATHROOM FIXTURE
	1	15W T8	FLUORESCENT	18" CLOSET LIGHT	ACRYLIC DIFFUSER	SURFACE CEILING		METALUX LITHONIA EQUAL	HOWELUX #8800	18" CLOSET FIXTURE
	1	25W T8	FLUORESCENT	36" ABOVE SINK	ACRYLIC DIFFUSER	SURFACE UNDER CABINET		METALUX LITHONIA EQUAL	2UC-25-AR	UNDER CABINET ABOVE SINK
	2	18W DTT	FLUORESCENT	14"DIA. ROUND SURF.	ACRYLIC DIFFUSER	CEILING SURFACE		LITHONIA LITHONIA EQUAL	FMLR14	14"ROUND IN KITCHEN CEILING
	2	32W T8	FLUORESCENT	1X4 WRAPAROUND	.125 PRISMATIC ACRYLIC	CEIL SURF OR PEND.		METALUX LIGHTOLIER OR EQUAL	-	
	1	13W QUAD	COMP. FLUORESCENCE	HIGH ABUSE	POLYCARBONATE PRISMATIC	SURFACE WALL	6'6" AFF	FAIL-SAFE LITHONIA EQUAL	FBP-120V	FIXTURE AT STAIRWAYS
	1	22W CIRCLING	FLUORESCENT	SQUARE SURF.	ACRYLIC DIFFUSER	CEILING SURFACE		HALO LITHONIA EQUAL	H2541	DAMP LOCATION -20 DEGREE BALAST TAMPER RESISTANT
	1	50W MH	HID	HIGH ABUSE	POLYCARBONATE PRISMATIC	SURFACE WALL		FAIL-SAFE LITHONIA EQUAL	HVH SERIES	WITH INTEGRAL PHOTO-CELL
	2	FLR	FLUORESCENT	HIGH ABUSE	-	SURFACE WALL		SURE-LITE LITHONIA EQUAL	CHS SERIES	CHICAGO APPROVED
	2		EMERGENCY BATTERY LIGHT	-	-	SURFACE WALL		SURE-LITE LITHONIA EQUAL	XR SERIES	CHICAGO APPROVED
	1	-	-	-	-			-	-	
	1	-	-	-	-			-	-	
	*	*								
	1	-	-	-	-			-	-	

COORDINATION NOTES:

EACH TRADE CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING EXAMINE SCOPE AND CONDITIONS OF OTHER CONTRACT WORK, AND EXAMINE EXISTING CONDITIONS AND ALL INTERFERENCES AND REQUIRED COORDINATION IN ORDER TO INCLUDE EFFECT OF SAID CONDITIONS IN THEIR BID. BID DWG. ARE DIAGRAMMATIC AND DO NOT INDICATE ALL REQUIRED OFFSETS, CHANGE IN ASPECT RATIOS, OR ROUTING CHANGES REQUIRED TO INTEGRATE WORK WITH ALL OTHER CONDITIONS OR TRADES. WORK INSTALLED BEFORE COORDINATING SO AS TO CAUSE INTERFERENCES WITH OTHER TRADES SHALL BE REMOVED AND REWORKED WITHOUT COST TO OWNER. COST OF PROVIDING SUCH OFFSETS, SIZE CHANGES, REROUTING ETC., SHALL BE INCLUDED IN BID. CODE CONFORMING SCALED (1/4") COORDINATED DWG. SHALL BE PREPARED BY EACH TRADE TO FACILITATE AND VERIFY FIT AND CONGRUENCE OF INSTALLATION WITH OTHER TRADES. WHERE ADDITIONAL DETAILS, DIAGRAMS, AND ISOMETRICS ARE REQUIRED BY BUILDING DEPARTMENT OF CODE AUTHORITIES FOR PERMIT OR APPROVAL, CONTRACTOR SHALL PROVIDE SAME AT NO ADDITIONAL COST.



ELECTRICAL NOTES:

- THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM.
- MATERIALS AND INSTALLATION SHALL COMPLY WITH CODES, LAWS AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
- MATERIALS AND EQUIPMENT SHALL BE NEW AND LISTED AND/OR LABELED BY U.L. OR ANOTHER RECOGNIZED TESTING LAB.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE ELECTRICAL WORK.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS, WHICH ARE REQUIRED FOR THEIR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER AND OWNER IN WRITING OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE IN VIOLATION OF LAWS, ORDINANCES, RULES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL INCLUDE IN HIS BID ELECTRICAL UNIT PRICES (EUP) TO PROVIDE ADDITIONAL DEVICES INCLUDING CONDUIT AND WIRE AS SCHEDULED. PROVIDE A UNIT PRICE FOR QUANTITY ADJUSTMENT OF EACH DEVICE. THE U.P. SHALL INCLUDE ALL GENERAL CONDITIONS ASSOCIATED COSTS TO INSTALL DEVICES WITHIN CEILING SYSTEMS INSTALLED.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, MAKE A SCHEDULED ARRANGEMENT WITH LANDLORD TO VISIT THE SITE, AND THOROUGHLY BECOME FAMILIAR WITH THE BUILDING STANDARDS AND LOCAL CONDITIONS RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. THE CONTRACTOR SHALL INCLUDE IN HIS BIDS THE COST OF A SITE VISIT.
- ALL MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, TOOLED, CONNECTED, CLEANED, ADJUSTED, TESTED, COMMISSIONED, AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ALL CUTTING, DRILLING AND PATCHING OF MASONRY, DRYWALL, CONCRETE, STEEL OR IRON WORK BELONGING TO THE BUILDING MUST BE DONE BY THIS CONTRACTOR IN ORDER THAT HIS WORK MAY BE PROPERLY INSTALLED, BUT UNDER NO CONDITIONS MAY STRUCTURAL WORK BE CUT, EXCEPT AT THE DIRECTION OF THE ARCHITECT-ENGINEER OR THEIR REPRESENTATIVE.
- SHOP DRAWINGS SHALL INCLUDE MANUFACTURER'S NAMES, CATALOG NUMBER, CUTS, DIAGRAMS AND OTHER SUCH DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT. SUBMITTALS SHALL BE IN LOCAL GROUPS, FOR EXAMPLE, ALL LIGHTING FIXTURES, PARTIAL SUBMITTALS WILL NOT BE REVIEWED.
- PROVIDE "AS-BUILT" HARD COPY REPRODUCIBLE DRAWINGS AND SUBMIT TO ARCHITECT AND ENGINEER. AS-BUILT SHOULD INDICATE EXACT CIRCUIT NUMBERS, LOCATIONS OF ALL DEVICES, CEILING FIXTURES, CONDUIT RACEWAY FOR TELECOMMUNICATIONS AND POWER DISTRIBUTION SYSTEMS AS INSTALLED. PROFESSIONALLY DRAFTED.
- ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE COMMERCIAL GRADE.
- EXCEPT AS NOTED OTHERWISE, ALL WORK REQUIRED FOR THE INSTALLATIONS AS SHOWN ON DRAWINGS INCLUDING LABOR, INSTALLATION METHODS, EQUIPMENT AND MATERIALS SHALL BE IN STRICT COMPLIANCE WITH THE APPLICABLE CODES.
- ELECTRICAL CONTRACTOR SHALL FOLLOW LOCAL CODES WHEN CIRCUITING (I.E. MAXIMUM - (10) DUPLEX RECEPTACLES AND/OR MAXIMUM 1920 WATTS PER 20-AMP, 1-PHASE, C/B).
- ELECTRICAL METALLIC TUBING (EMT) SHALL BE USED FOR ALL WALL OUTLETS & TELEPHONE OUTLETS RUNNING IN PARTITIONS, OR ABOVE CEILINGS. EMT FITTINGS SHALL BE OF THE STEEL COMPRESSION TYPE.
- MINIMUM CONDUIT SIZE SHALL BE 3/4" FOR GENERAL LIGHTING AND POWER CIRCUITING UNLESS OTHERWISE INDICATED AND/OR REQUIRED BY CODE.
- NO WIRE SMALLER THAN NO. 12 AWG SHALL BE USED FOR LIGHTING OR POWER WIRING. WIRE NO. 10 & SMALLER MAY BE SOLID, WIRE NO. 8 AND LARGER SHALL BE STRANDED, ALL WIRE AND CABLE SHALL BE COPPER.
- GENERAL PURPOSE BRANCH CIRCUIT HOMERUNS CONSISTING OF TWO NETWORKS SHALL HAVE PHASE, NEUTRAL AND GROUND CONDUCTORS INCREASED TO #10 AWG., THIN MINIMUM, WHERE HOMERUN (ONE OR TWO NETWORKS) EXCEEDS 100 LINEAR FEET, CONDUCTOR SIZE SHALL BE INCREASED ONE WIRE GAUGE.
- THE CONTRACTOR SHALL VERIFY THE CEILING/WALL CONSTRUCTION TYPE BEFORE ORDERING LIGHTING FIXTURES WITH ARCHITECTURAL DETAILS TO CONFIRM PROPER MOUNTING.
- EACH LIGHT, RECEPTACLE OR OTHER MISCELLANEOUS DEVICE SHALL BE PROVIDED WITH A GALVANIZED OR SHERARDIZED PRESSED STEEL OUTLET BOX OF THE KNOCKOUT TYPE, OR NOT LESS THAN NO. 14 U.S. GAUGE STEEL. CONDUITS SHALL BE FASTENED WITH LOCKNUTS AND BUSHINGS AND AN ADJUSTED KNOCKOUTS MUST BE LEFT SEALED. THERE SHALL BE SUFFICIENT ROOM FOR WIRES AND BUSHINGS AND DEEP BOXES SHALL BE INSTALLED WHERE REQUIRED. BOXES SHALL BE SECURELY AND ADEQUATELY SUPPORTED.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SPECIAL OUTLET BOXES THAT MAY BE REQUIRED TO ENCLOSE RECEPTACLES.
- IN SUSPENDED CEILINGS, SUPPORT CONDUIT AND JUNCTION BOXES DIRECT FROM THE STRUCTURAL SLAB, DECK, OR FRAMING PROVIDED FOR THAT PURPOSE, LIGHTING BRANCH CIRCUIT CONDUITS SHALL NOT BE CLIPPED TO THE CEILING SUPPORT WIRES OR SPLINE UNLESS THE CEILING SYSTEM HAS BEEN SPECIFICALLY DESIGNED FOR THAT PURPOSE AND APPROVAL GRANTED BY ARCHITECT.
- WHERE FLOOR FITTINGS REQUIRE PENETRATION OF THE FLOOR SLAB, THERE SHALL BE A STANDARD DEVICE LISTED BY UL FOR THE PURPOSE AND HAVE A UL FIRE RATING EQUAL TO THE FLOOR RATING. THE SIZES AND LOCATIONS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL AND SUBMISSION TO STRUCTURAL ENGINEER PRIOR TO CORING.
- NUMBERED CIRCUITS SHOWN ON PLAN ARE FOR THE CONVEYANCE OF DESIGN ONLY, ACTUAL FIELD CONDITIONS WILL AFFECT CIRCUITING. INDICATE THE ACTUAL CIRCUIT NUMBER INSTALLED ON THE "AS-BUILT" DRAWINGS.
- ALL CONDUIT RACEWAYS AND BOXES FOR ALL SYSTEMS SHALL BE INSTALLED WHERE REQUIRED, TIGHT-UP TO BOTTOM OF STRUCTURAL BEAMS AND SUPPORTED FROM FLOOR DECK ABOVE.
- ALL CONDUIT RUNS SHALL BE INSTALLED ABOVE AND OVER TOP OF ALL NEW DUCTWORK PIPING, CONDUITS, PULLBOXES, ETC. WITH PROVISION FOR ALL NECESSARY ACCESSIBLE PULLBOXES AND CONDUIT BENDS NOT TO EXCEED CODE REQUIREMENTS FOR NUMBER OF BENDS.
- CONDUIT RUNS OR PULLBOXES SHALL NOT BLOCK OR PREVENT FULL COMPLETE ACCESS AND/OR OPERATION OF HVAC EQUIPMENT, ACCESS DOORS, PIPING VALVES, JUNCTION BOXES, MAIN RETURN AIR DUCTS, PULLBOXES, CLEANOUTS, ETC.
- ALL BUILDING STANDARD EQUIPMENT, DEVICES AND MATERIALS SHALL BE EQUAL TO OR GREATER IN QUALITY WITH APPROVED BUILDING STANDARD MATERIALS, AND BE SUBJECT TO APPROVAL BY ARCHITECT AND ENGINEER. SUBMIT ALL SHOP DRAWINGS TO ARCHITECT FOR REVIEW.
- VERIFY CLEARANCES FOR ALL NEW ELECTRICAL WORK BEFORE PROCEEDING WITH CONSTRUCTION. COORDINATE USAGE OF AVAILABLE SPACE WITH ALL TRADES. IN THE EVENT OF CONFLICTS, NOTIFY THE ARCHITECT OR ENGINEER BEFORE PROCEEDING WITH THE WORK.
- PROVIDE A WRITTEN GUARANTEE THAT THE ELECTRICAL INSTALLATION IS FREE FROM MECHANICAL AND ELECTRICAL DEFECTS. CONTRACTOR AT HIS COST SHALL REPLACE AND/OR REPAIR TO THE SATISFACTION OF THE ARCHITECT/ENGINEER/OR MANUFACTURED INSTALLATION INSTRUCTIONS ANY PARTS OF THE INSTALLATION WHICH MAY FAIL WITHIN A PERIOD OF 12 MONTHS FROM CONSTRUCTION ACCEPTANCE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PROVIDED THAT SUCH FAILURE IS DUE TO DEFECTS IN MATERIAL, WORKMANSHIP OR FAILURE TO FOLLOW THE SPECIFICATIONS AND DRAWINGS.
- THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE DRAWINGS, WHERE MORE STRINGENT REQUIREMENTS THAN THOSE DESCRIBED HEREIN OR ARE SET FORTH UNDER CODES, LAWS AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNING BODIES HAVING JURISDICTION, THOSE GREATER REQUIREMENTS SHALL BE ADHERED TO.
- PROVIDE PERMANENT IDENTIFICATION MARKINGS AND NAMEPLATES FOR WIRING AND EACH ITEM OF ELECTRICAL APPARATUS AND ASSOCIATED CONTROLLED EQUIPMENT, WITH THE SAME INSCRIPTIONS AS SHOWN ON THE DRAWINGS, OR AS DIRECTED, CLEARLY AND NEATLY APPLIED.
- PROVIDE A TYPEWRITTEN DIRECTORY OF CIRCUITS IN LIGHTING PANEL AND PROVIDE PANEL IDENTIFICATION IN BLACK ALKOY PAINT STENCILED INSCRIPTIONS ON THE INSIDE OF THE DOOR, DIRECTLY ABOVE THE CENTERLINE OF DIRECTORY FRAME, OR ON VERTICAL AND HORIZONTAL CENTERLINE OF DOORS WITHOUT DIRECTORY FRAMES.
- ELECTRICAL CONTRACTOR SHALL COORDINATE ALL NON-ACCESSIBLE SYSTEM DEVICES, PULLBOXES AND EQUIPMENT, ETC. TO ACCESSIBLE CEILING AREAS. E.C. SHALL INCLUDE ALL COMPLETE COSTS FOR RELOCATION AND VERIFY SUCH CONDITIONS WITH ARCHITECTURAL CEILING PLANS PRIOR TO FINAL BID.
- ALL LIGHT FIXTURES SHOWN ON DRAWINGS TO BE WIRED TO 20 AMP CIRCUIT BREAKERS.
- E.C. SHALL SUBMIT A WRITTEN STATEMENT TO ARCHITECT AND ENGINEER PRIOR TO WORK, IN THE EVENT THAT THE CONTRACTOR COMMENCES WITH WORK WITHOUT SUBMITTAL, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND COST TO MAINTAIN THE ABOVE IN GOOD WORKING ORDER AND CONDITION.
- ALL COMMUNICATION CABLES INSTALLED IN PLENUM AIR SPACES SHALL BE IN CONDUIT, WITHOUT EXCEPTIONS.
- C.C TO LABEL ALL TELEPHONE CABLES AND PROVIDE AS-BUILT DWG. TO OWNER.
- SERVICE PROVIDER SHALL BE RESPONSIBLE FOR ALL WORK AND EQUIPMENT REQUIRED TO EXTEND TO DEMARCATION POINT, UNLESS OTHERWISE NOTED.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATION OF HVAC EQUIPMENT TO BE WIRED.
- ALL WORK SHALL BE DONE TO MEET OR EXCEED OR MINIMUM REQUIREMENTS OF CODE. NO WORK SHALL BE DONE WITHOUT PERMIT FROM CITY. IF THE CONTRACTOR PERFORMS ANY WORK KNOWING OR HAVING REASONS TO KNOW THAT THE WORK IS CONTRARY TO THE CITY, BUILDING CODE REQUIREMENTS AND FAILS TO NOTIFY ARCHITECT/ENGINEER, CONTRACTOR SHALL PAY ALL COST ARISING FROM THIS ACTION.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ARCHITECT/CHA FOR EXACT LOCATION OF LIGHT SWITCHES.

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
626 West Jackson 3rd Floor
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

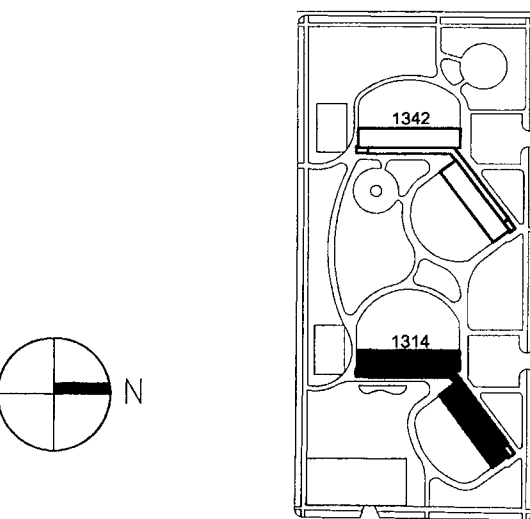
General Notes

SEPT 16 2005

RAFAEL HERNANDEZ
By: *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



6	03.03.05	PERMIT	
5	09.28.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500

FAX (312) 655-1105

BUILDING 1314
SCHEDULES AND DETAILS

1314 WEST 15TH STREET FAMILY DEVELOPMENT			HUD NUMBER RH-5
DATE 9/28/04	SCALE AS SHOWN	JOB NO. 20030005.01	SHEET NUMBER E-302B
DRAWN CMH	CHECKED ECS	APPROVED ECS	

Bid Documents

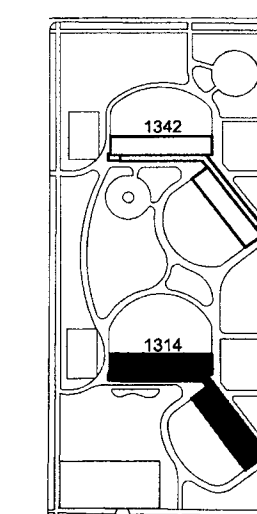
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General Notes

[illegible]

Key Plan

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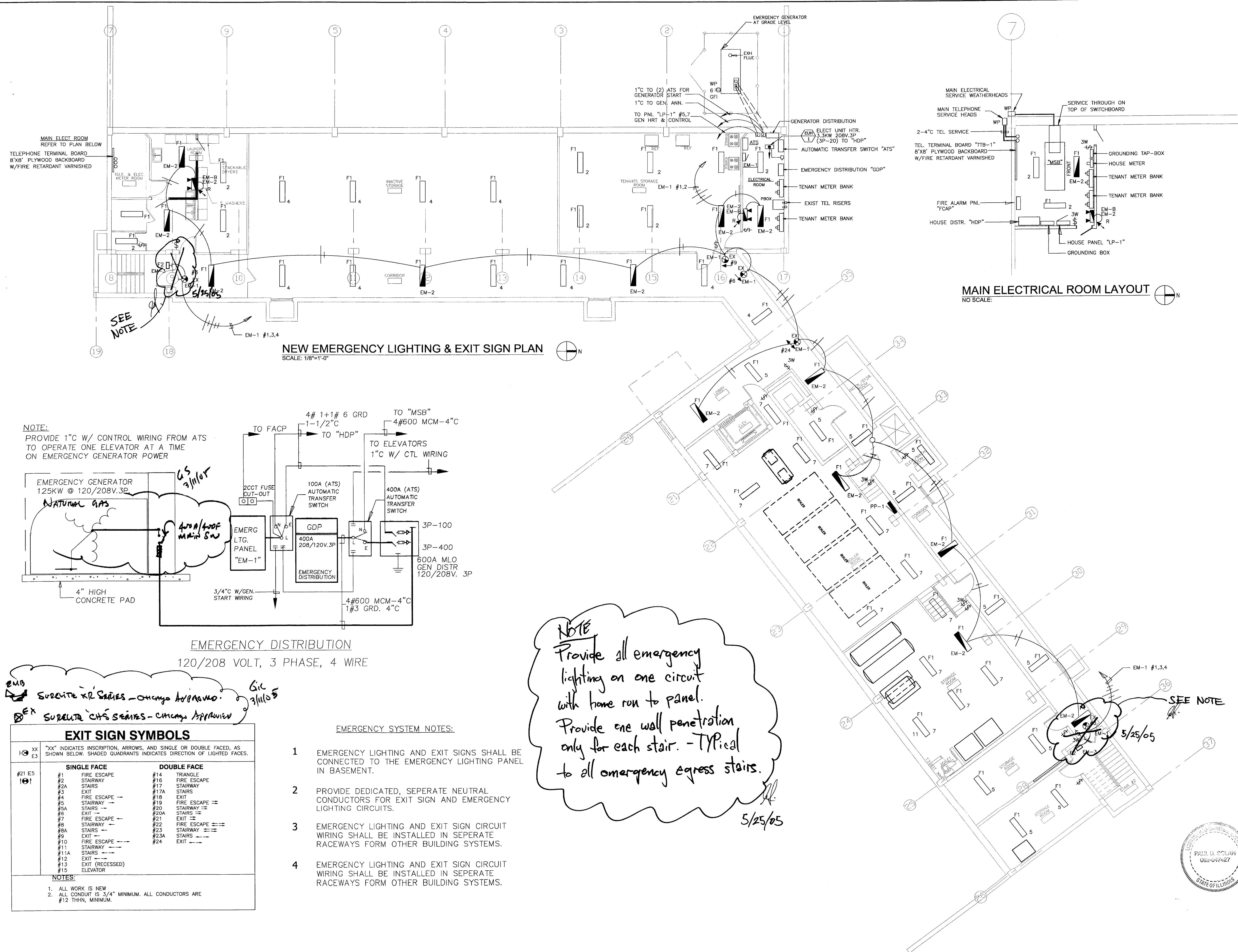
FAX (312) 655-1105

BLDG. 1314 BASEMENT
EMERG & EXIT SIGN PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER	RH-5
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DATE 9/28/04	SCALE AS SHOWN	JOB NO. 2003005.01	SHEET NUMBER EM-103E
DRAWN CMH	CHECKED ECS	APPROVED ECS	



Bid Documents

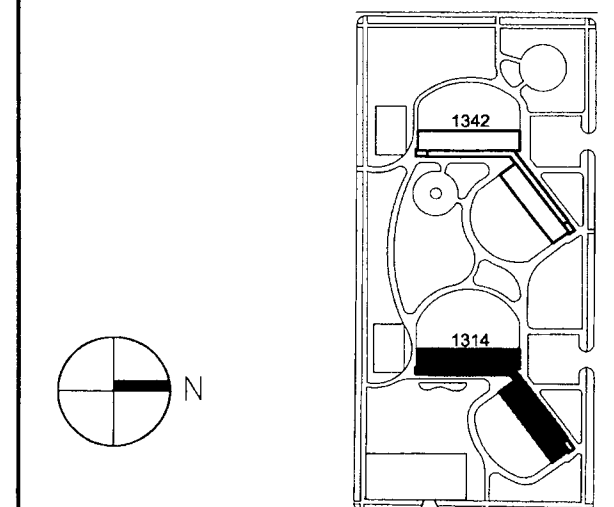
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General Notes

SEAL OF THE CHICAGO HOUSING AUTHORITY
Rafael Hernandez
SVP 14 2005
BY: [Signature]

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



6	03.03.05	PERMIT	
5	09.28.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

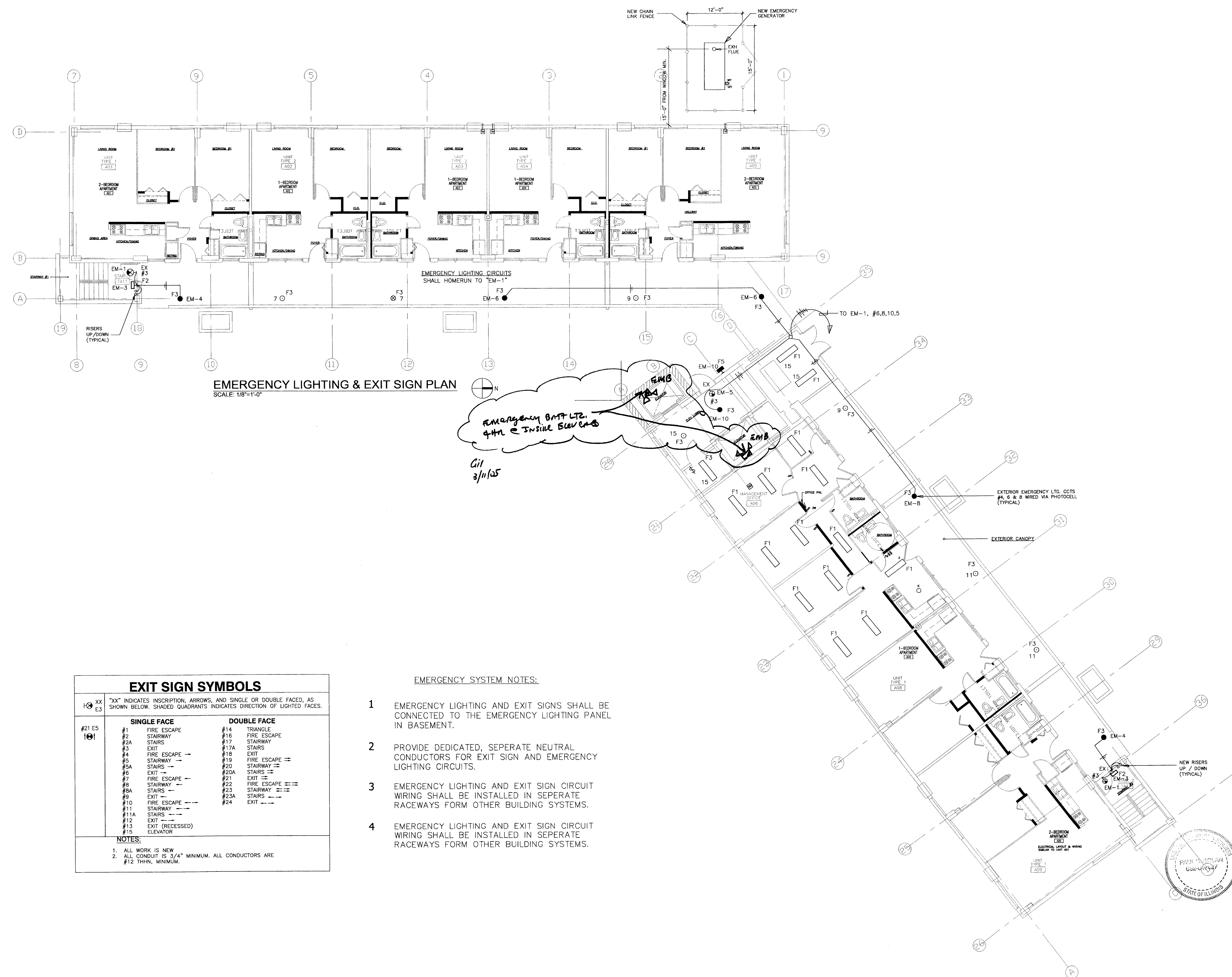
(312) 742 5500 FAX (312) 655-1105

**BLDG. 1314 1st. FLOOR
EMERG & EXIT SIGN PLAN**

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-5

DATE 9/28/04	SCALE AS SHOWN	JOB NO. 2003005.01	SHEET NUMBER EM-104B
DRAWN CMH	CHECKED ECS	APPROVED ECS	



EMERGENCY LIGHTING & EXIT SIGN PLAN
SCALE: 1/8"=1'-0"

EXIT SIGN SYMBOLS

XX E3	"XX" INDICATES INSCRIPTION, ARROWS, AND SINGLE OR DOUBLE FACED, AS SHOWN BELOW. SHADED QUADRANTS INDICATES DIRECTION OF LIGHTED FACES.																														
#21 ES 101	<table> <tr> <th>SINGLE FACE</th><th>DOUBLE FACE</th></tr> <tr> <td>#1 FIRE ESCAPE</td><td>#14 TRIANGLE</td></tr> <tr> <td>#2 STAIRWAY</td><td>#16 FIRE ESCAPE</td></tr> <tr> <td>#3 STAIRS</td><td>#17 STAIRWAY</td></tr> <tr> <td>#4 EXIT</td><td>#17A STAIRS</td></tr> <tr> <td>#5 FIRE ESCAPE</td><td>#19 FIRE ESCAPE</td></tr> <tr> <td>#6 STAIRWAY</td><td>#20 STAIRWAY</td></tr> <tr> <td>#7 STAIRS</td><td>#21 EXIT</td></tr> <tr> <td>#8 FIRE ESCAPE</td><td>#22 FIRE ESCAPE</td></tr> <tr> <td>#9 STAIRWAY</td><td>#23 STAIRWAY</td></tr> <tr> <td>#10 STAIRS</td><td>#24 EXIT</td></tr> <tr> <td>#11 FIRE ESCAPE</td><td></td></tr> <tr> <td>#12 STAIRWAY</td><td></td></tr> <tr> <td>#13 EXIT (RECESSED)</td><td></td></tr> <tr> <td>#15 ELEVATOR</td><td></td></tr> </table>	SINGLE FACE	DOUBLE FACE	#1 FIRE ESCAPE	#14 TRIANGLE	#2 STAIRWAY	#16 FIRE ESCAPE	#3 STAIRS	#17 STAIRWAY	#4 EXIT	#17A STAIRS	#5 FIRE ESCAPE	#19 FIRE ESCAPE	#6 STAIRWAY	#20 STAIRWAY	#7 STAIRS	#21 EXIT	#8 FIRE ESCAPE	#22 FIRE ESCAPE	#9 STAIRWAY	#23 STAIRWAY	#10 STAIRS	#24 EXIT	#11 FIRE ESCAPE		#12 STAIRWAY		#13 EXIT (RECESSED)		#15 ELEVATOR	
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#13 EXIT (RECESSED)																															
#15 ELEVATOR																															
NOTES: 1. ALL WORK IS NEW 2. ALL CONDUIT IS 3/4" MINIMUM. ALL CONDUCTORS ARE #12 THIN, MINIMUM.																															

EMERGENCY SYSTEM NOTES:

- EMERGENCY LIGHTING AND EXIT SIGNS SHALL BE CONNECTED TO THE EMERGENCY LIGHTING PANEL IN BASEMENT.
- PROVIDE DEDICATED, SEPERATE NEUTRAL CONDUCTORS FOR EXIT SIGN AND EMERGENCY LIGHTING CIRCUITS.
- EMERGENCY LIGHTING AND EXIT SIGN CIRCUIT WIRING SHALL BE INSTALLED IN SEPERATE RACEWAYS FORM OTHER BUILDING SYSTEMS.
- EMERGENCY LIGHTING AND EXIT SIGN CIRCUIT WIRING SHALL BE INSTALLED IN SEPERATE RACEWAYS FORM OTHER BUILDING SYSTEMS.

Bid Documents

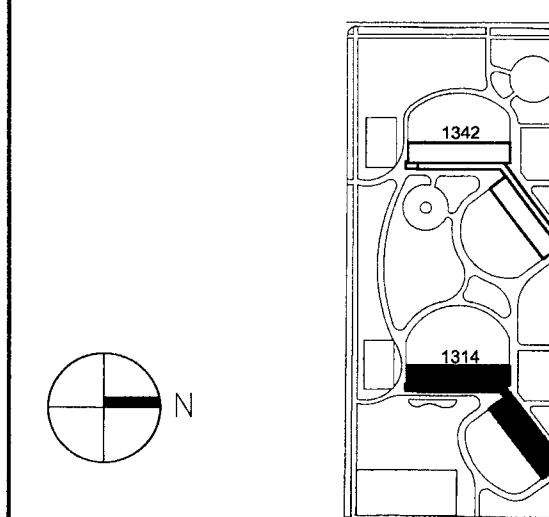
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General Notes

SEP 10 2005
RAFAEL HERNANDEZ
Executive Director
BY *[Signature]*

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT



6	03.03.05	PERMIT	
5	09.28.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
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CHICAGO, IL 60604

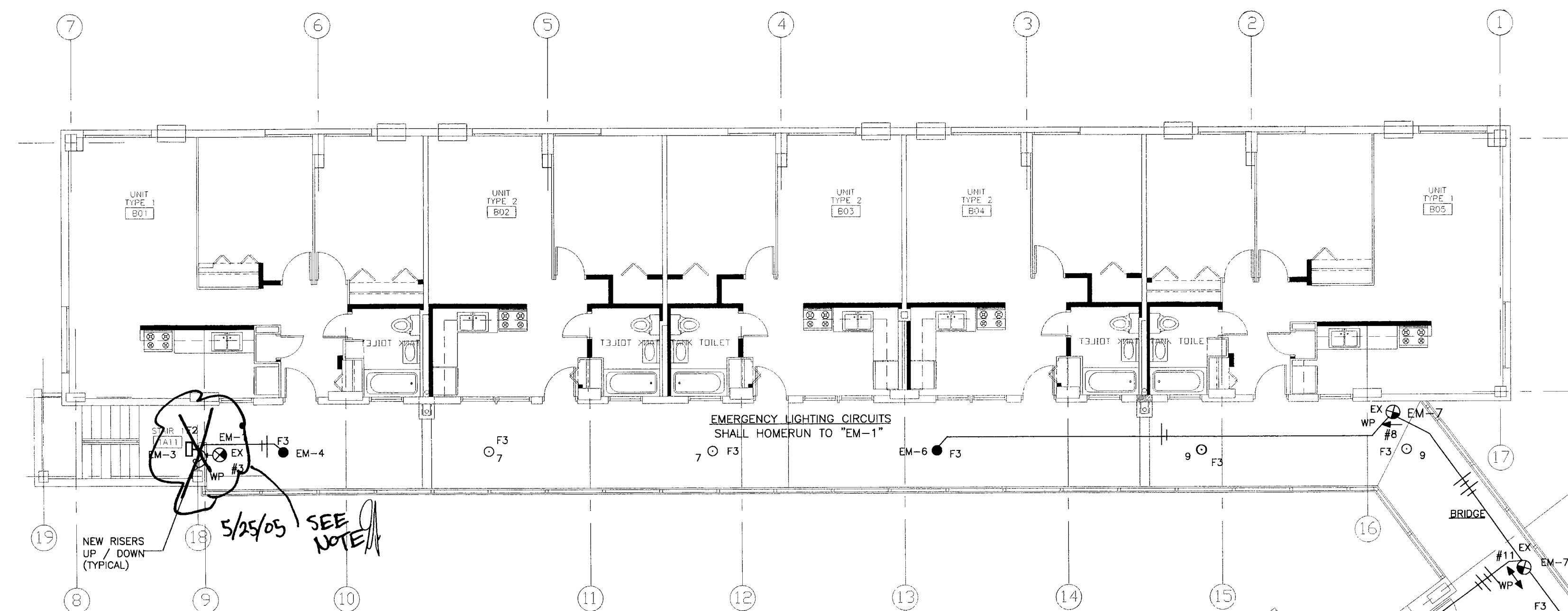
(312) 742 5500 FAX (312) 655-1105

BLDG. 1314 2nd.-7th. FLOOR
EMERG LIGHTING & EXIT SIGN PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER	RH-5
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DATE 9/28/04	SCALE AS SHOWN	JOB NO. 2003005.01	SHEET NUMBER EM-105
DRAWN CMH	CHECKED ECS	APPROVED ECS	




EMERGENCY LIGHTING & EXIT SIGNS 2nd.-7th. FLOOR PLAN

SCALE: 1/8"=1'-0"

Note
Provide all emergency lighting on one circuit with home run to panel.
Provide one wall penetration only for each stair.
Typical to all emergency egress stairs.

EXIT SIGN SYMBOLS

XX 63	"XX" INDICATES INSCRIPTION, ARROWS, AND SINGLE OR DOUBLE FACED, AS SHOWN BELOW. SHADED QUADRANTS INDICATES DIRECTION OF LIGHTED FACES.
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SINGLE FACE		DOUBLE FACE	
#21 ES	#1 FIRE ESCAPE	#14 TRIANGLE	
	#2 STAIRWAY	#16 FIRE ESCAPE	
	#2A STAIRS	#17 STAIRWAY	
	#3 EXIT	#17A STAIRS	
	#4 FIRE ESCAPE	#18 EXIT	
	#5 STAIRWAY →	#19 FIRE ESCAPE ⇄	
	#5A STAIRS →	#20 STAIRWAY ⇄	
	#6 EXIT →	#20A STAIRS →	
	#7 FIRE ESCAPE →	#21 EXIT	
	#8 STAIRWAY →	#22 FIRE ESCAPE ⇄⇄	
	#8A STAIRS →	#23 STAIRWAY ⇄⇄	
	#9 EXIT →	#23A STAIRS →	
	#10 FIRE ESCAPE →→	#24 EXIT →→	
	#11 STAIRWAY →→		
	#11A STAIRS →→		
	#12 EXIT →→		
	#13 EXIT (RECESSED)		

NOTES:

1. ALL WORK IS NEW
2. ALL CONDUIT IS 3/4" MINIMUM. ALL CONDUCTORS ARE #12 THHN MINIMUM.

EMERGENCY SYSTEM NOTES:

- 1 EMERGENCY LIGHTING AND EXIT SIGNS SHALL BE CONNECTED TO THE EMERGENCY LIGHTING PANEL IN BASEMENT.
- 2 PROVIDE DEDICATED, SEPERATE NEUTRAL CONDUCTORS FOR EXIT SIGN AND EMERGENCY LIGHTING CIRCUITS.
- 3 EMERGENCY LIGHTING AND EXIT SIGN CIRCUIT WIRING SHALL BE INSTALLED IN SEPERATE RACEWAYS FORM OTHER BUILDING SYSTEMS.
- 4 EMERGENCY LIGHTING AND EXIT SIGN CIRCUIT WIRING SHALL BE INSTALLED IN SEPERATE RACEWAYS FORM OTHER BUILDING SYSTEMS.

MECHANICAL ABBREVIATIONS				DUCTWORK SYMBOLS		PIPING SYMBOLS		GENERAL NOTES	
AAV	AUTOMATIC AIR VENT (VALVE)	H	HUMIDISTAT	V	VOLT OR VENT	(C)SERVICE	EXISTING PIPE	A. THE ABBREVIATIONS AND SYMBOLS ON THIS SHEET ARE GENERAL IN NATURE. SOME ABBREVIATIONS AND SYMBOLS MAY NOT BE APPLICABLE TO THIS PROJECT.	CITY OF CHICAGO NOTES
AC	AIR CONDITIONING UNIT OR AIR COMPRESSOR	HC	HEATING COIL	VWV	VARIABLE AIR VOLUME	-----	EXISTING PIPE OR ITEM TO BE REMOVED		
ACH	AIR CHANGES PER HOUR	HD	HOOD OR HEAT DETECTOR	VD	VOLUME DAMPER	BR	BRINE RETURN		
AD	ACCESS DOOR	HEPA	HIGH EFFICIENCY PARTICULATE AIR FILTER	VEL	VELOCITY	BS	BRINE SUPPLY		
AE	AUTOMATIC EXHAUST	HL	HOOD EXHAUST	VERT	VERTICAL	CA	COMPRESSED AIR		
AF	AIR FILTER	HL	HIGH LIMIT	VFD	VARIABLE FREQUENCY DRIVE	CD	CONDENSATE DRAIN		
AFV	AIR FLOW CONTROL VALVE	HP	HORIZONTAL	VI	VIBRATION ISOLATION	CHWR	CHILLED WATER RETURN		
AFV	AUTOMATIC FLOW CONTROL DEVICE	HP	HORSEPOWER OR HEAT PUMP	VOL	VOLUME	CHWS	CHILLED WATER SUPPLY		
AFV	ABOVE FINISHED FLOOR	HR	HYDRA-PUMP OR HEAT PUMP	VSD	VARIABLE SPEED DRIVE	CR	CONDENSATE RETURN		
AH	AIR HANDLING UNIT	HRP	HYDRONIC RADIANT PANEL	VTR	VENT THROUGH ROOF	CNR	CONDENSER WATER RETURN		
ALUM	ALUMINUM	HT	HUMIDITY TRANSMITTER			CNS	CONDENSER WATER SUPPLY		
AMP	AMPERE	HTG	HEATING			D	DRAIN		
AMS	AIR FLOW MEASURING STATION	HUM	HUMIDIFIER	W	WATT	FOR	FUEL OIL RETURN		
AP	ACCESS PANEL	HVAC	HEATING, VENTILATION & AIR CONDITIONING	W/	WITH	FOS	FUEL OIL SUPPLY		
APD	AIR PRESSURE DROP	HVU	HEATING & VENTILATING UNIT	WB	WET BULB TEMPERATURE	FOV	FUEL OIL VENT		
APPROX	APPROXIMATE	HK	HEAT EXCHANGER	WC	WATER COLUMN	G	NATURAL GAS		
ARCH	ARCHITECT/ARCHITECTURAL	HZ	HERTZ	WFM	WATER FLOW MEASURING DEVICE	GV	NATURAL GAS VENT		
ARCH	ARCHITECT/ARCHITECTURAL	ID	INSIDE DIAMETER	WTD	WATER PRESSURE DROP	HCHR	HOT/CHILLED WATER RETURN		
AS	AIR SEPARATOR	IN	INCH	WT	WEIGHT	HCHS	HOT/CHILLED WATER SUPPLY		
ASC	ABOVE SUSPENDED CEILING	IN OR"	INCH OR INCHES			HPC	HIGH PRESSURE CONDENSATE RETURN		
AUTO	AUTOMATIC	INSUL.	INSULATION			HPS	HIGH PRESSURE STEAM		
AVG	AVERAGE	IN W.C.	INCHES WATER COLUMN			HWR	HOT WATER HEATING RETURN		
		IN W.G.	INCHES WATER GAUGE			HWS	HOT WATER HEATING SUPPLY		
		KW	KILOWATT			LPS	LOW PRESSURE STEAM		
BAS	BUILDING AUTOMATION SYSTEM	KWH	KILOWATT HOUR			MPC	MEDIUM PRESSURE CONDENSATE RETURN		
BDD	BACK DRAFT DAMPER	LAT	LEAVING AIR TEMPERATURE			MPS	MEDIUM PRESSURE STEAM		
BHP	BRAKE HORSEPOWER	LBS	POUNDS			PC	PUMPED CONDENSATE DISCHARGE		
BH	BIO-SAFETY HOOD	LL	LOW LIMIT OR LANDLORD			POHWR	PRIMARY CHILLED WATER RETURN		
BDD	BOTTOM OF DUCT	LPR	LOWER PRESSURE CONDENSATE RETURN			POHWS	PRIMARY CHILLED WATER SUPPLY		
BOP	BOTTOM OF PIPE	LRA	LOCKED ROTOR AMPERES			PHWR	PRIMARY HOT WATER HEATING RETURN		
BSMT	BASEMENT	LVG	LEAVING			PHWS	PRIMARY HOT WATER HEATING SUPPLY		
BTUH	BRITISH THERMAL UNIT PER HOUR	LWT	LEAVING WATER TEMPERATURE			RHG	REFRIGERANT HOT GAS		
BRF	BELOW RAISED FLOOR	MAINT	MAINTENANCE			RHR	REHEAT HOT WATER HEATING RETURN		
		MAX	MAXIMUM			RHS	REHEAT HOT WATER HEATING SUPPLY		
		MBH	THOUSAND BTU PER HOUR			RL	REFRIGERANT LIQUID		
		MD	MANUAL DAMPER			RS	REFRIGERANT SUCTON		
		MECH	MECHANICAL			RV	REFRIGERANT VENT		
		MIN	MINIMUM OR MINUTE(S)			SHWR	SECONDARY CHILLED WATER RETURN		
		MISC	MISCELLANEOUS			SHWS	SECONDARY CHILLED WATER SUPPLY		
		MO	MOTOR OPERATED DAMPER			SHWR	SECONDARY HOT WATER HEATING RETURN		
		MPS	MEDIUM PRESSURE CONDENSATE RETURN			SHWS	SECONDARY HOT WATER HEATING SUPPLY		
		MPS	MEDIUM PRESSURE STEAM			V	VENT		
		NC	NORMALLY CLOSE OR NOISE CRITERIA			AS	AIR SEPARATOR		
		NIC	NOT IN CONTRACT			DA	DIRECTION OF FLOW ARROW		
		NK	NECK			D	CONCENTRIC REDUCER		
		NO	NORMALLY OPEN			ED	ECCENTRIC REDUCER		
		NG OR #	NUMBER			T	TEE		
		NR	NOT REQUIRED			TD	TEE TURNED DOWN		
		NTS	NOT TO SCALE			TD	TEE TURNED UP		
		NV	NATURAL VENTILATION			EL	ELBOW		
		OA	OUTSIDE AIR			EL	ELBOW TURNED UP		
		OA	OUTSIDE AIR INTAKE			ED	ELBOW TURNED DOWN		
		OD	OPPOSED BLADE DAMPER			GL	GLOBE VALVE		
		OD	OUTSIDE DIAMETER			MA	MANUAL AIR VENT		
		OPNG	OPENING			MOT	MOTORIZED 2-WAY OR 3-WAY CONTROL VALVE		
		OV	OUTLET VELOCITY OR OVAL			SV	SOLENOID VALVE		
		P	PUMP			PR	PRESSURE REDUCING VALVE		
		PA	PASCAL			PRV	PRESSURE RELIEF VALVE		
		PC	PLUMBING CONTRACTOR			PSA	POUNDS PER SQUARE INCH ABSOLUTE		
		PCD	PUMPED CONDENSATE DISCHARGE			PSIG	POUNDS PER SQUARE INCH GAUGE		
		POW	PROPYLENE GLYCOL-WATER SOLUTION (GLYCOL BY VOLUME)						
		PE	PRESSURE-ELECTRIC SWITCH						
		PH	PHASE						
		PLB	PLUMBING						
		PP	PILOT POSITIONER						
		PRESS	PRESSURE						
		PRV	PRESSURE REDUCING VALVE						
		PSA	POUNDS PER SQUARE INCH ABSOLUTE						
		PSIG	POUNDS PER SQUARE INCH GAUGE						
		R	RETURN						
		RA	RETURN AIR						
		REG	REGISTER						
		REQ'D	REQUIRED						
		RF	RETURN FAN						
		RH	RELATIVE HUMIDITY						
		RHC	REHEAT COIL						
		RM	ROOM OR REFRIGERATION MACHINE						
		RO	RELIEF OPENING						
		RP	RADIANT PANEL						
		RPM	REVOLUTIONS PER MINUTE						
		RTT	ROOM TEMPERATURE TRANSMITTER						
		RV	RELIEF VALVE (VENT) OR ROOF VENTILATOR						
		S	SUPPLY						
		SA	SUPPLY AIR OR SOUND						
		SAV	SUPPLY AIR VALVE						
		SCU	SELF CONTAINED AC UNIT						
		SD	SMOKE DAMPER OR SMOKE DETECTOR						
		SF	SUPPLY FAN OR SQUARE FEET						
		SHT	SHEET						
		SL	SENSIBLE LOAD						
		SNP	SELF-NOISE POWER						
		SOL	SOLENOID						
		SP	STATIC PRESSURE						
		SPCS	SPECIFICATIONS						
		SPS	STATIC PRESSURE SENSOR						
		SQ	SQUARE						
		SQ FT.	SQUARE FEET						
		SS	STAINLESS STEEL						
		ST	STEAM TRAP						
		STD	STANDARD						
		STL	STEEL						
		STM	STEAM						
		STRUC	STRUCTURE/STRUCTURAL						
		T	TRANSFER						
		TD	THERMOSTAT						
		TD	TRANSFER BOOT (DUCT)						
		TOW	TREATED COLD WATER						
		TD	TEMPERATURE DIFFERENCE						
		TEF	TOILET EXHAUST FAN						
		TEMP	TEMPERATURE						
		THK	THICK						
		TL	TOTAL LOAD						
		TO	TRANSFER OPENING						
		TR	TEMPERATURE RISE						
		TSR	TOTAL STATIC PRESSURE						
		TST	TEMPERATURE TRANSMITTER						
		TYP	TYPICAL						
		UC	UNDER-CUT (DOOR)						
		UGRD	UNDERGROUND						
		UON	UNIT HEATER (HYDRONIC OR STEAM) UNLESS OTHERWISE NOTED						



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Suite 245
Chicago, Illinois 60604

db HMS ENGINEERING
8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

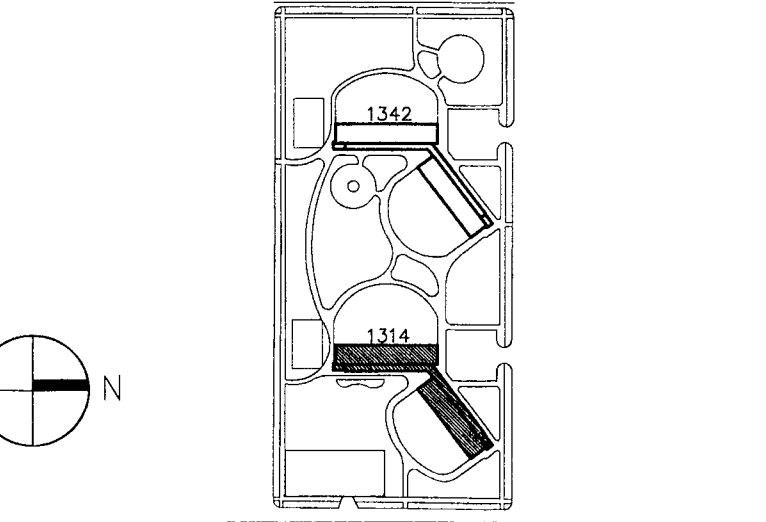
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General Notes

REVISIONS
DATE DESCRIPTION BY
12/09/2003
08/10/04
03/29/04
12/12/03

Key Plan



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
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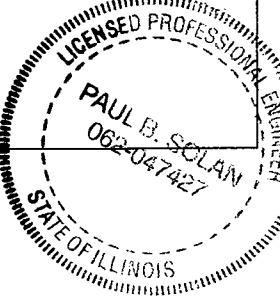
REVISIONS

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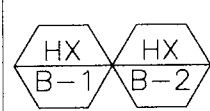

MECHANICAL SYMBOLS

1314 WEST 15TH STREET FAMILY DEVELOPMENT			HUD NUMBER RH-7
DATE 12.09.2003	SCALE NONE	JOB NO. 2003005.03	SHEET NUMBER M-01B
DRAWN CMH	CHECKED DAS	APPROVED PAH	SHT. X OF X SHTS.

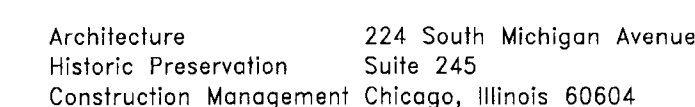


SYMBOL		TYPE	MODEL	FRAME	DAMPER	FINISH	REMARKS
A		REFR TO ROOM FINISH					SCHEDULE AND REFLECTED
B		SCHEDULE AND REFLECTED					CEILING PLAN FOR PROPER
C		COORDINATING OF DIFFUSERS,					GRILLES AND REGISTERS.

[illegible][illegible]

MISCELLANEOUS EQUIPMENT SCHEDULE		
TAG	DESCRIPTION	SPECIFICATION
	HEATING HEAT EXCHANGER	BASED ON B&G SU10 8-2, STEAM TO HOT WATER HX, 2100 MBH CAPACITY, 2165 PPH @ 2 PSIG, 215 GPM @ 180°F TO 200°F, 2.1 WPD, 3/4" TUBE, 0.035" TUBE THICKNESS
	EXPANSION TANK	BASED ON WESSELS NLA 130, 35 GALLON TANK, 35 GALLON ACCEPTANCE

FIN TUBE RADIATION SCHEDULE								
UNIT No.	MANUFACTURER & MODEL NUMBER	FIN ELEMENT	AVR. WATER TEMP., F DEG.	ENT. AIR TEMP., F DEG.	DIMENSIONS	No. ROWS	CAPACITY MBH	REMARKS GPM
FT 1	VULCAN SWA		190	65	56"L.G. x 14"H x 4"D		6.6	0.66
FT 2	VULCAN SWA		190	65	44"L.G. x 14"H x 4"D		5.0	0.50
FT 3	VULCAN SWA		190	65	40"L.G. x 26"H x 6"D		8.4	0.84
FT 4	VULCAN SWA		190	65	40"L.G. x 14"H x 6"D		6.9	0.69
FT 5	VULCAN SWA		190	65	40"L.G. x 14"H x 4"D		4.5	0.45
FT 6	VULCAN SWA		190	65	36"L.G. x 26"H x 6"D		6.9	0.69
FT 7	VULCAN SWA		190	65	36"L.G. x 26"H x 4"D		4.4	0.44
FT 8	VULCAN SWA		190	65	36"L.G. x 14"H x 4"D		4.0	0.40
FT 9	VULCAN SWA		190	65	32"L.G. x 14"H x 6"D		5.3	0.53
FT 10	VULCAN SWA		190	65	32"L.G. x 32"H x 4"D		4.1	0.41
FT 11	VULCAN SWA		190	65	32"L.G. x 14"H x 4"D		3.5	0.35
FT 12	VULCAN SWA		190	65	28"L.G. x 26"H x 6"D		5.5	0.55
FT 13	VULCAN SWA		190	65	28"L.G. x 14"H x 6"D		4.5	0.45
FT 14	VULCAN SWA		190	65	28"L.G. x 26"H x 4"D		3.4	0.34
FT 15	VULCAN SWA		190	65	24"L.G. x 26"H x 6"D		4.6	0.46
FT 16	VULCAN SWA		190	65	24"L.G. x 14"H x 6"D		3.8	0.38
FT 17	VULCAN SWA		190	65	24"L.G. x 26"H x 4"D		2.8	0.28
FT 18	VULCAN SWA		190	65	20"L.G. x 32"H x 4"D		2.3	0.23
FT 19	VULCAN SWA		190	65	20"L.G. x 26"H x 6"D		3.5	0.35
NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED		NOT USED	NOT USED
FT 21	VULCAN SWA		190	65	20"L.G. x 14"H x 4"D		2.0	0.20
FT 22	VULCAN SWA		190	65	16"L.G. x 26" H x 6"D			BATHROOM
FT 23	VULCAN SWA		190	65	16"L.G. x 14"H x 4"D			
FT 24	VULCAN SWA		190	65	24"L.G. x 14"H x 4"D		2.5	0.25
FT 25	VULCAN SWA		190	65	28"L.G. x 20"H x 4"D		3.2	0.32
FT 26	VULCAN SWA		190	65	28"L.G. x 12 1/2"H x 4"D			KITCHEN
FT 27	VULCAN SWA		190	65	16"L.G. x 14"H x 4"D			KITCHEN

[illegible]

db HMS
ENGINEERING

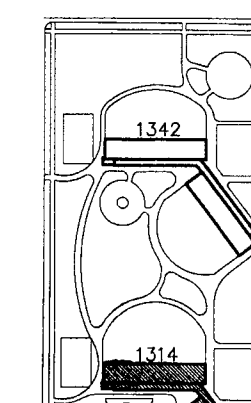
8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

Bid Documents

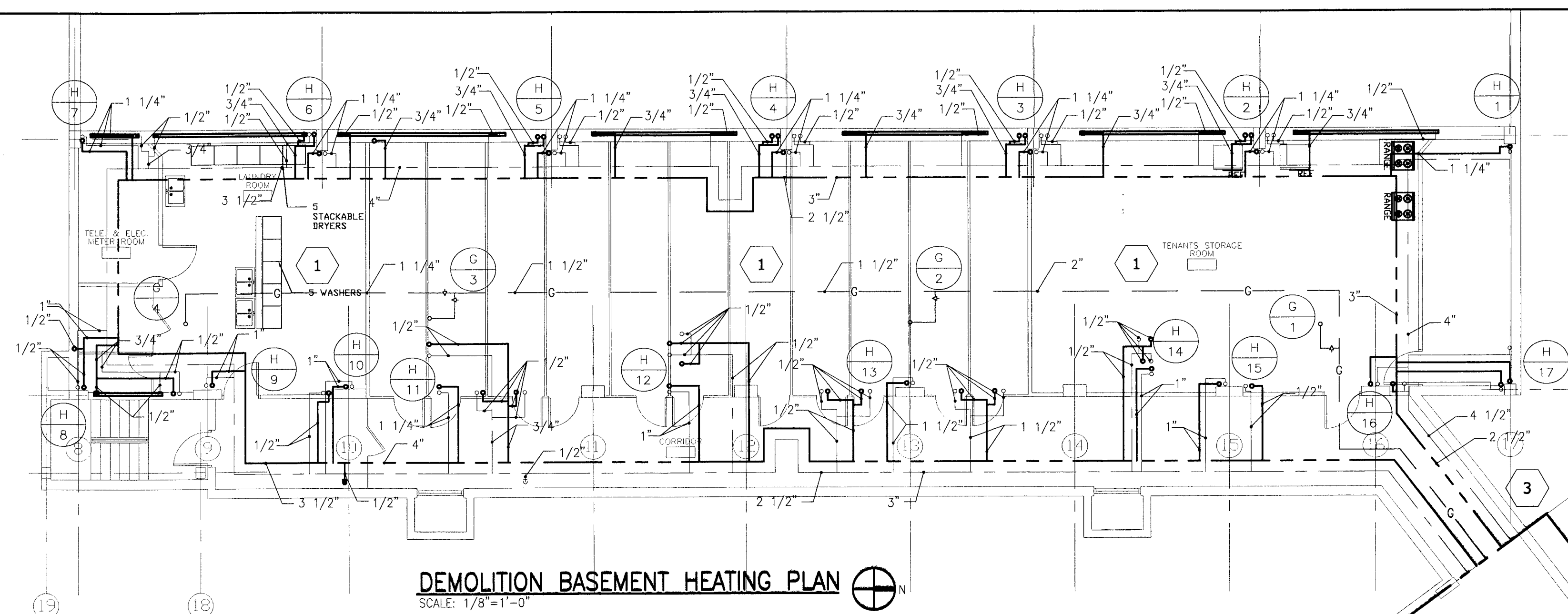
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General Notes

Key Plan



Vord
m.d. 1. d.
2.



DEMOLITION BASEMENT HEATING PLAN
SCALE: 1/8"=1'-0"

DEMO. NOTES:

- 1 DEMOLISH ALL HOT WATER SUPPLY & HOT WATER RETURN PIPING IN BASEMENT.
- 2 DEMOLISH & REMOVE ALL STEAM PIPING TO THE (2) DOMESTIC HOT WATER HEAT EXCHANGERS.
- 3 DEMOLISH & REMOVE EXISTING HEATING HEAT EXCHANGERS, PUMPS AND EXPANSION TANK.
- 4 DEMOLISH & REMOVE ALL ABANDON FUEL PIPING, DEVICES AND TANKS.
- 5 DEMOLISH AND REMOVE ALL GAS PIPING FOR RESIDENTIAL UNITS BACK TO METER. GAS LINE TO BOILERS TO BE REMOVED.



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

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ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

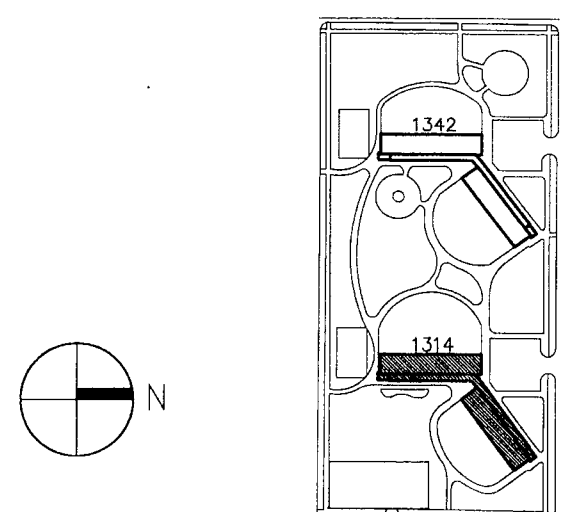
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General Notes

DEPARTMENT OF CITY ENGINEERING
SEAL
Zoning, Fire, and Building Department
All Regulations, Codes, and Ordinances
Subject to the provisions of the
Building Code of Chicago
SEP 16 2003
RAFAEL HERNANDEZ
Building Director
BY: *[Signature]*

Key Plan



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

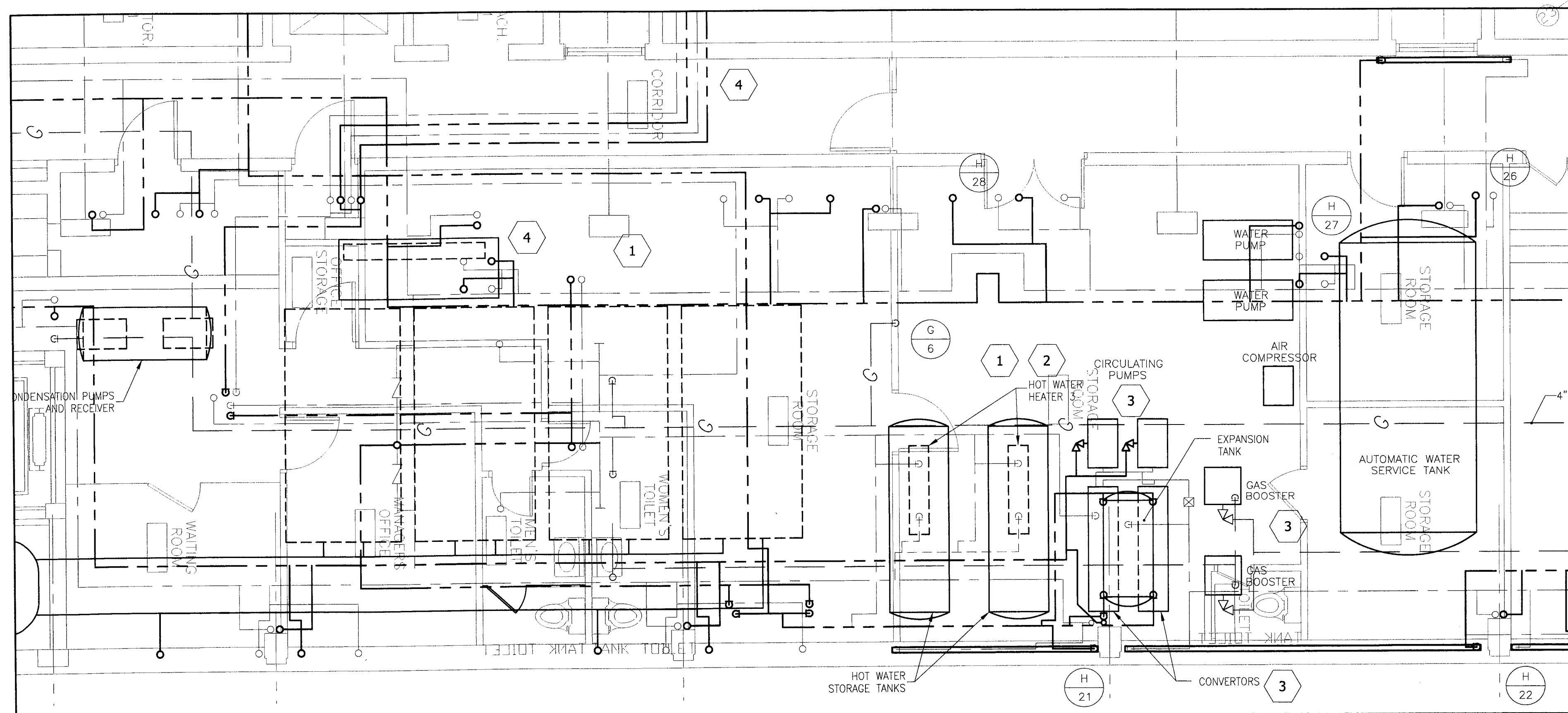
CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
625 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

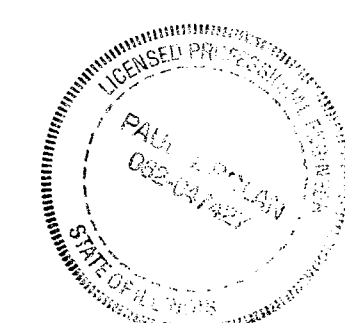
BLDG. 1314 BASEMENT
DEMO HEATING PLAN

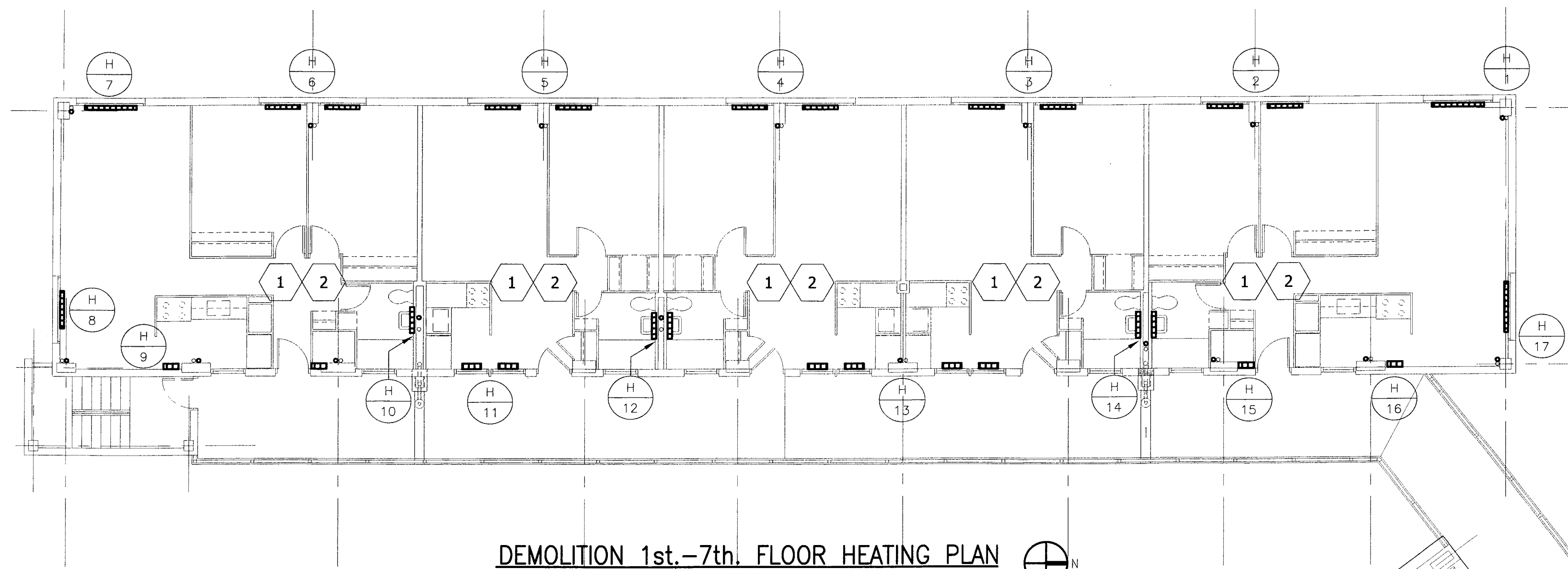
1314 WEST 15TH STREET
FAMILY DEVELOPMENT HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	M-101B
DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
CMH	DAS	PAH	



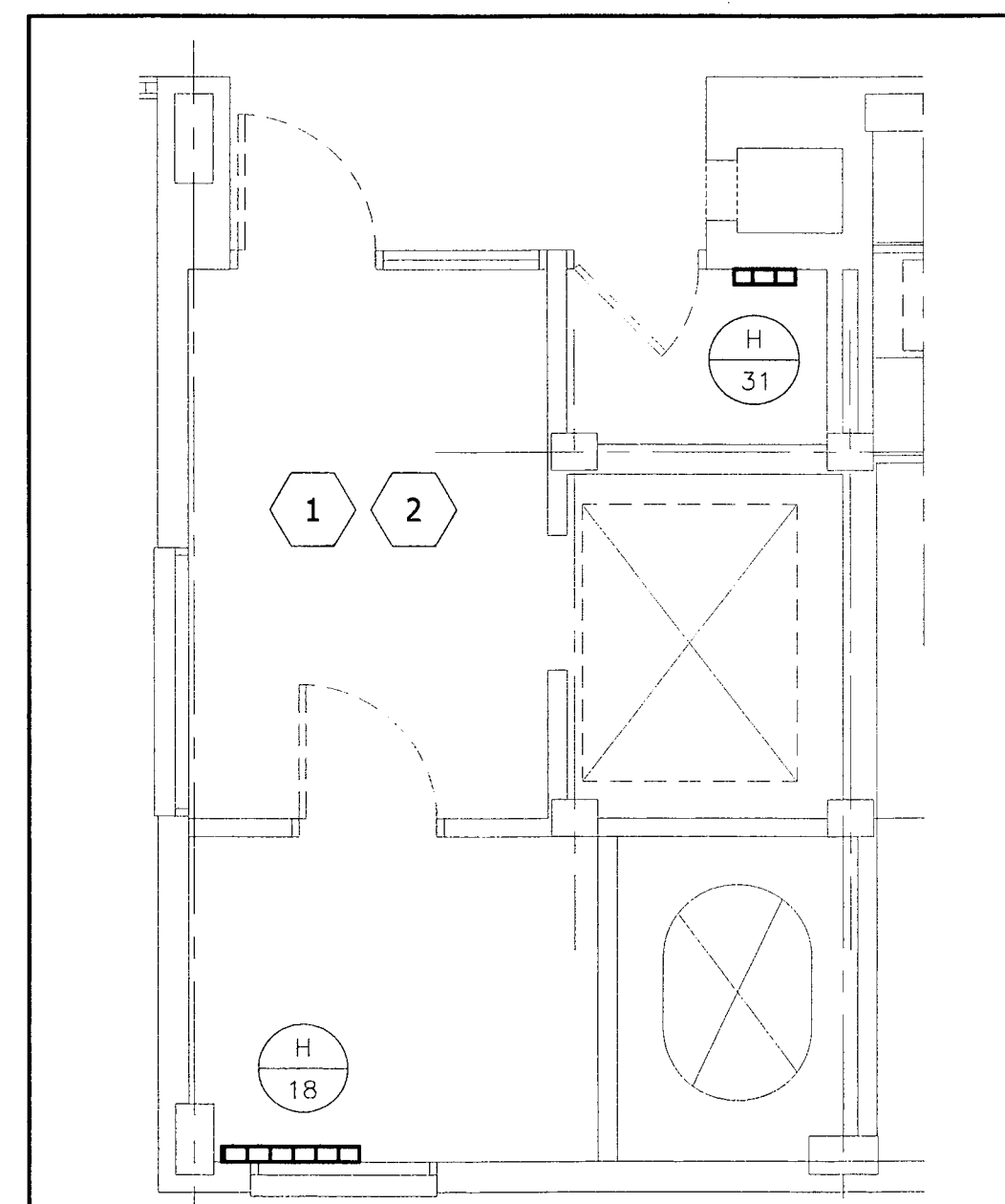
ENLARGED DEMOLITION BOILER ROOM
SCALE: 1/4"=1'-0"





DEMOLITION 1st.-7th. FLOOR HEATING PLAN
SCALE: 1/8"=1'-0"

SEE PENTHOUSE PLAN
THIS SHEET



DEMOLITION PENTHOUSE HEATING PLAN
SCALE: 1/4"=1'-0"

DEMO. NOTES:

- 1 DEMOLISH ALL HOT WATER SUPPLY & HOT WATER RETURN PIPING.
- 2 DEMOLISH ALL EXISTING HOT WATER RADIATORS.



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

db HMS
ENGINEERING

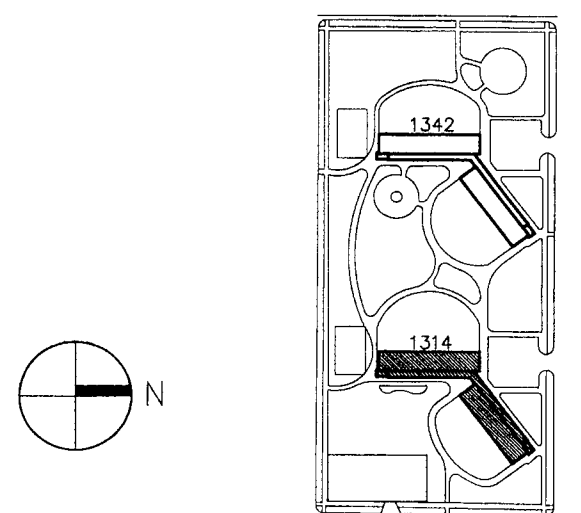
8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

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General Notes

Key Plan



4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

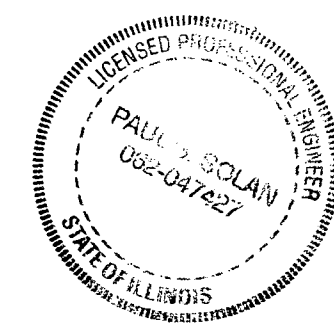
(312) 742 5500 FAX (312) 655-1105

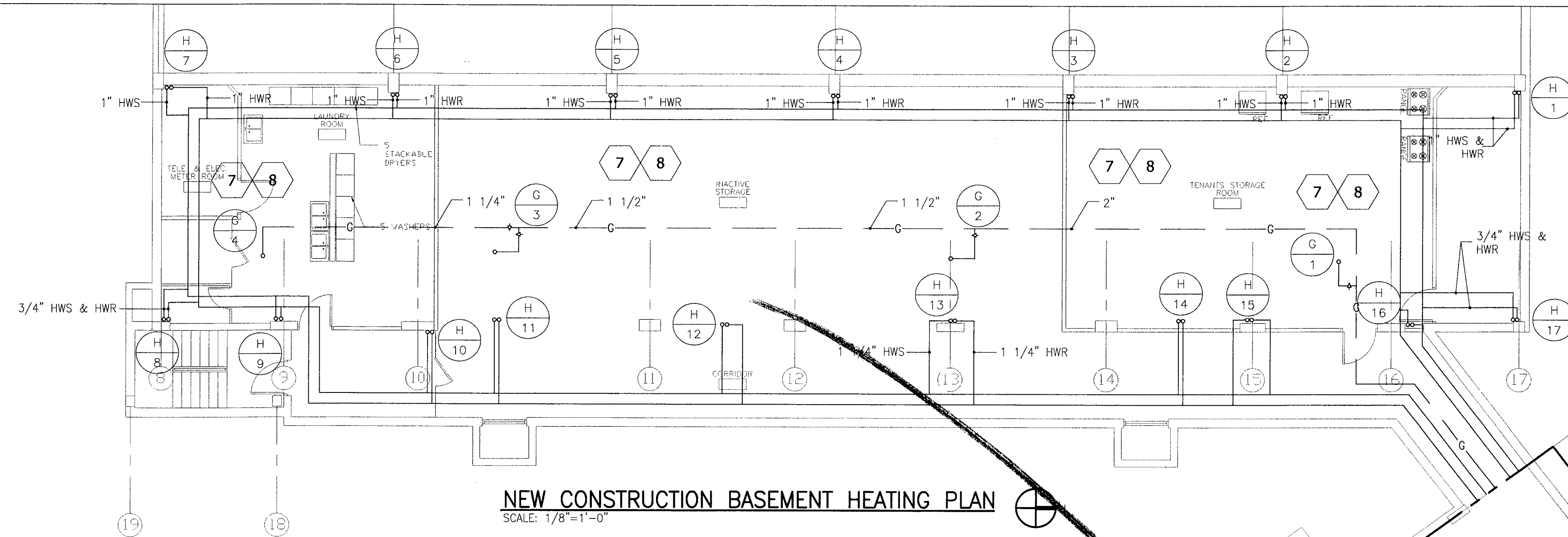
BLDG. 1314 1st.-7th. FLOOR
DEMO HEATING PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	M-102B
DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
CMH	DAS	PAH	





NEW CONSTRUCTION BASEMENT HEATING PLAN
SCALE: 1/8"=1'-0"

- NEW CONSTRUCTION NOTES:**
- 1 EXISTING BOILERS TO REMAIN. EXISTING BOILERS OPERATE AT 8 PSI.
 - 2 EXISTING CONDENSATE RECOVERY TANK AND PUMPS TO REMAIN.
 - 3 EXISTING BREECHING TO REMAIN.
 - 4 PROVIDE (2) NEW HEATING STEAM TO HOT WATER HEAT EXCHANGERS. SEE SCHEDULE AND DETAIL. PROVIDE NEW EXPANSION TANK. SEE SCHEDULE
 - 5 PROVIDE (2) NEW HEATING HOT WATER PUMPS. SEE SCHEDULE AND DETAILS.
 - 6 PROVIDE STEAM AND CONDENSATE PIPING TO (2) NEW DOMESTIC STEAM HOT WATER HEAT EXCHANGERS PROVIDED BY P.C.
 - 7 REPLACE ALL HEATING & HOT WATER SUPPLY AND RETURN PIPING IN BASEMENT WITH ALL VALVES, FITTINGS, HANGERS, ETC. PROVIDE ISOLATION VALVES AT BOTTOM OF EACH RISER WITH DRAIN.
 - 8 REPLACE ALL GAS PIPING TO RESIDENTIAL RISERS FROM GAS METER
 - 9 REPAIR LEAK IN EXISTING WEIL MCCLAIN BOILER. REPLACE CAST IRON SECTIONS AS REQUIRED TO REPAIR LEAK. PROVIDE NEW JACKET AND INSULATION



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

db HMS
ENGINEERING

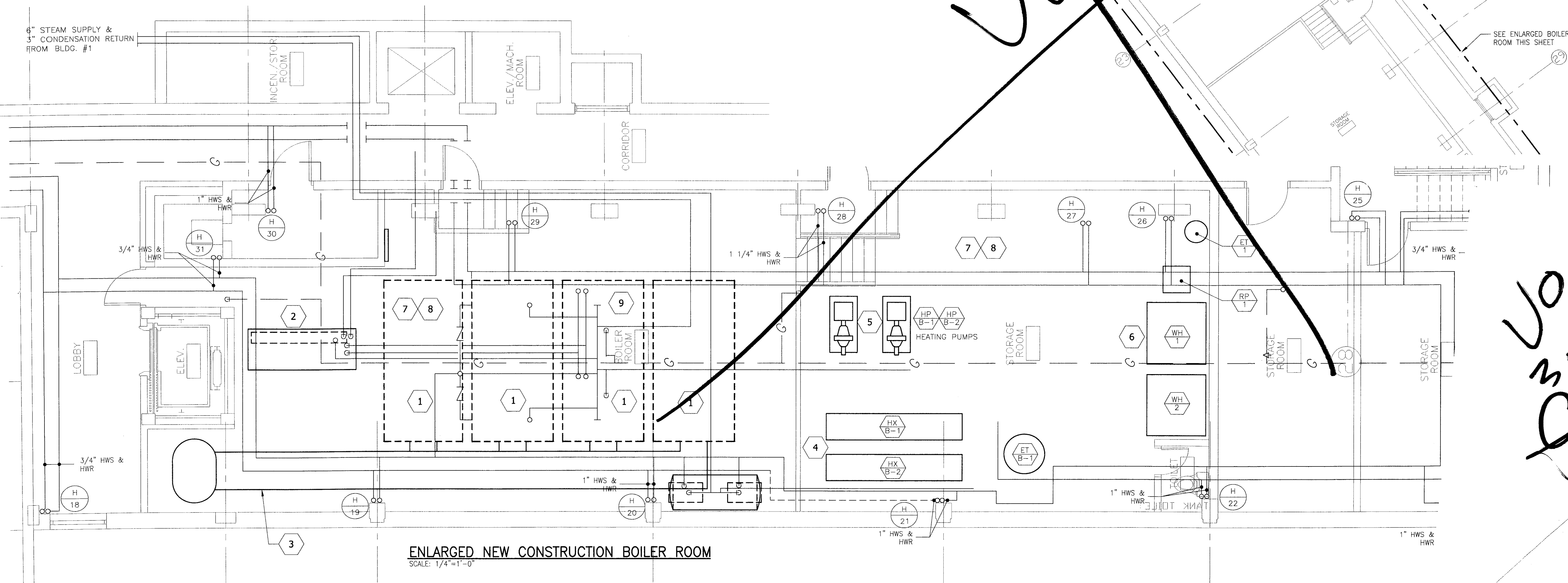
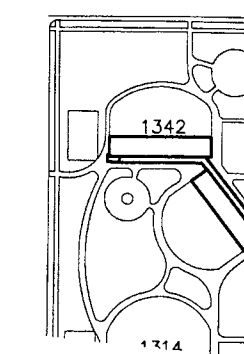
8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

Bid Documents

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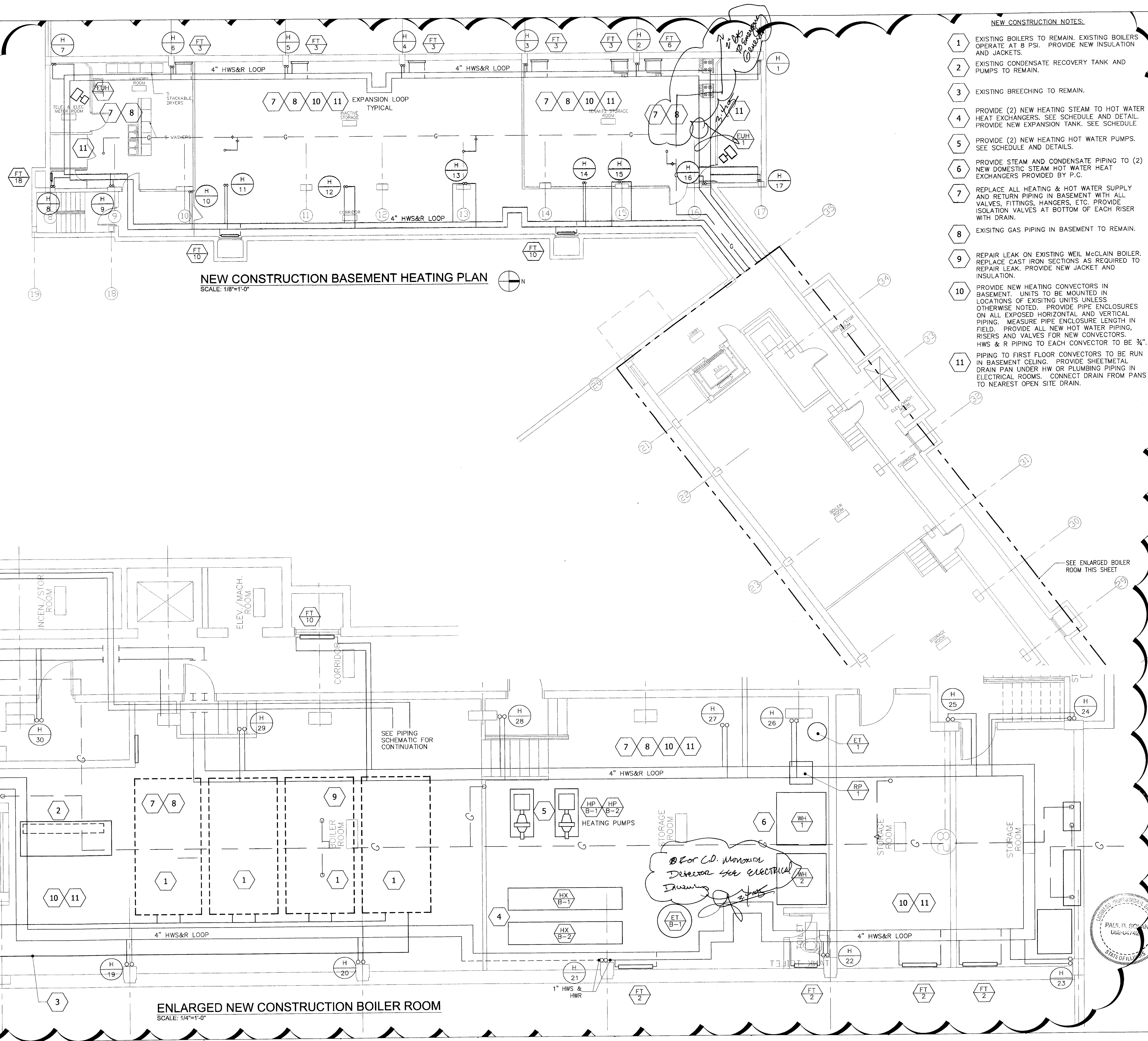
General Notes

Key Plan



ENLARGED NEW CONSTRUCTION BOILER ROOM
SCALE: 1/4"=1'-0"

VOID
3.4.01
[Signature]



- NEW CONSTRUCTION NOTES:
- EXISTING BOILERS TO REMAIN. EXISTING BOILERS OPERATE AT 8 PSI. PROVIDE NEW INSULATION AND JACKET.
 - EXISTING CONDENSATE RECOVERY TANK AND PUMPS TO REMAIN.
 - EXISTING BREECHING TO REMAIN.
 - PROVIDE (2) NEW HEATING STEAM TO HOT WATER HEAT EXCHANGERS. SEE SCHEDULE AND DETAIL. PROVIDE NEW EXPANSION TANK. SEE SCHEDULE.
 - PROVIDE (2) NEW HEATING HOT WATER PUMPS. SEE SCHEDULE AND DETAILS.
 - PROVIDE STEAM AND CONDENSATE PIPING TO (2) NEW DOMESTIC STEAM HOT WATER HEAT EXCHANGERS PROVIDED BY P.C.
 - REPLACE ALL HEATING & HOT WATER SUPPLY AND RETURN PIPING IN BASEMENT WITH ALL VALVES, FITTINGS, HANGERS, ETC. PROVIDE ISOLATION VALVES AT BOTTOM OF EACH RISER WITH DRAIN.
 - EXISTING GAS PIPING IN BASEMENT TO REMAIN.
 - REPAIR LEAK ON EXISTING WEIL MCCLAIN BOILER. REPLACE CAST IRON SECTIONS AS REQUIRED TO REPAIR LEAK. PROVIDE NEW JACKET AND INSULATION.
 - PROVIDE NEW HEATING CONVECTORS IN BASEMENT. UNITS TO BE MOUNTED IN LOCATIONS OF EXISTING UNITS UNLESS OTHERWISE NOTED. PROVIDE PIPE ENCLOSURES ON ALL EXPOSED HORIZONTAL AND VERTICAL PIPING. MEASURE PIPE ENCLOSURE LENGTH IN FIELD. PROVIDE ALL NEW HOT WATER PIPING, RISERS AND VALVES FOR NEW CONVECTORS. HWS & R PIPING TO EACH CONVECTOR TO BE 3/4".
 - PIPING TO FIRST FLOOR CONVECTORS TO BE RUN IN BASEMENT CEILING. PROVIDE SHEETMETAL DRAIN PAN UNDER HW OR PLUMBING PIPING IN ELECTRICAL ROOMS. CONNECT DRAIN FROM PANS TO NEAREST OPEN SITE DRAIN.

CHANGE.
CHICAGO HOUSING AUTHORITY

CHICAGO HOUSING AUTHORITY
Capital Improvement Program
626 West Jackson 3rd Floor
Chicago, Illinois 60661

SMITH HARDING
Architecture
Historic Preservation
Construction Management
224 South Michigan Avenue
Suite 245
Chicago, Illinois 60604

dbHMS ENGINEERING
Willows Springs, Illinois
MEP Engineers

MATRIX ENGINEERING
Chicago, Illinois
Structural Engineers

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General Notes

SEPARATION OF CONTRACT DOCUMENTS

SEP 14 2005

RAFAEL HERNANDEZ
BY: [Signature]

Key Plan

■ DENOTES SCOPE OF WORK / CONTRACT LIMIT

NO.	DATE	DESCRIPTION	BY
6	03.03.05	PERMIT	
5	09.28.04	ISSUED FOR BID	
4	09.07.04	ISSUED FOR 100% CD REVIEW & PERMIT	
3	8.10.04	ISSUED FOR 50% CD'S	
2	3.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

**BLDG. 1314 BASEMENT
NEW HEATING PLAN**

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

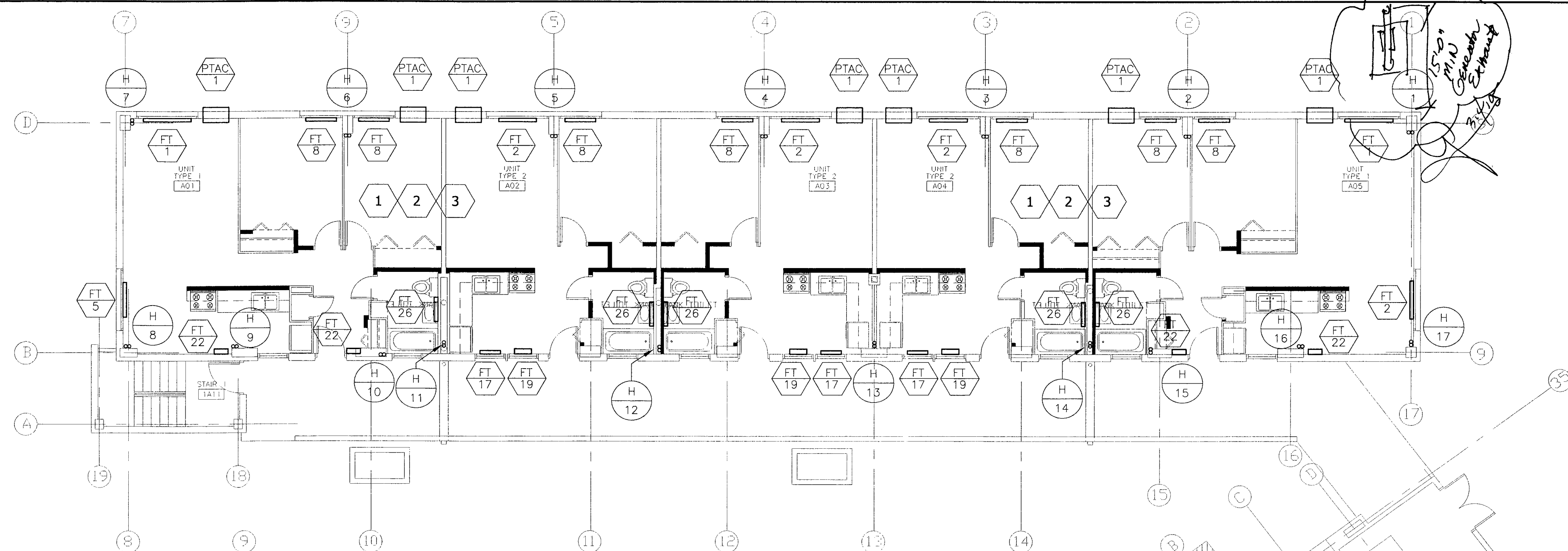
HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
9/28/04	AS SHOWN	2003005.01	M-103B

DRAWN
CMH

CHECKED
EGS

APPROVED
EGS



NEW CONSTRUCTION 1st.-6th. FLOOR HEATING PLAN
SCALE: 1/8"=1'-0"

- NEW CONSTRUCTION NOTES:
- 1 PROVIDE NEW HEATING RADIATORS IN FIRST THRU SIXTH FLOORS.
 - 2 PROVIDE NEW HOT WATER PIPING, RISERS AND VALVES.
 - 3 PROVIDE NEW GAS DISTRIBUTION PIPING IN EXISTING RISER ON FLOORS 1-6. CONNECT GAS RANGE. PROVIDE NEW GAS COCKS.



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

db HMS
ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

Bid Documents

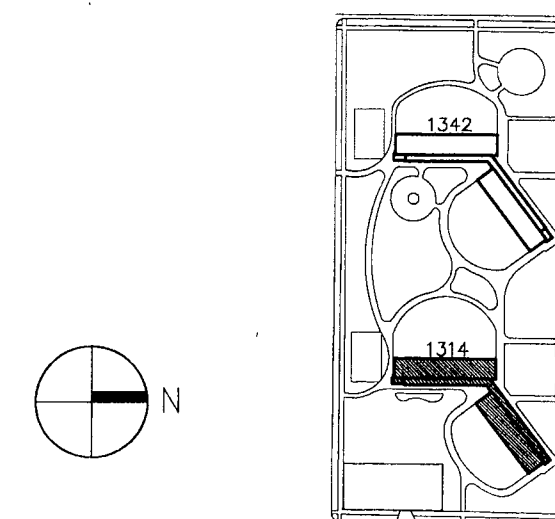
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General Notes

DEPARTMENT OF PUBLIC WORKS
Engineering Division
100 North Dearborn Street, 11th Floor
Chicago, Illinois 60610
SEP 16 2005

RAFAEL HERNANDEZ
BY: *[Signature]*

Key Plan



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

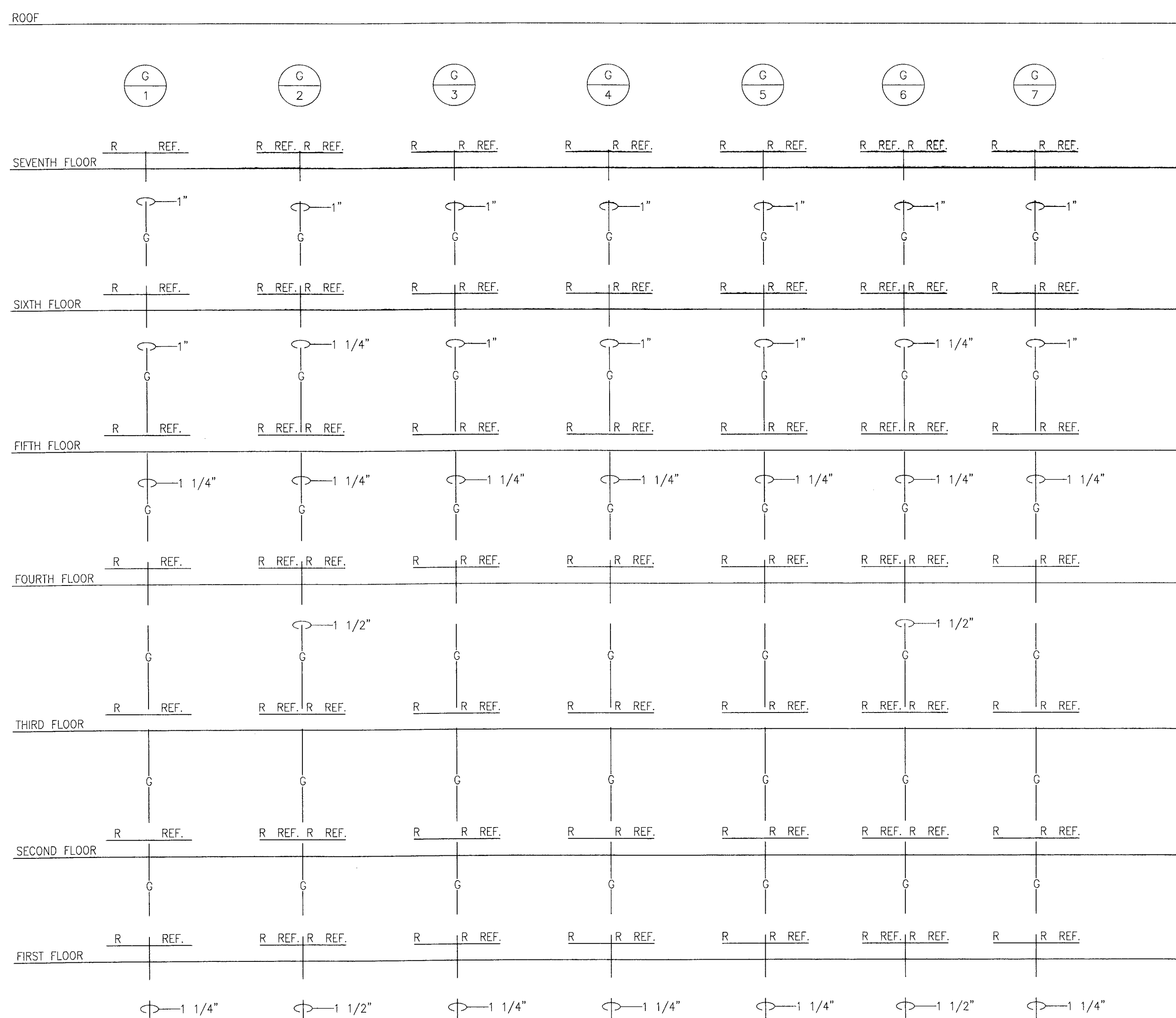
CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500 FAX (312) 655-1105

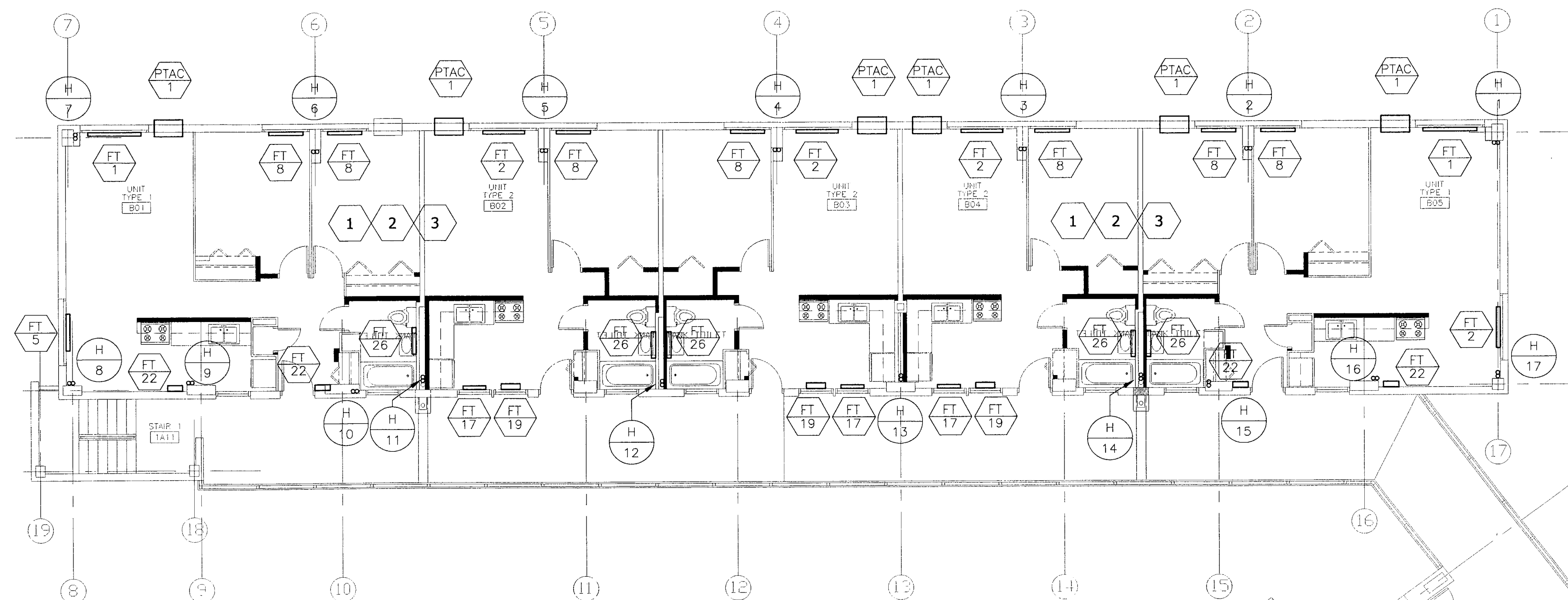
BLDG. 1314 1st.-6th. FLOOR
NEW HEATING PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	M-104B
DRAWN CMH	CHECKED DAS	APPROVED PAH	SHT. X OF X SHTS.



NEW CONSTRUCTION GAS RISER DIAGRAM
SCALE: NONE



NEW CONSTRUCTION 2nd.-6th. FLOOR HEATING PLAN
SCALE: 1/8"=1'-0"



- NEW CONSTRUCTION NOTES:
- 1 PROVIDE NEW HEATING RADIATORS IN FIRST THRU SIXTH FLOORS.
 - 2 PROVIDE NEW HOT WATER PIPING, RISERS AND VALVES.
 - 3 PROVIDE NEW GAS DISTRIBUTION PIPING IN EXISTING RISER ON FLOORS 1-6. CONNECT GAS RANGE. PROVIDE NEW GAS COCKS.



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

db HMS
ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

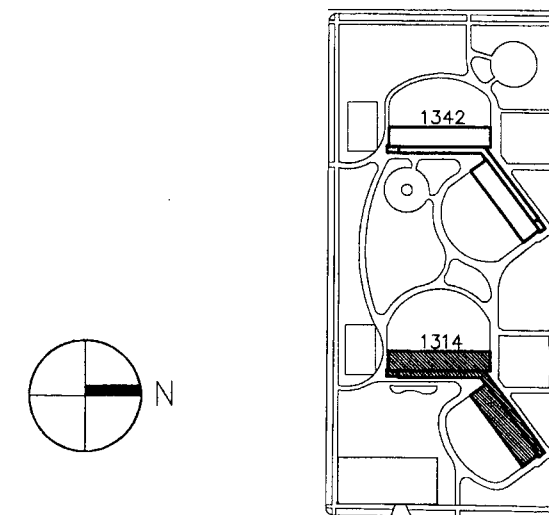
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General Notes

DEPARTMENT OF CITY ENGINEERING PERMITS
Building Code Department
1314 West 15th Street
Chicago, Illinois 60604
SEP 16 2005
RAFAEL HERNANDEZ
By: *[Signature]*

Key Plan



4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

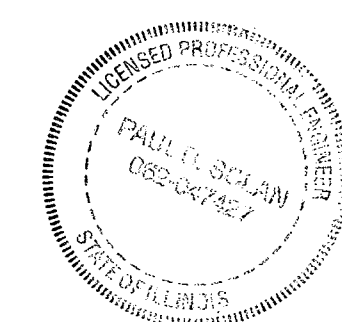
(312) 742 5500 FAX (312) 655-1105

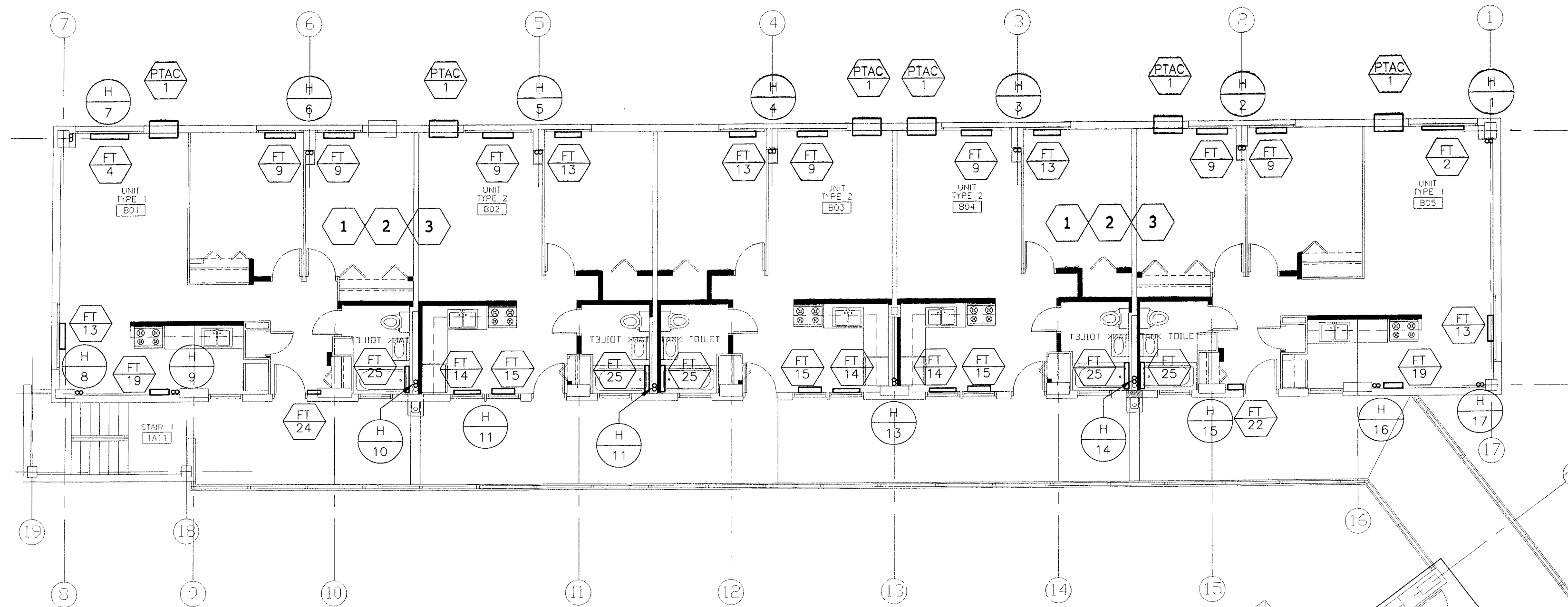
BLDG. 1314 2nd.-6th. FLOOR
NEW HEATING PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

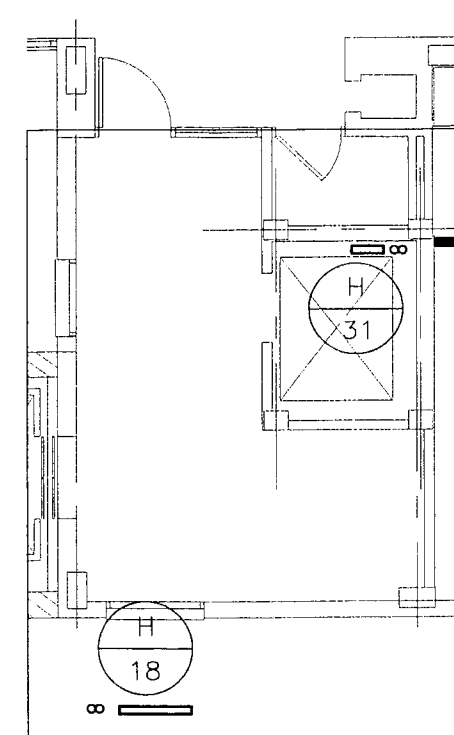
HUD NUMBER
RH-7

DATE 12.09.2003	SCALE AS SHOWN	JOB NO. 2003005.03	SHEET NUMBER M-105B
DRAWN CMH	CHECKED DAS	APPROVED PAH	SHT. X OF X SHTS.





NEW CONSTRUCTION 7th. FLOOR HEATING PLAN
SCALE: 1/8"=1'-0"



NEW CONSTRUCTION PENTHOUSE HEATING PLAN
SCALE: 1/8"=1'-0"

SEE PENTHOUSE PLAN
THIS SHEET

NEW CONSTRUCTION NOTES:

- 1 PROVIDE NEW HEATING RADIATORS IN FIRST THRU SIXTH FLOORS.
- 2 PROVIDE NEW HOT WATER PIPING, RISERS AND VALVES.
- 3 PROVIDE NEW GAS DISTRIBUTION PIPING IN EXISTING RISER ON FLOORS 1-6. CONNECT GAS RANGE. PROVIDE NEW GAS COCKS.



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60601

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
Construction Management Chicago, Illinois 60604

db HMS
ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

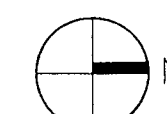
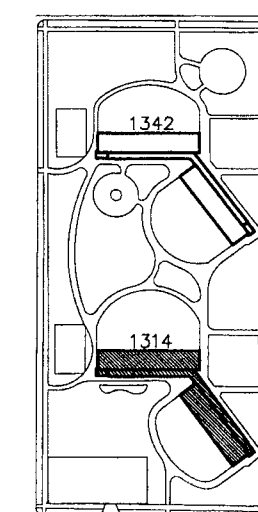
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General Notes

REVISIONS
DATE: 09.07.04
BY: RAFAEL HERNANDEZ
TITLE: 1314 WEST 15TH STREET
FAMILY DEVELOPMENT
SEP 16 2005
RAFAEL HERNANDEZ
Director

Key Plan



4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

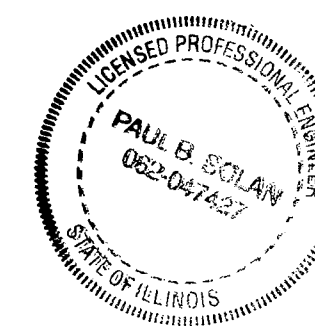
(312) 742 5500 FAX (312) 655-1105

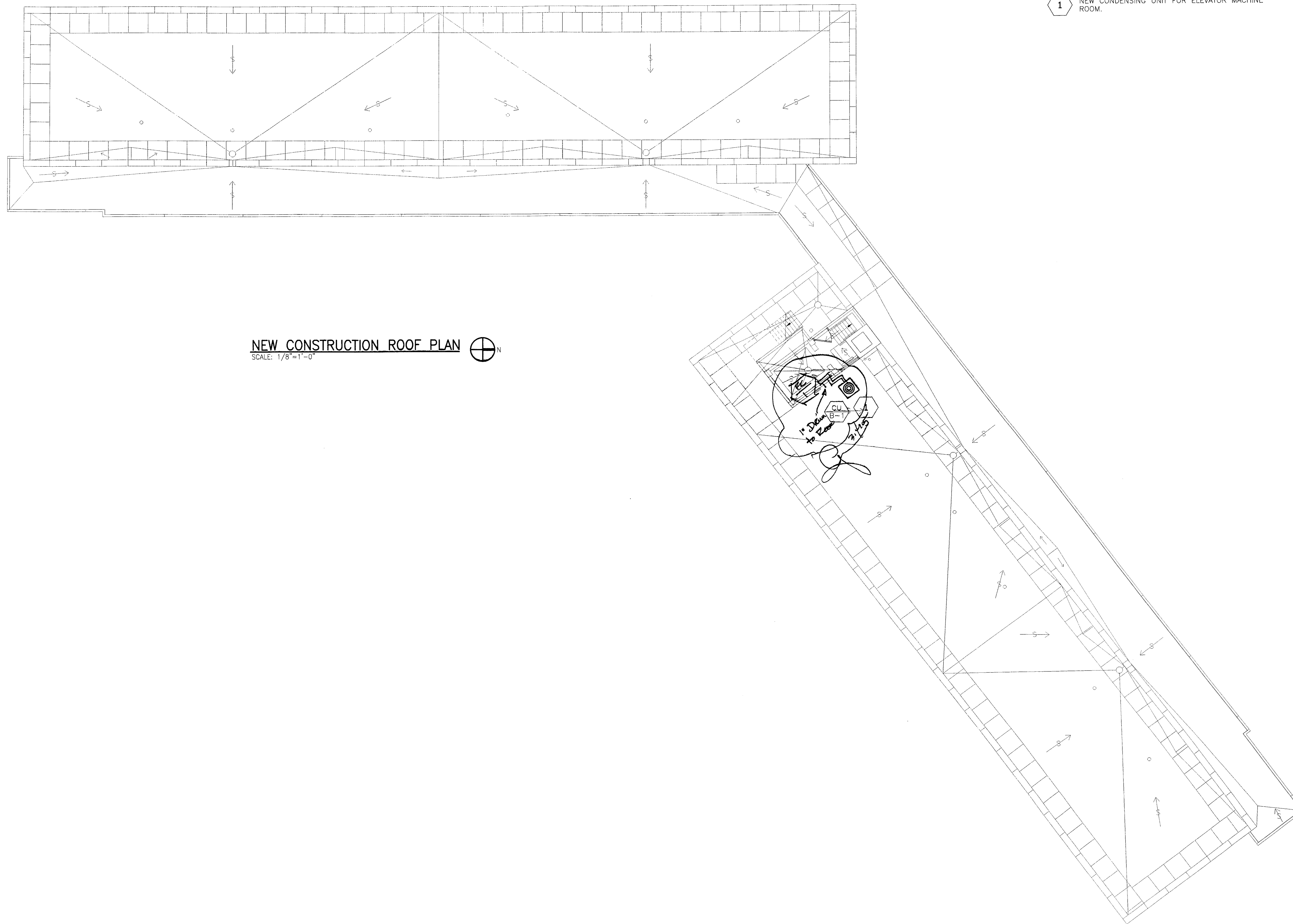
BLDG. 1314 7th. FLOOR
NEW HEATING PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	M-106B
DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
CMH	DAS	PAH	





NEW CONSTRUCTION ROOF PLAN
SCALE: 1/8"=1'-0"

NEW CONSTRUCTION NOTES:
1 NEW CONDENSING UNIT FOR ELEVATOR MACHINE ROOM.



CHICAGO HOUSING AUTHORITY
Capital Improvement Program
600 West Jackson
Chicago, Illinois 60661

SMITH HARDING

Architecture 224 South Michigan Avenue
Historic Preservation Suite 245
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ENGINEERING

8695 South Archer Ave.
Suite #3
Willow Springs, Illinois 60480
Tel: 1-708-467-0557
Fax: 1-708-467-0531
dbhms@comcast.net

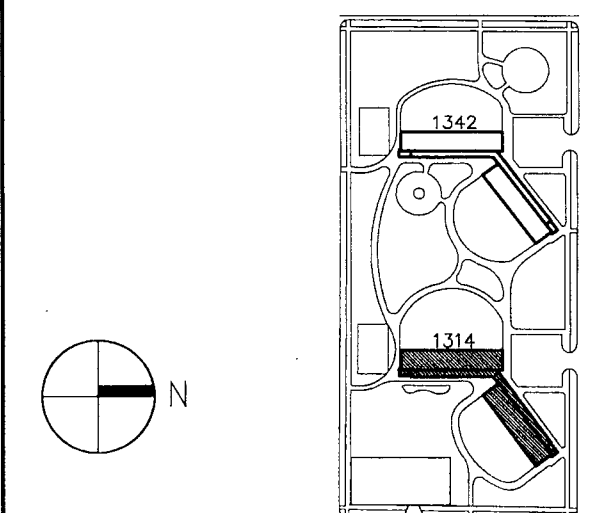
Bid Documents

These drawings and specifications are "Bid Package" documents which indicate the general extent of work and systems performance of the project in terms of the dimensions of the building, the type of structural, mechanical, electrical, and utility systems and an outline of major architectural elements of construction. As "Bid Package" documents, the drawings and specifications are not intended to indicate or describe all work required for the full performance and completion of the requirements of the Contract Documents. On the basis of the general performance criteria and general extent of work indicated, described or required, the contractor shall establish a cost with subcontractors and furnish and install all items required for the proper performance, execution and completion of the work.

General Notes

RECEIVED
SEP 18 2003
RAPHAEL HERNANDEZ
BY: [Signature]

Key Plan



4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
NO.	DATE	DESCRIPTION	BY

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
626 W. JACKSON
CHICAGO, IL 60604

(312) 742 5500

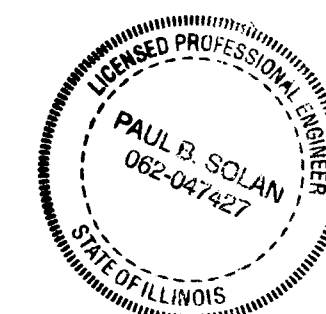
FAX (312) 655-1105

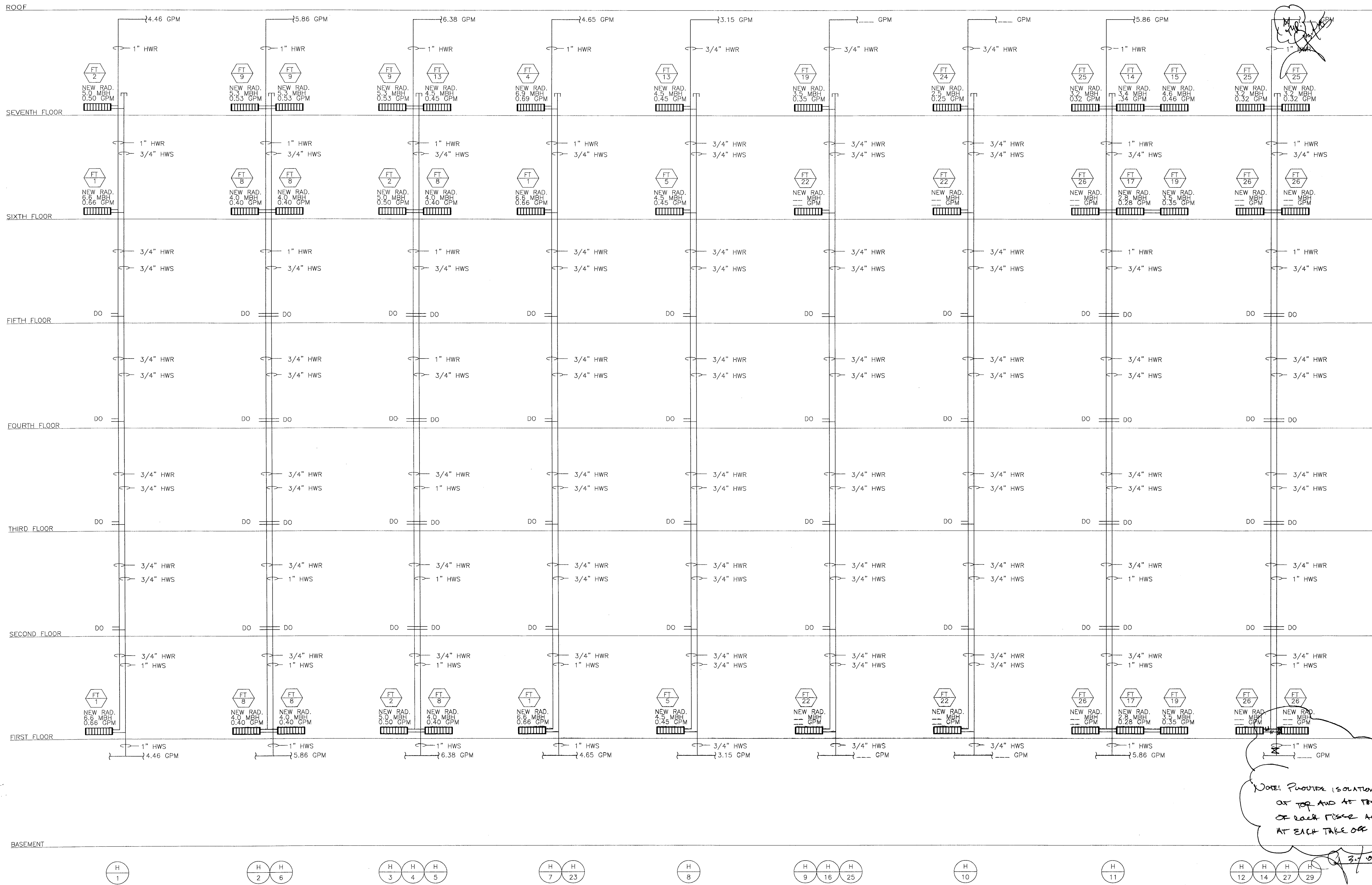
BLDG. 1314 ROOF PLAN

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	M-107B
DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
CMH	DAS	PAH	





NEW CONSTRUCTION HOT WATER HEATING RISER DIAGRAM PART 1

SCALE: NONE



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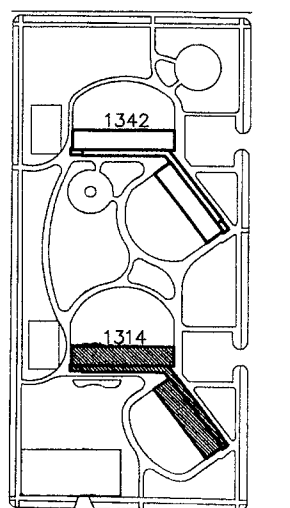
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General Notes

DEPARTMENT OF CITY ENGINEERS
SEAL: [Signature]
DATE: SEP 16 2005
RAFAEL HERNANDEZ
City Engineer

Key Plan



NO.	DATE	DESCRIPTION	BY
4	09.07.04	ISSUED FOR 100% CD'S	
	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	

REVISIONS

CHICAGO HOUSING AUTHORITY
CAPITAL CONSTRUCTION DIVISION
ARCHITECTURAL/ENGINEERING SERVICES
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CHICAGO, IL 60604

(312) 742-5500 FAX (312) 655-1105

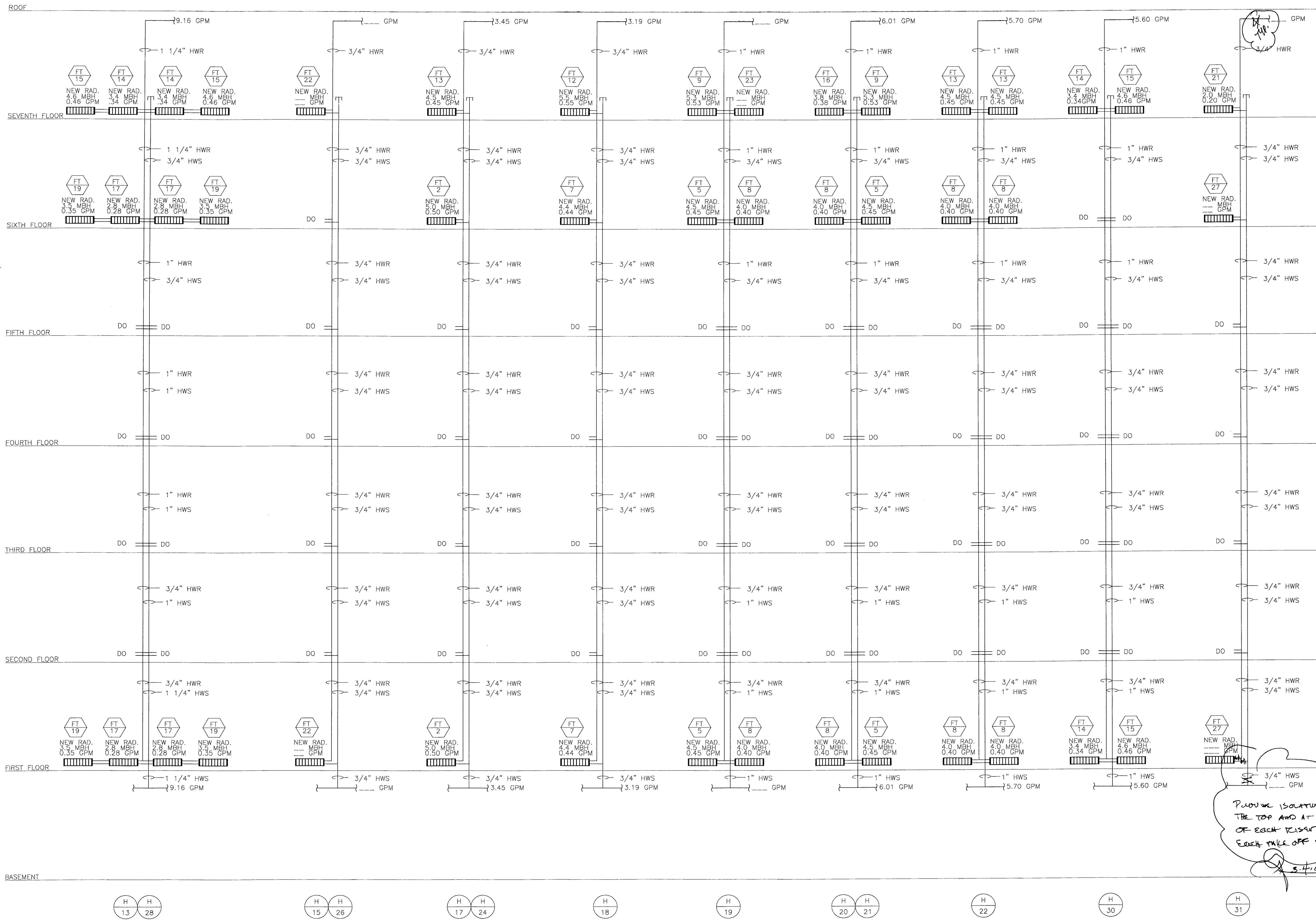
BLDG. 1314 DOMESTIC WATER
RISER DIAGRAMS PART 1

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

HUD NUMBER
RH-7

DATE	SCALE	JOB NO.	SHEET NUMBER
12.09.2003	AS SHOWN	2003005.03	M-201B
DRAWN	CHECKED	APPROVED	SHT. X OF X SHTS.
CMH	DAS	PAH	





NEW CONSTRUCTION HOT WATER HEATING RISER DIAGRAM PART 2
SCALE: NONE



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600 West Jackson
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Architecture 224 South Michigan Avenue
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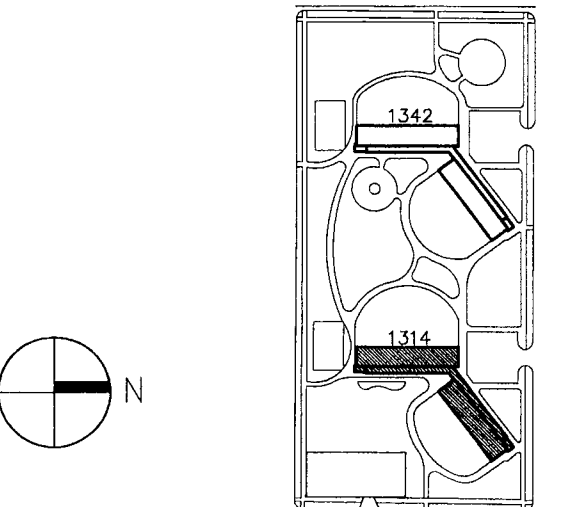
Bid Documents

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General Notes

DEPARTMENT OF CITY ENGINEERS
SEAL
Rafael Hernandez
BY: *[Signature]*
SEP 16 2005

Key Plan



4	09.07.04	ISSUED FOR 100% CD'S	
3	08.10.04	ISSUED FOR 50% CD'S	
2	03.29.04	ISSUE FOR PRE-PROPOSAL REVIEW	
1	12.12.03	ISSUED FOR HUD PREAPPLICATION	
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REVISIONS

CHICAGO HOUSING AUTHORITY
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(312) 742 5500 FAX (312) 655-1105

BLDG. 1314 DOMESTIC WATER
RISER DIAGRAMS PART 2

1314 WEST 15TH STREET
FAMILY DEVELOPMENT

DATE 12.09.2003	SCALE AS SHOWN	JOB NO. 2003005.03	SHEET NUMBER M-202B
DRAWN CMH	CHECKED DAS	APPROVED PAH	SHT. X OF X SHTS.

