

Exhibit 10T.

Phase 1 -- Illustrative Roosevelt Courtyard
Building Elevations -- 14A.

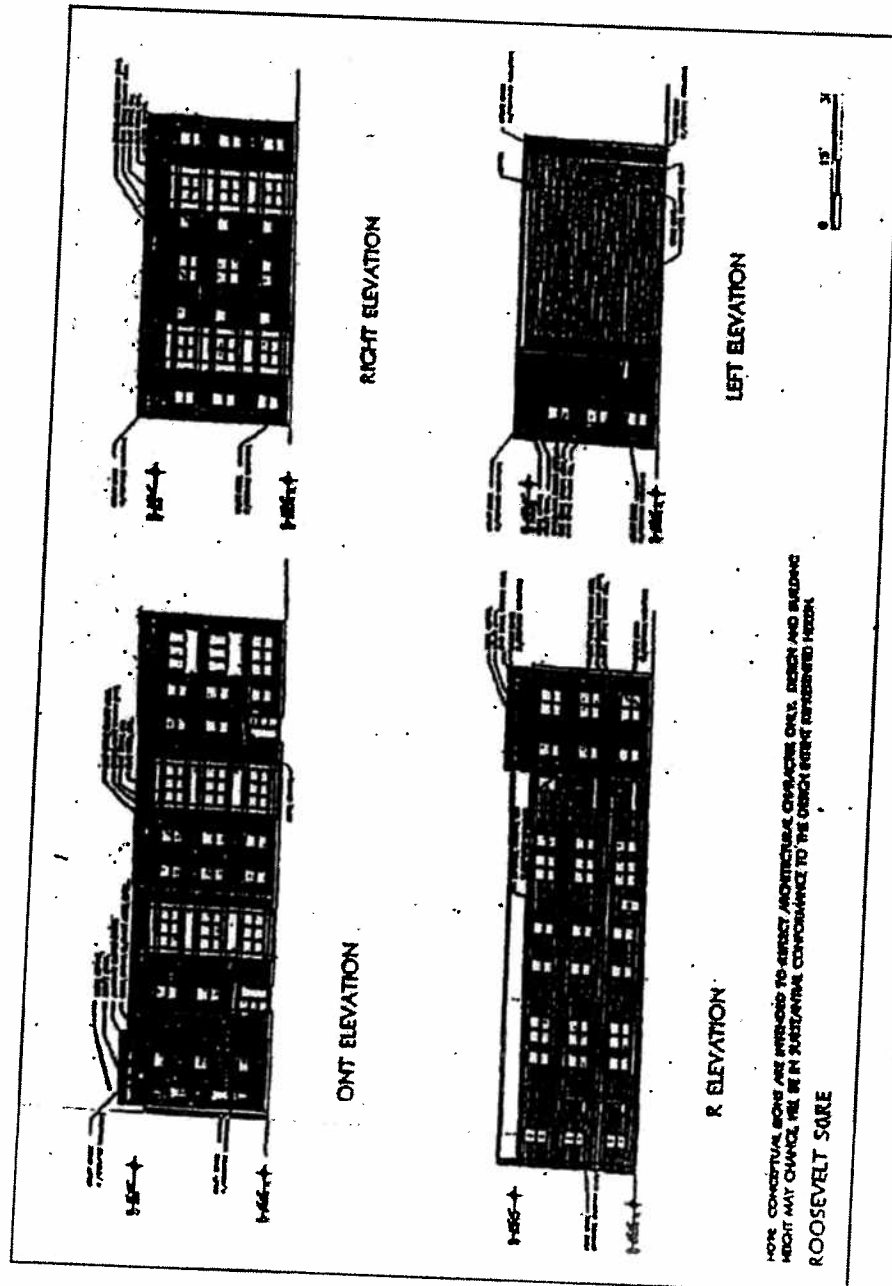


Exhibit 10U.

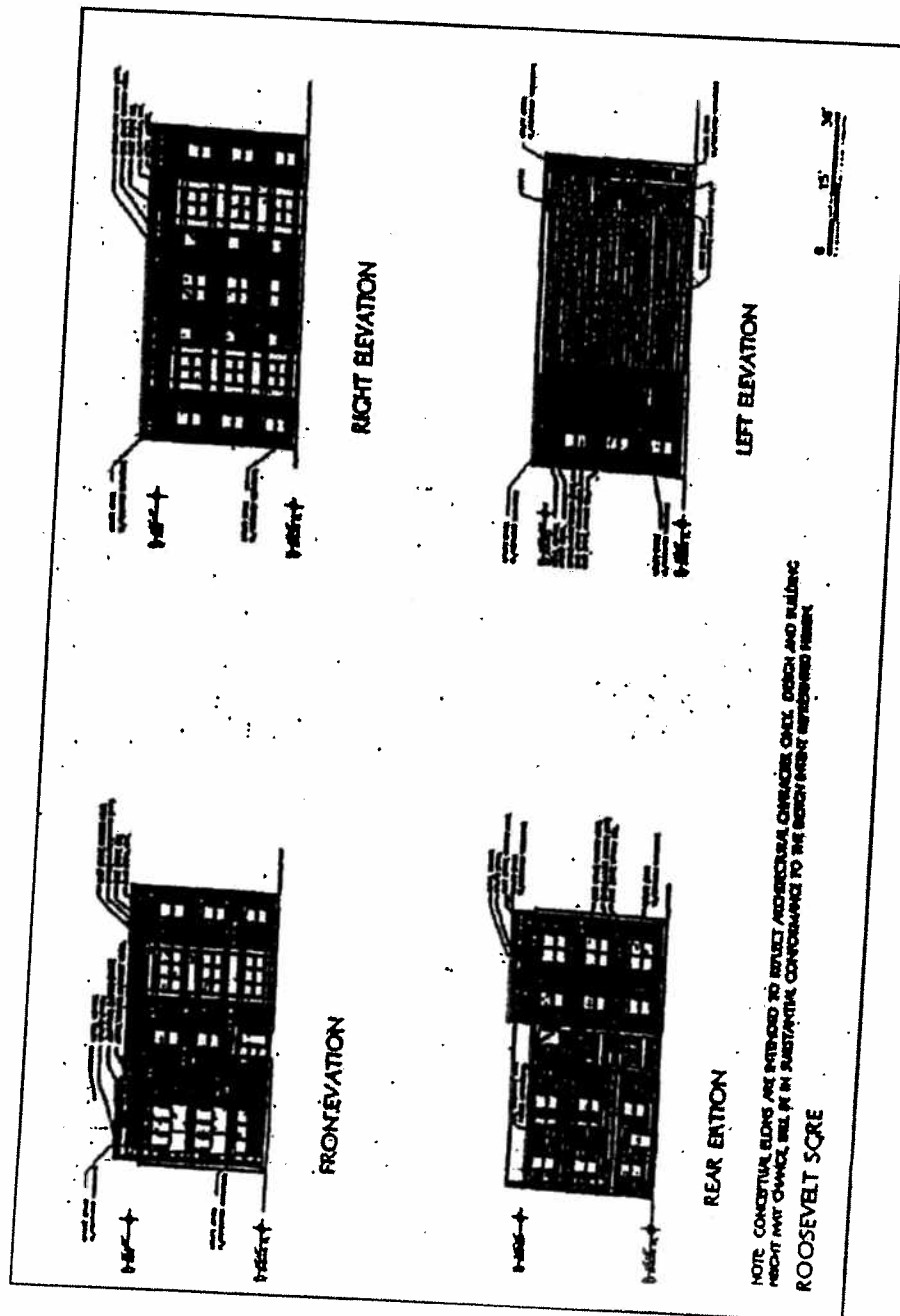
Phase 1 -- Illustrative Roosevelt Courtyard
Building Elevations -- 14B.

Exhibit 10V.

Phase 1 -- Illustrative Three Flat Elevations -- 15.

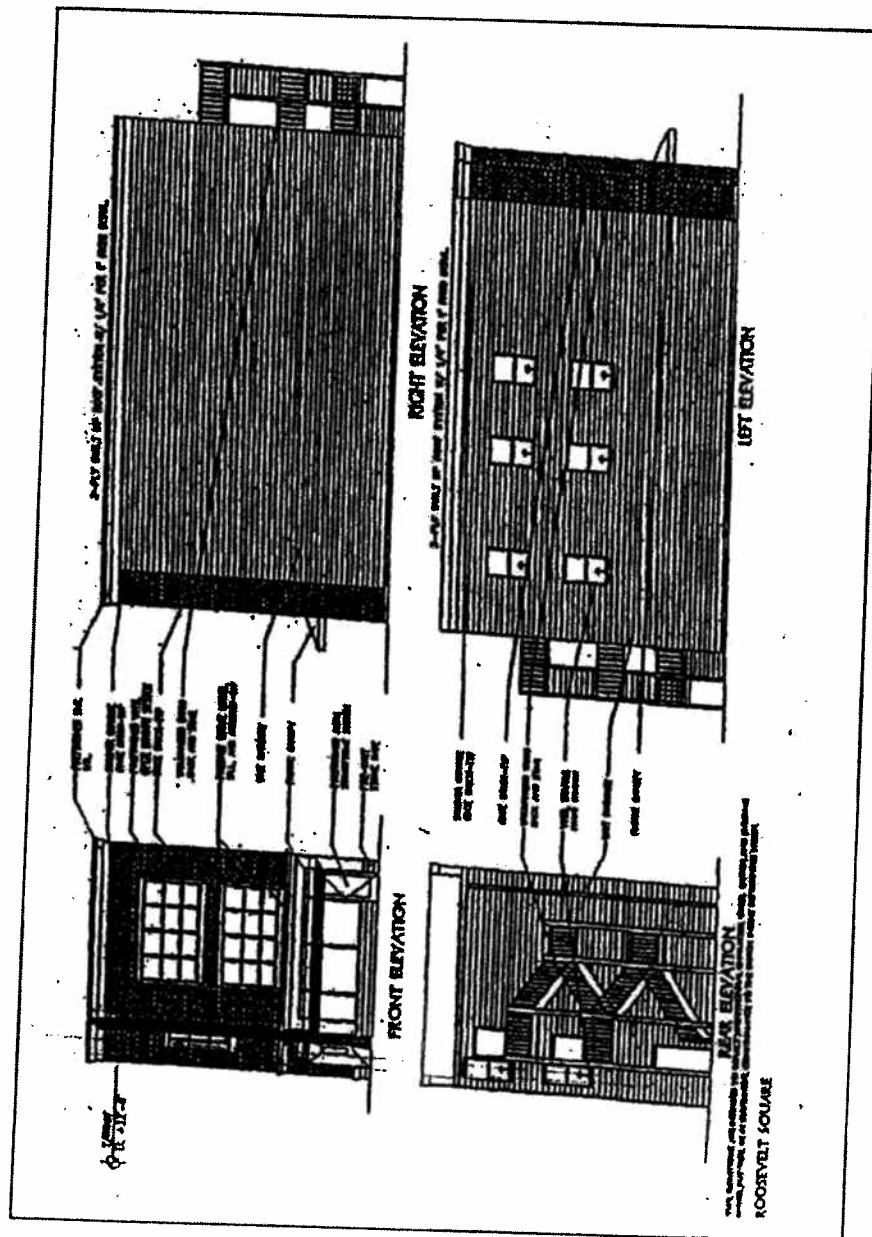


Exhibit 10W.

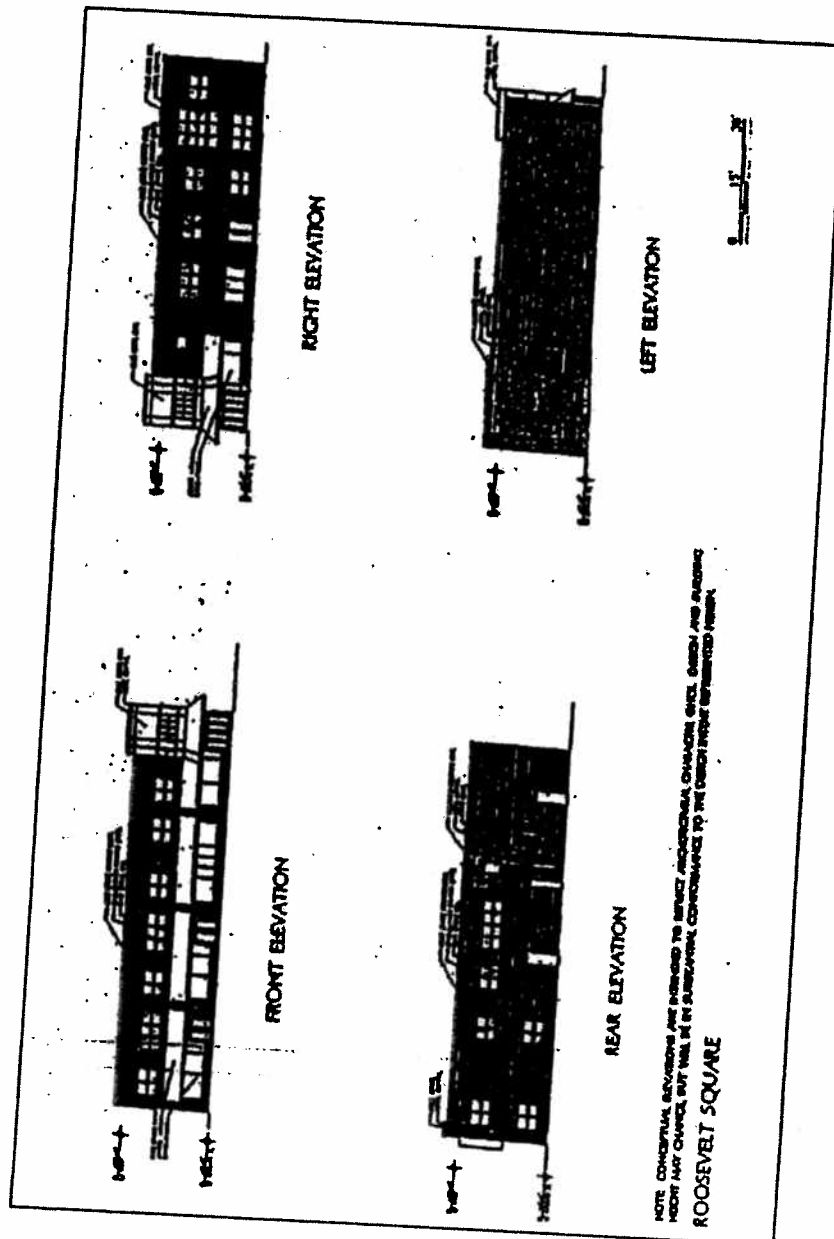
Phase 1 -- Illustrative Taylor Mixed-Use
Building Elevations -- 16.

Exhibit 11A.

Street Character Diagram -- Subarea A.

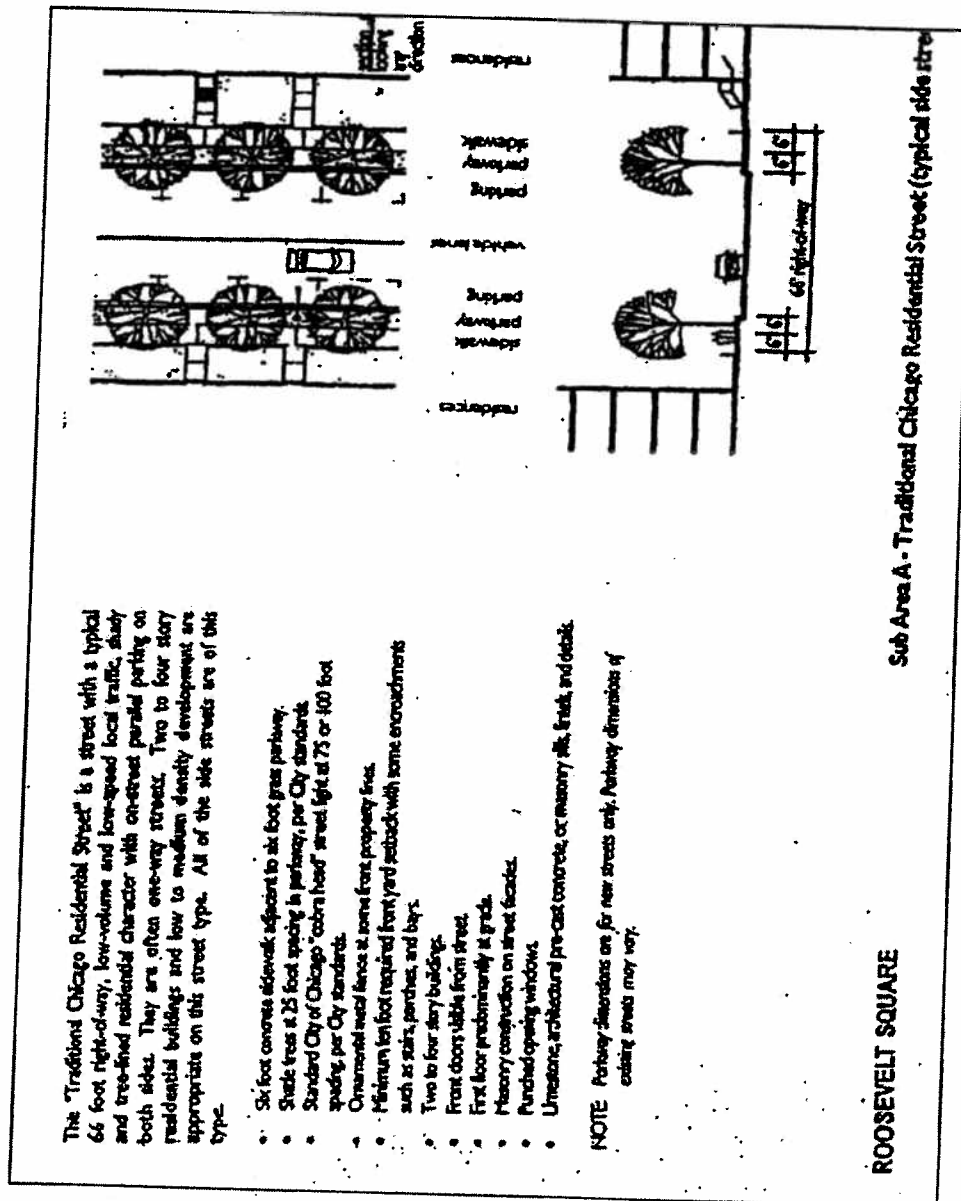


Exhibit 11B.

Street Character Diagram. -- Subarea B.

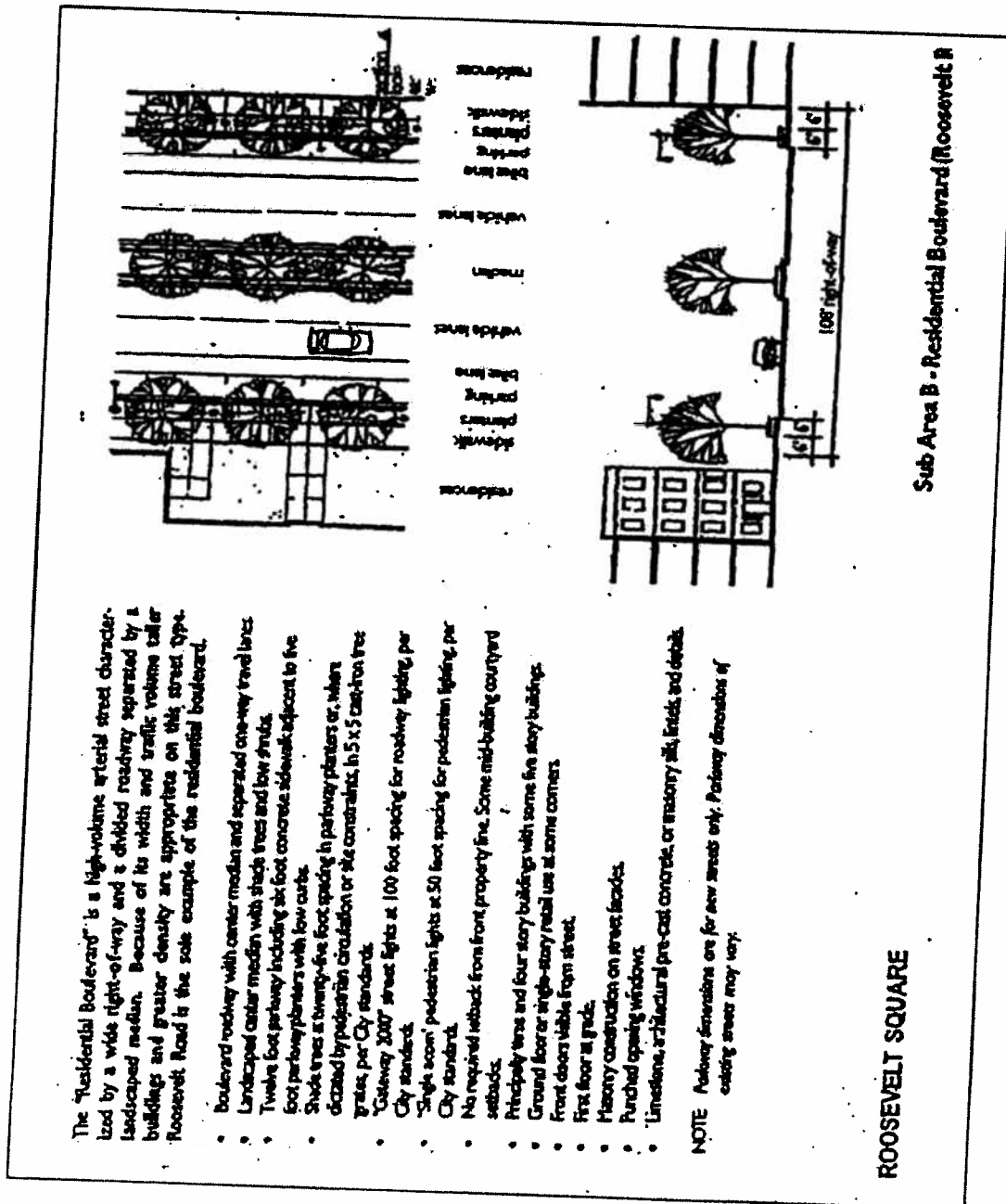


Exhibit 11C.

Street Character Diagram -- Subarea C.

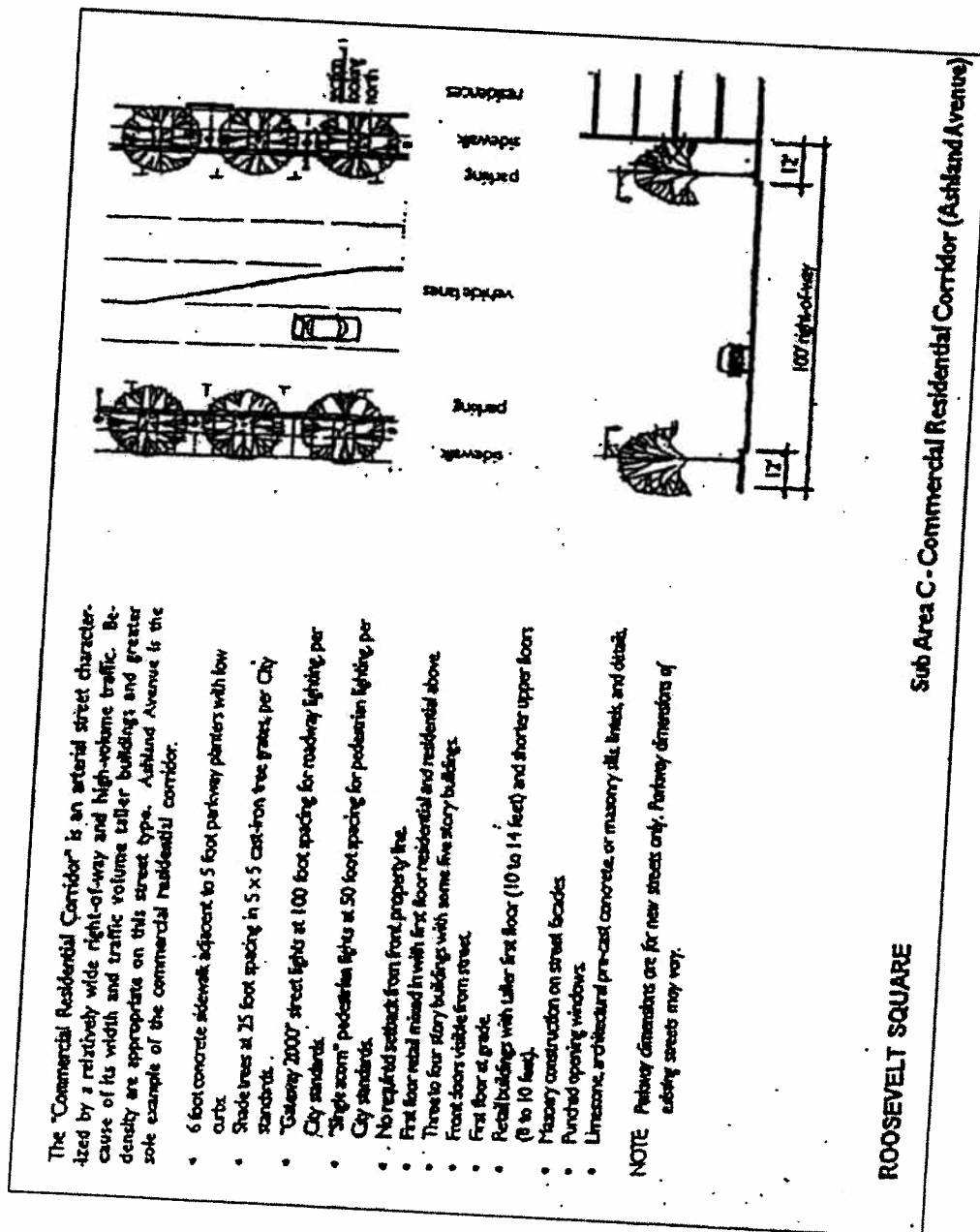


Exhibit 11D.

Street Character Diagram -- Subarea D.

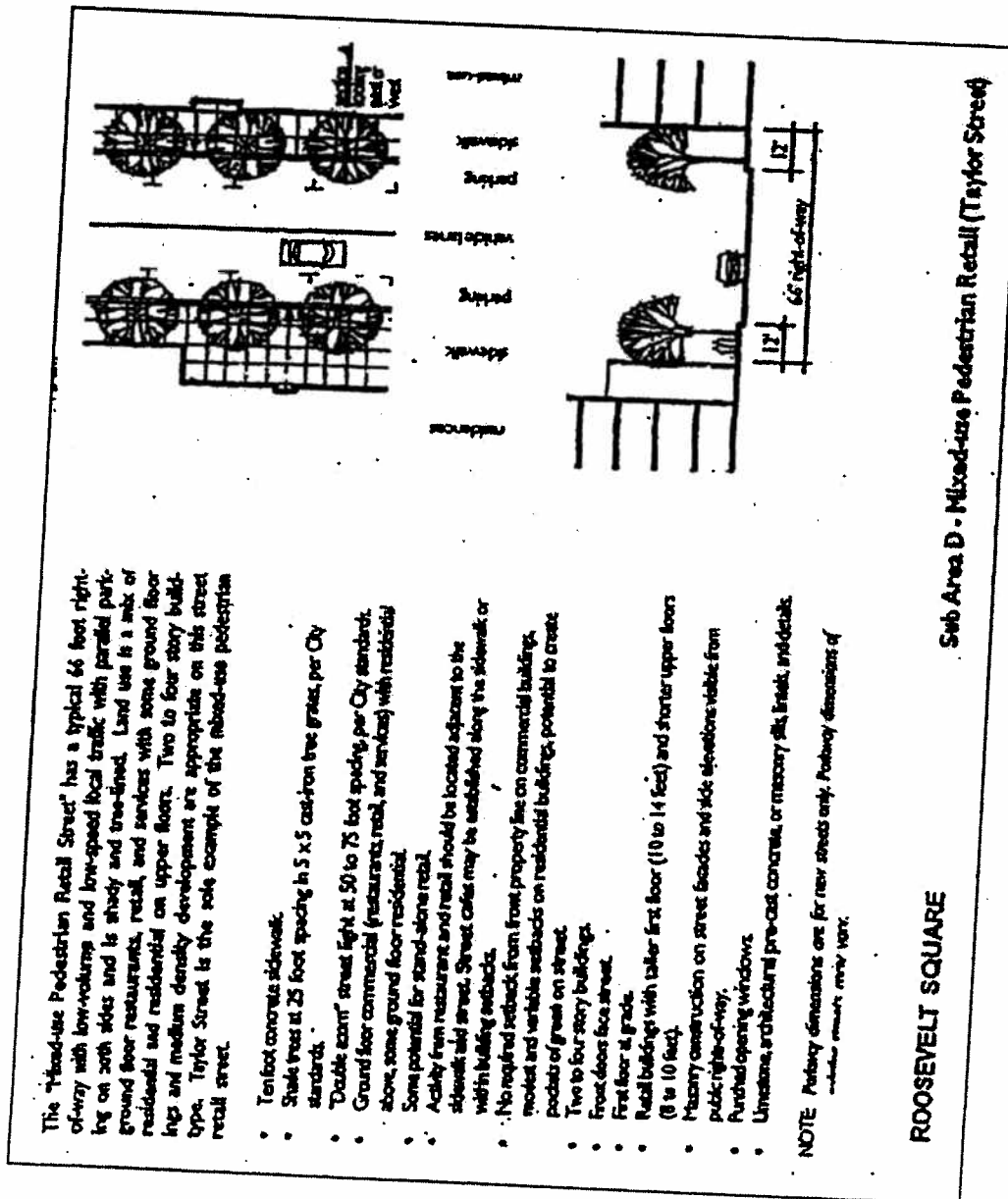
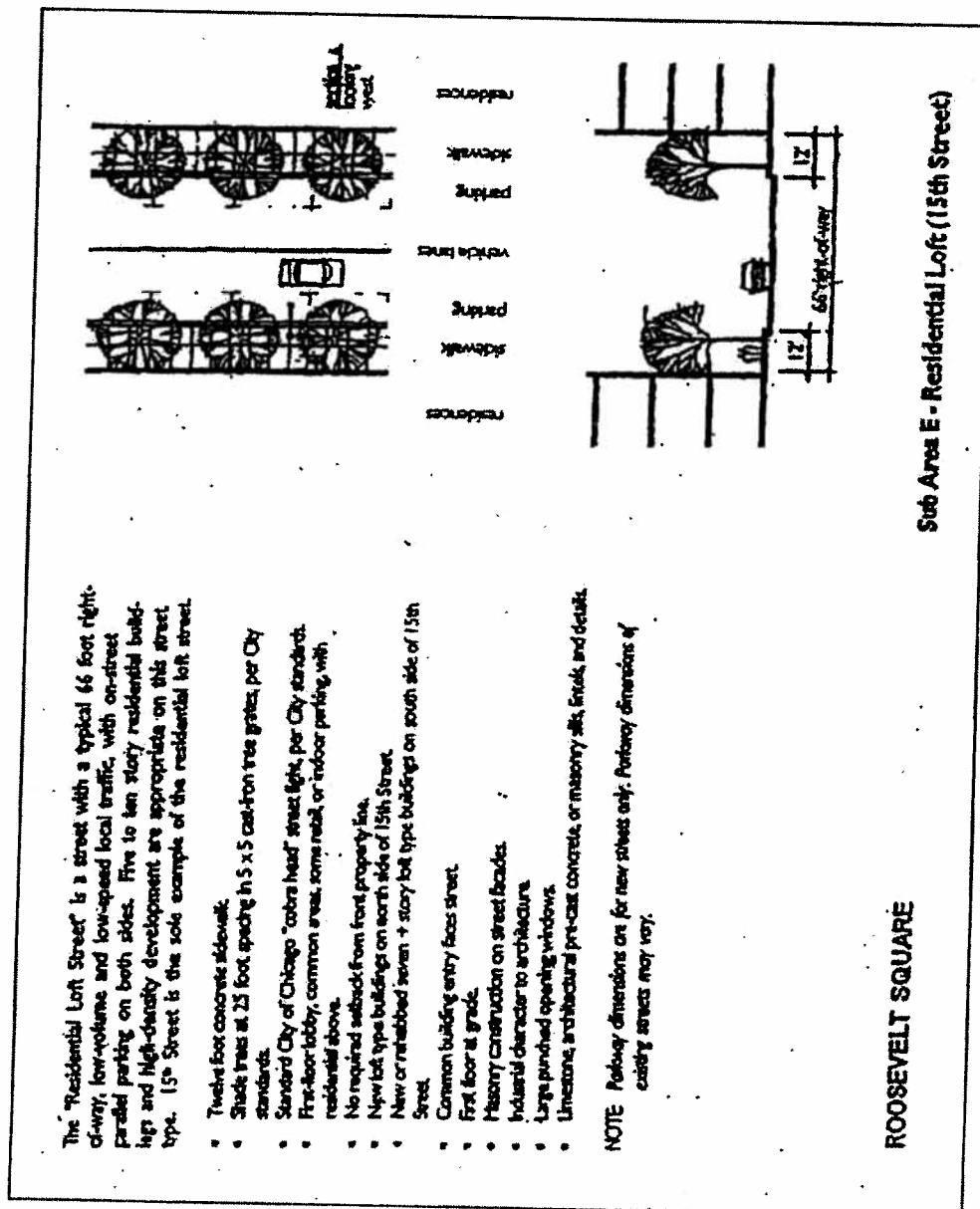


Exhibit 11E.

Street Character Diagram -- Subarea E.





City of Chicago
Richard M. Daley, Mayor

Department of Zoning

Patricia A. Scudiero
Zoning Administrator

City Hall, Room 905
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-5777 (Voice)
(312) 744-6552 (FAX)
(312) 744-2950 (TTY)

<http://www.cityofchicago.org>

February 10, 2009

Mr. Lee Winter
Gershman Brown Crowley Inc.
1200 Shermer Road
Suite 202
Northbrook, IL 60062

Re: Administrative Relief request for Residential Business Planned Development No. 896, Roosevelt Square, Sub Area B, Proposed CVS at the Southwest corner of Roosevelt Road and Racine Avenue

Dear Mr. Winter:

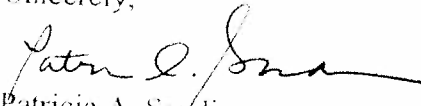
Please be advised that your request for a minor change to Residential Business Planned Development No. 896 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

You are requesting to construct a 14,020 square foot CVS Pharmacy store in lieu of the 13,300 square foot building that was granted a Site Plan Approval by the Department of Planning and Development on June 11, 2008. This will result in the southwest corner of the building increasing by eight lineal feet. There will be no change to the number of parking spaces or the landscaping. A revised Site Plan, prepared by V3 Companies and dated January 27, 2009, and revised Exterior Elevations, prepared by Archideas and dated January 26, 2009, shall be inserted into the main file.

With regard to your request, the Department of Zoning and Land Use Planning has determined that allowing a slight square footage increase for a previously approved CVS Pharmacy will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

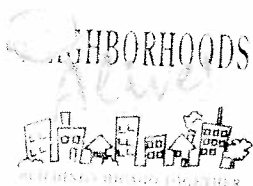
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 896, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Commissioner

PAS:HG:tm

c: Mike Marmo, Pat Haynes, Erik Glass, Benet Haller, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)
<http://www.cityofchicago.org>

June 11, 2008

Mr. Lee Winter
Gershman Brown Crowley, Inc
1200 Shermer Road Suite #202
Northbrook, IL 69962

Re: **Site Plan Approval for Residential-Business Planned
Development 896 - portion of Subarea B - parcel at
Southwest corner of Roosevelt and Racine**

Proposal: The construction of a 13,300 square foot CVS
pharmacy with 46 on site parking spaces (2 ADA)
within Sub Area B of PD 896

Location: Southwest corner of Racine Avenue and Roosevelt
Road

Dear Mr. Winter:

We have reviewed the Site Plan (prepared by Stewart-Nosky
Architects and dated 3/18/08), Landscape Plans (prepared by Daniel
Weinbach and Partners and dated 7/13/07), and Building Elevations
(prepared by Archideas and dated 6/4/2008) submitted by you for the
construction of a 13,300 sq. ft. CVS pharmacy building with 46 on-site
parking spaces (2 of which are ADA) with a two lane drive thru on the
south side of the building. These plans are submitted in accordance
with Statement No. 12 of Residential-Business Planned Development
No. 896, as amended.

Upon review of the material submitted, the Department of Planning
and Development has determined that these plans are consistent with
and satisfy the requirements of the Plan of Development.

Accordingly, this Site Plan submittal for Residential-Business Planned
Development 896 Sub Area B is hereby approved as conforming to
the Plan of Development as amended and passed by the Chicago
City Council on September 5th, 2007. This approval concerns the
1.05 acre parcel at the southwest corner of Racine and Roosevelt and
no other parcels within Sub Area B of Planned Development #896, as
amended.

Sincerely,

Arnold L. Randall,
Commissioner

Originated by: Benet Haller
cc: Mary Bonome, Mike Marmo





City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602

312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)

<http://www.cityofchicago.org>

November 7, 2007

Mr. Kevin Farrell
LR ABLA LLC
350 West Hubbard Street
Suite 301
Chicago, Illinois 60610

**Re: Administrative Relief request for Residential Business Planned
Development No. 896, Roosevelt Square, Sub-areas A2, A5 and B,
Phase Two, Front Yard Setbacks**

Dear Mr. Farrell:

Please be advised that your request for a minor change to Residential Business Planned Development No. 896 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

You are requesting to reduce the front yard setbacks on several rental buildings due to a surveyor error. After the foundations were poured, it was determined that several buildings are located slightly within the required front yard setbacks. Specifically, you are requesting the following reductions:

- In Sub-area A2, 1256 W. Grenshaw St. will have a front yard setback of 9.3 feet, rather than 10 feet.
- In Sub-area A5, 1306, 1314, 1332, 1342, and 1354 W. Washburne Ave. will have front yard setbacks of 8.6 feet, rather than 10 feet.
- In Sub-area B, 1236, 1302, and 1344 W. Roosevelt Road will have front yard setbacks of 0.7 feet, rather than 2 feet.

The proposed reductions are shown on revised Site Plans labeled Sub Area A2, Sheets 1 and 2, Sub Area A5, and Sub Area B, Sheets 1 and 2, prepared by ARC Design Resources Inc.

With regard to your request, the Department of Planning and Development has determined that these front yard reductions do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 896, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Arnold L. Randall
Commissioner

ALR:MRD:tm

cc: Kathleen Nelson, Mary Bonome, Mike Marmo, Pat Haynes, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190

(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

May 17, 2007

Mr. James Gallagher
Public Building Commission
Richard J. Daley Center
50 West Washington Street
Room 200
Chicago, Illinois 60602

**Re: Site Plan Approval for Residential Business Planned Development
No. 896, Roosevelt Square, Sub-area A3**

Proposal: The construction of a new Engine Company 18 fire station.
Location: 1360 S. Blue Island

Dear Mr. Gallagher:

We have reviewed the plans and elevations for the construction of a new fire station for Engine Company 18. These drawings are submitted in accordance with Statement No. 12 of Residential Business Planned Development No. 896.

The following drawings, prepared by Guajardo Rec Architects, and dated January 29, 2007, were reviewed and will be added to the main file within The Department of Planning and Development in anticipation of Part II:

- A-010 Site Plan
- A-200 Floor Plans
- A-101 Roof Plan
- A-200 Building Elevations
- L-101 Landscape Plan (March 22, 2007)
- L-102 Landscape Plan (March 22, 2007)

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Any minor change to the above-mentioned plans must be submitted for approval by the Commissioner of the Department of Planning and Development. Accordingly, this Site Plan submittal for Residential Business Planned Development No. 896 is hereby approved as conforming to the Plan of Development as amended and passed by the Chicago City Council on January 14, 2004.

Sincerely,

Kathleen Nelson
1st Deputy Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Mary Bonome, Mike Marmo, Pat Haynes, DPD Files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

March 1, 2007

Mr. Kevin Farrell
LR ABLA LLC
350 West Hubbard Street
Suite 301
Chicago, Illinois 60610

Re: Administrative Relief request for Residential Business Planned Development No. 896, Roosevelt Square, Sub-areas A2 and D, Phase Two

Dear Mr. Farrell:

Please be advised that your request for a minor change to Residential Business Planned Development No. 896 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

Specifically, you are requesting a boundary relocation between Sub-areas A2 and D within Phase Two of Roosevelt Square. The original PD document located the sub-area boundary along an existing alley adjacent to Riis School. On the proposed site plan, this line bisects a proposed townhouse building that faces south on the park. Since Sub-area D is defined as the "Pedestrian Retail" street character, you are proposing to relocate the boundary approximately 42 feet to the north in order for the townhouses to be located entirely within Sub-area A2.

The proposed shift of 11,178 square feet of site area from Sub-area D to Sub-area A2 is shown on the revised Bulk Regulations and Data Table dated February 22, 2007 and the revised Phase 2 Sub Area A2 Site Plan prepared by De Stefano + Partners and dated February 9, 2007.

With regard to your request, the Department of Planning and Development has determined that this boundary change does not create an adverse impact on the Planned Development or surrounding neighborhood, does not result in an increase in the bulk or density, does not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 896, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Mary Bonome, Mike Marmo, Pat Haynes, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

March 1, 2007

Mr. Kevin Farrell
LR ABLA LLC
350 West Hubbard Street
Suite 301
Chicago, Illinois 60610

**Re: Site Plan Approval for Residential Business Planned Development
No. 896, Roosevelt Square, Sub-areas A2 and D**
Proposal: The construction of 447 residential units and at least 480
parking spaces (Phase Two).
Location: West Roosevelt Road and South Throop Street

Dear Mr. Farrell:

We have reviewed the plans and elevations for the construction of Roosevelt Square's Phase Two. These drawings are submitted in accordance with Statement No. 12 of Residential Business Planned Development No. 896.

Roosevelt Square's Phase Two consists of 447 residential dwelling units. Two of the residential buildings have ground floor retail space. At least 480 parking spaces are planned for resident use which exceeds the required one space per residential unit. Ultimately, Roosevelt Square will include 2,441 residential units of market rate and affordable housing. Construction of the 417 units in Phase One is complete.

As in Phase One, all of the site planning strategies of Phase Two conform to the Street Character Guidelines. Building sizes and uses identified in each Sub-area are consistent with the PD documents. In addition, these plans have been reviewed by the Chicago Park District since a proposed public park (located on the Riis School parcel between Lytle and Throop Streets) will be owned and maintained by the Park District upon completion.

The following drawings, prepared by De Stefano + Partners, and dated February 9, 2007, were reviewed and will be added to the main file within The Department of Planning and Development in anticipation of Part II:

- DPD-A0 Phase 2 Master Site Plan
- L101-A2 Sub Area A2 Landscape Plan
- L102 Sub Area A2 Plant List and Details
- 2A-L1.1 Landscape and Site Plan
- 3A-L1 Landscape and Site Plan
- 3D-L1 Landscape and Site Plan
- 3E-L1.2 Landscape and Site Plan
- 3E-L1.1 Landscape and Site Plan
- 3F-L1 Landscape and Site Plan

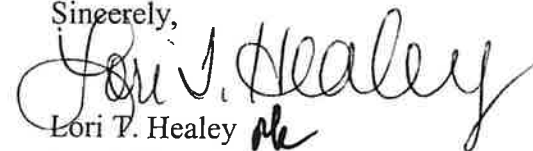


- 12A-L1.1 Landscape and Site Plan
- 12A-L1.2 Landscape and Site Plan
- 12D-L1.1 Landscape and Site Plan
- 12D-L1.2 Landscape and Site Plan
- 13E-L1 Landscape and Site Plan
- 13F-L1 Landscape and Site Plan
- 13H-L1 Landscape and Site Plan
- 13J-L1 Landscape and Site Plan
- PD11-A3 Phase 2 Sub Area A3 Site Plan
- PD11-A3 Phase 2 Sub Area A3 Site Plan
- 2A-L1.1 Landscape and Site Plan
- 2A-L1.2 Landscape and Site Plan
- PDII-A5 Phase 2 Sub Area A5 Site Plan
- L101-A5 Sub Area A5 Landscape Plan
- 2A-L1 Landscape and Site Plan
- 3A-L1 Landscape and Site Plan
- 2A-L1.1 Landscape and Site Plan
- 12A-L1.1 Landscape and Site Plan
- 12A-L1.2 Landscape and Site Plan
- 12A-L1.3 Landscape and Site Plan
- 12D-L1.1 Landscape and Site Plan
- 12D-L1.2 Landscape and Site Plan
- 12D-L1.3 Landscape and Site Plan
- 13G-L1 Landscape and Site Plan
- PDII-B.1 Phase 2 Sub Area B Site Plan
- PDII-B.2 Phase 2 Sub Area B Site Plan
- L101-B Sub Area B Landscape Plan
- 2A-L1 Landscape and Site Plan
- 4-L1.1 Landscape and Site Plan
- 4-L1.2 Landscape and Site Plan
- 4-L1.3 Landscape and Site Plan
- 4-L1.4 Landscape and Site Plan
- 5A-L1.1 Landscape and Site Plan
- 5A-L1.2 Landscape and Site Plan
- 12A-L1 Landscape and Site Plan
- 12E-L1 Landscape and Site Plan
- 14C-L1.1 Landscape and Site Plan
- 14C-L1.2 Landscape and Site Plan
- 14C-L1.3 Landscape and Site Plan
- 14C-L1.4 Landscape and Site Plan
- 14C-L1.5 Landscape and Site Plan
- PDII-D Phase 2 Sub Area D Site Plan
- L101-D Sub Area D Landscape Plan
- 16B-L1 Landscape and Site Plan
- 2A-A300 Building Elevations
- 2B-A300 Building Elevations
- 3A-A301 Elevations

- 3A-A302 Elevations
- 3D-A301 Elevations
- 3D-A302 Elevations
- 3E-A301 Elevations
- 3E-A302 Elevations
- 3F-A301 Elevations
- 3F-A302 Elevations
- 3F-A303 Elevations
- 4-A3001 Elevations
- 4-A3002 Elevations
- 5A-A301 Building Elevations
- 5A-A302 Building Elevations
- 8A-A301 Exterior Elevations
- 12A-A301 Building Elevations
- 12D-A301 Building Elevations
- 12E-A301 Building Elevations
- 13E-A301 Elevations
- 13E-A302 Elevations
- 13F-A301 Elevations
- 13F-A302 Elevations
- 13G-A301 Elevations
- 13G-A302 Elevations
- 13H-A301 Elevations
- 13H-A301 Elevations
- 13J-A301 Elevations
- 14C-A301 Building Elevations
- 14C-A302 Building Elevations
- 16B-A301 Building Elevations
- 16B-A302 Building Elevations

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Any minor change to the above-mentioned plans must be submitted for approval by the Commissioner of the Department of Planning and Development. Accordingly, this Site Plan submittal for Residential Business Planned Development No. 896 is hereby approved as conforming to the Plan of Development as amended and passed by the Chicago City Council on January 14, 2004.

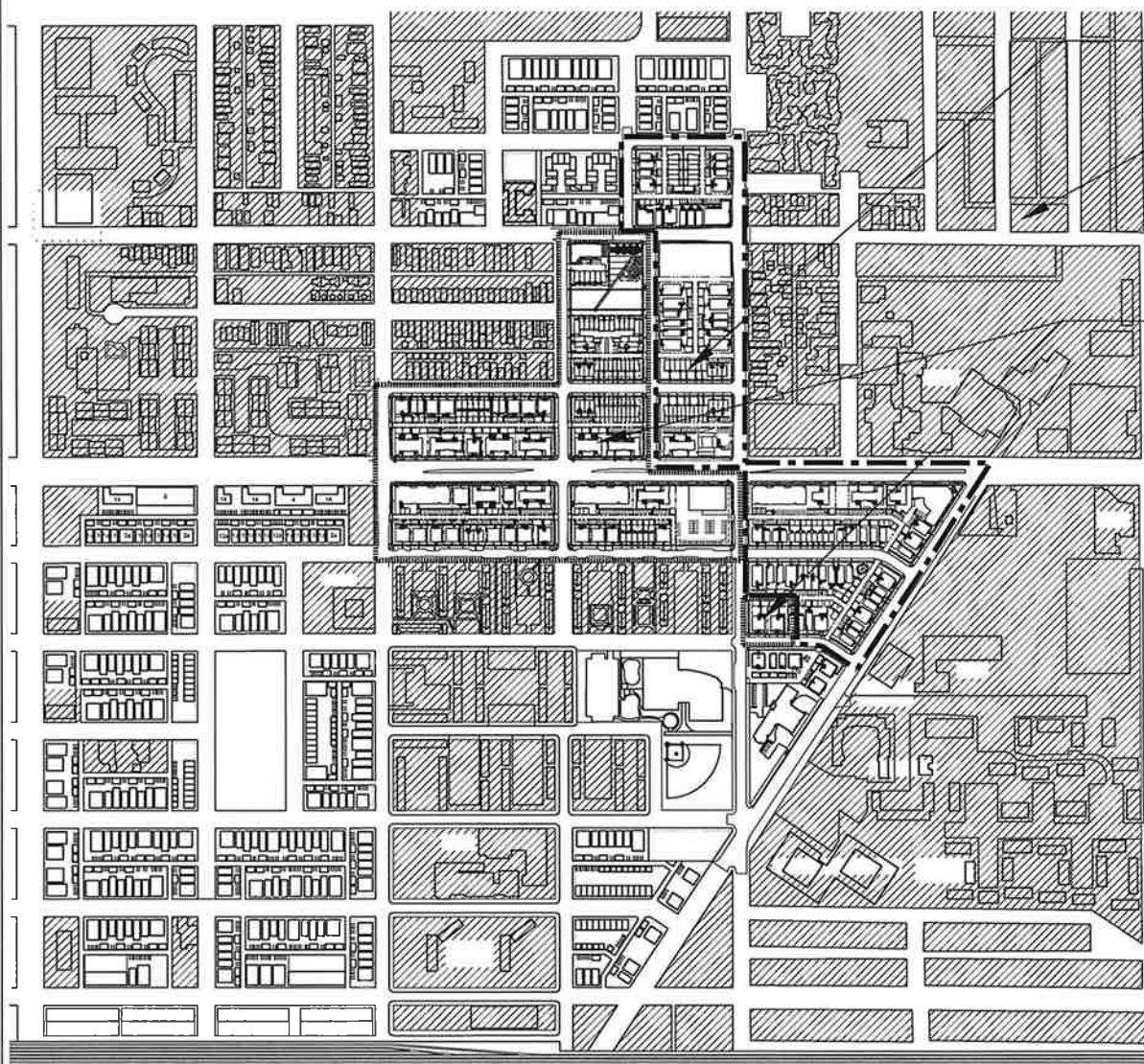
Sincerely,


Lori T. Healey
Commissioner

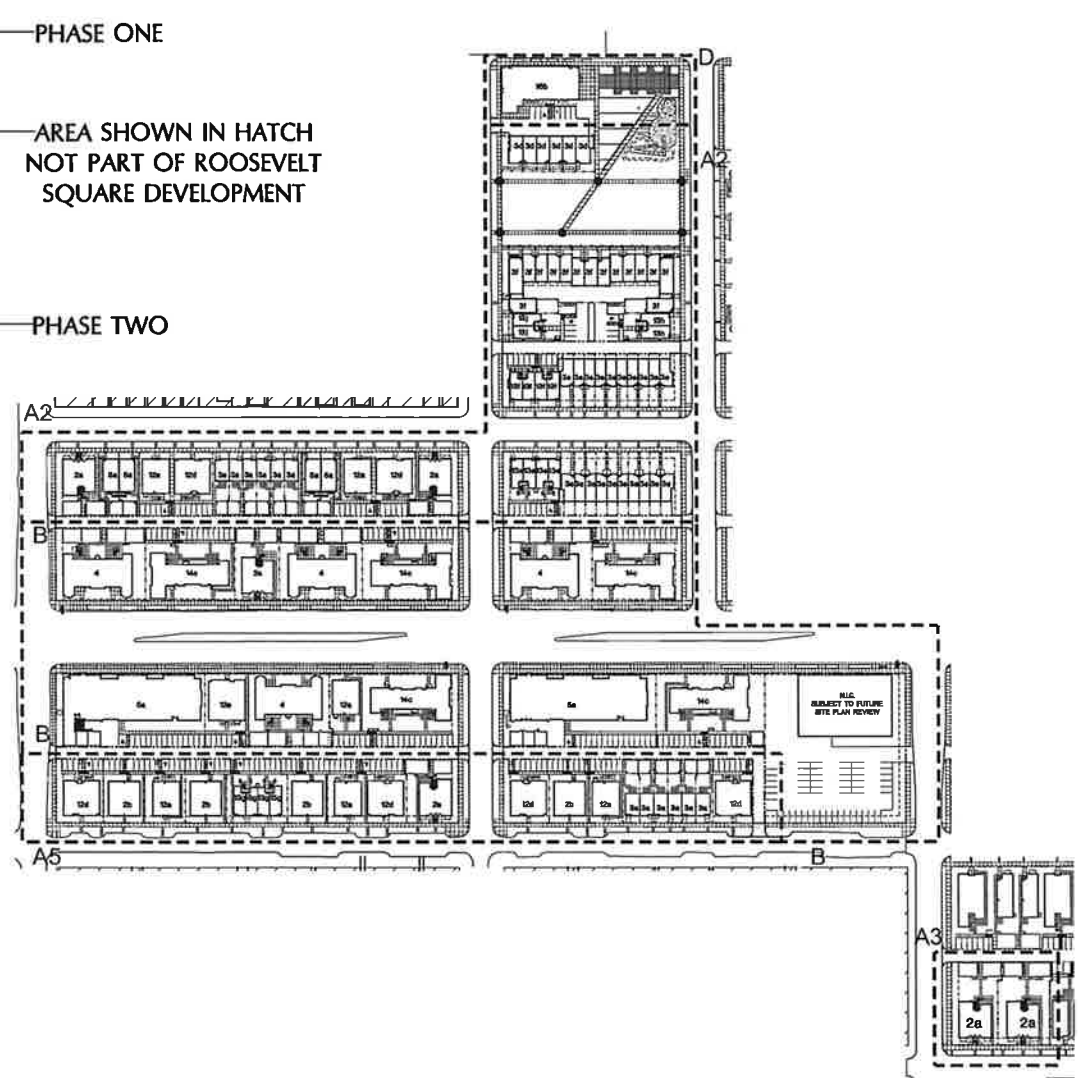
LTH:MRD:tm

cc: Kathleen Nelson, Mary Bonome, Mike Marmo, Pat Haynes, DPD Files

MAIN
FILE



MASTER SITE PLAN - PHASE ONE AND PHASE TWO



SITE PLAN - PHASE TWO

8	ISSUED FOR SITE PLAN APPROVAL	02-09-07
7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2 REVIEW	04-19-06
1	ISSUED FOR DP2 - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

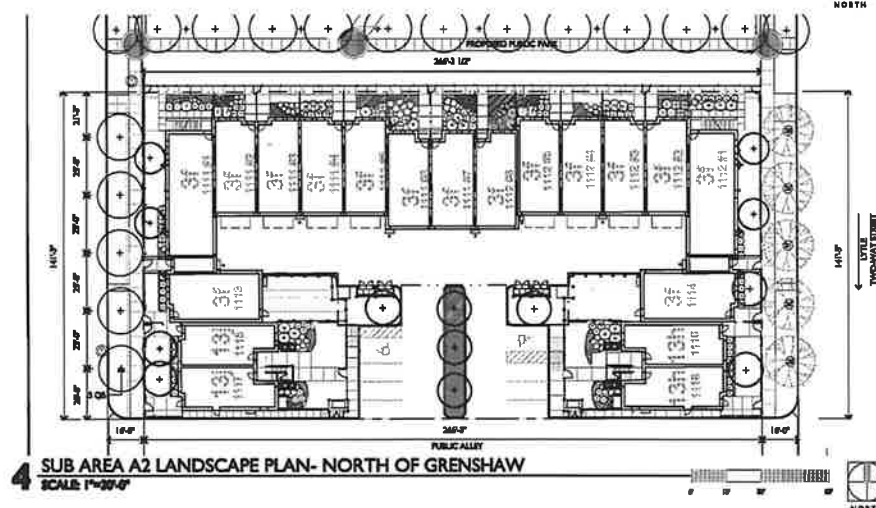
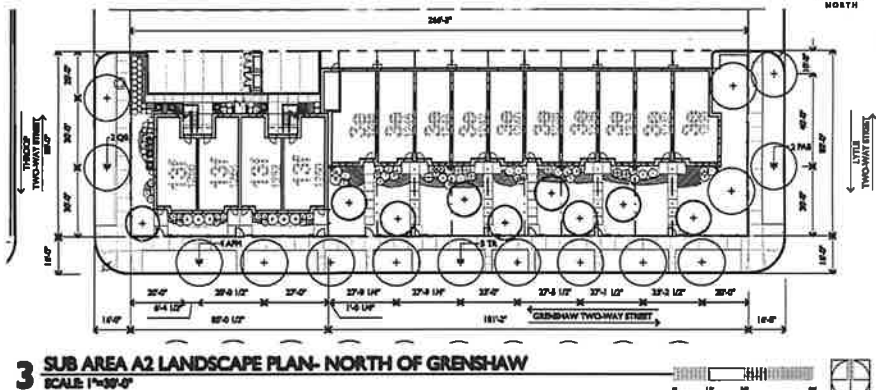
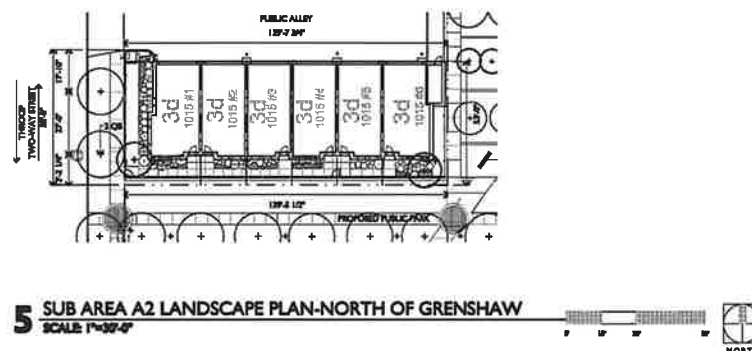
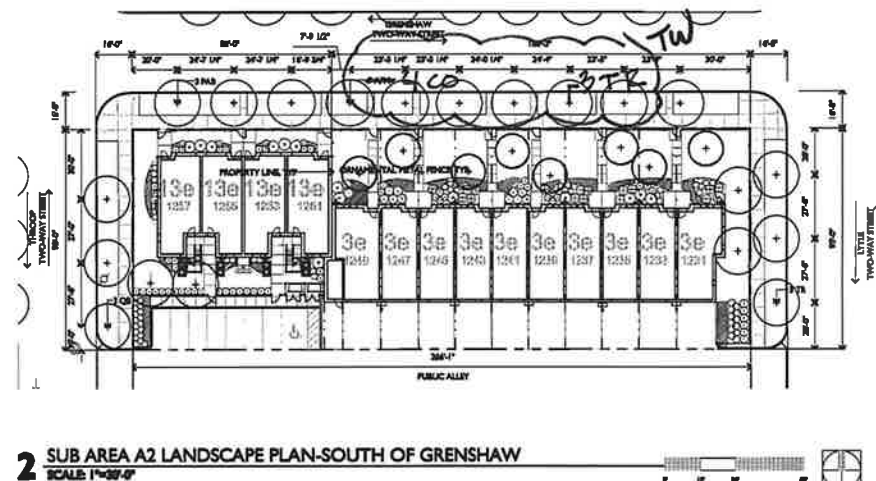
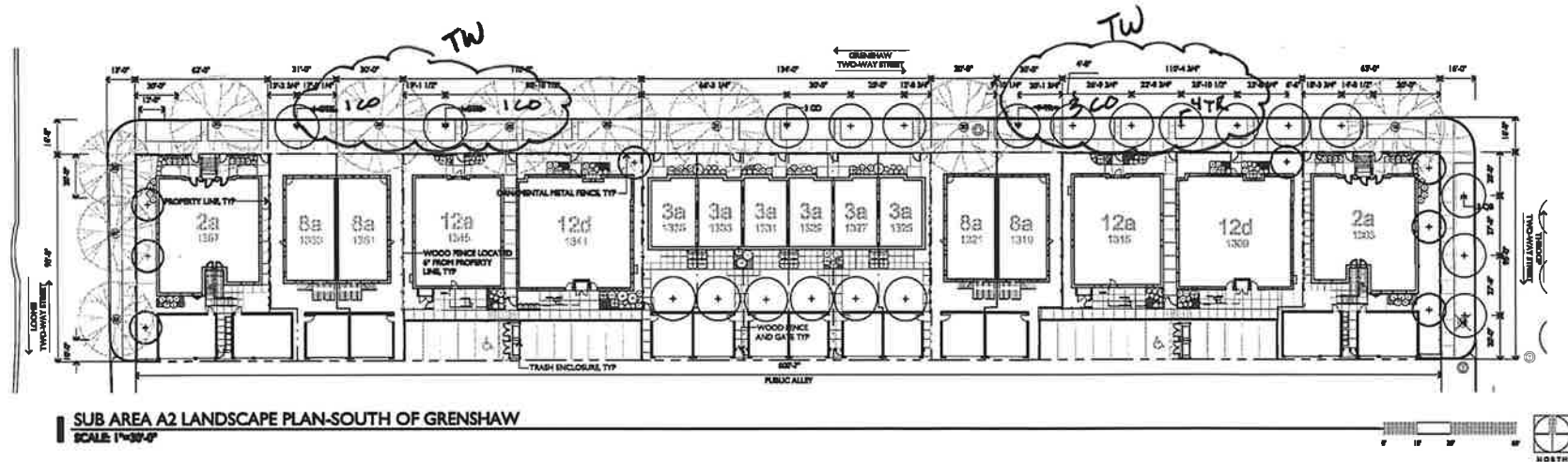
DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
445 East Wacker Street
Chicago, Illinois 60601

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MECHANICAL ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

**PHASE 2
MASTER
SITE PLAN**

DPD-A0



GENERAL NOTES

LEGEND

- RAIN GARDEN
- ORNAMENTAL PLANTING
- LAWN
- PROPOSED TREE
- WOOD FENCE
- 4' HIGH BATH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- MAILBOX
- RECYCLING CENTER
- TRASH ENCLOSURE

FENCE TYPE AND LOCATION

- ORNAMENTAL METAL FENCE TYPE
- A. SQUARE FENCE
B. SQUARE FENCE
C. SQUARE FENCE
- WOOD FENCE
- 4' HIGH BATH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- MAILBOX
- RECYCLING CENTER
- TRASH ENCLOSURE

8		
7		
6		
5	RE-USE FOR SITE PLAN APPROVAL	02-09-07
4	ISSUE FOR SITE PLAN APPROVAL	01-30-07
3	ISSUE FOR PART 2 REVIEW	12-15-06
2	ISSUE FOR PART 2 REVIEW	06-08-06
1	ISSUE FOR REVIEW	12-03-05
	ISSUE DESCRIPTION	DATE
	LICENSURE SEAL	

**ROOSEVELT SQUARE
PHASE TWO**

**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**

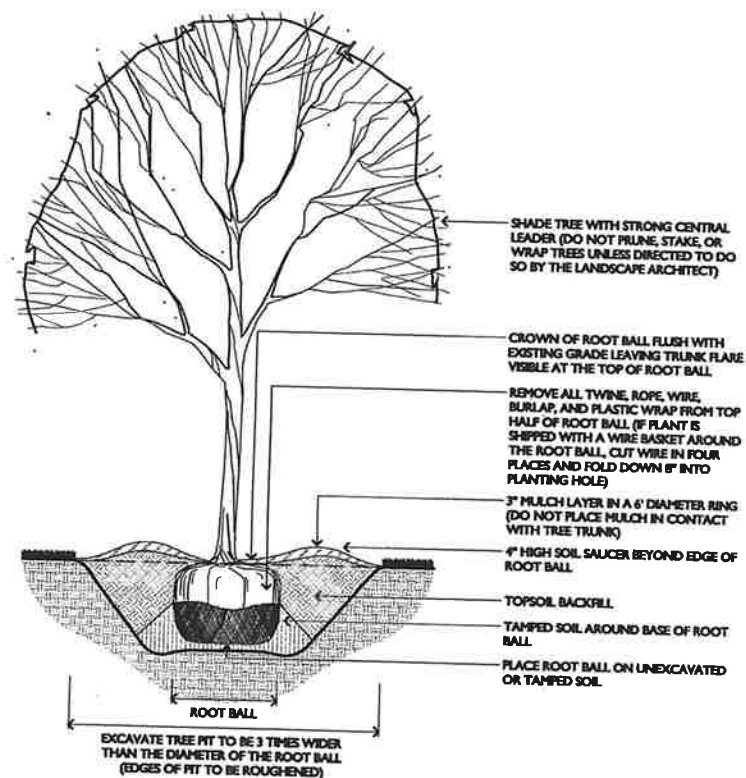
DRAWN BY:	IN
REVIEWED BY:	TW
DATE:	06-08-06
SCALE:	AS NOTED
PROJECT NUMBER:	05063

**SUB AREA A2
LANDSCAPE PLAN**

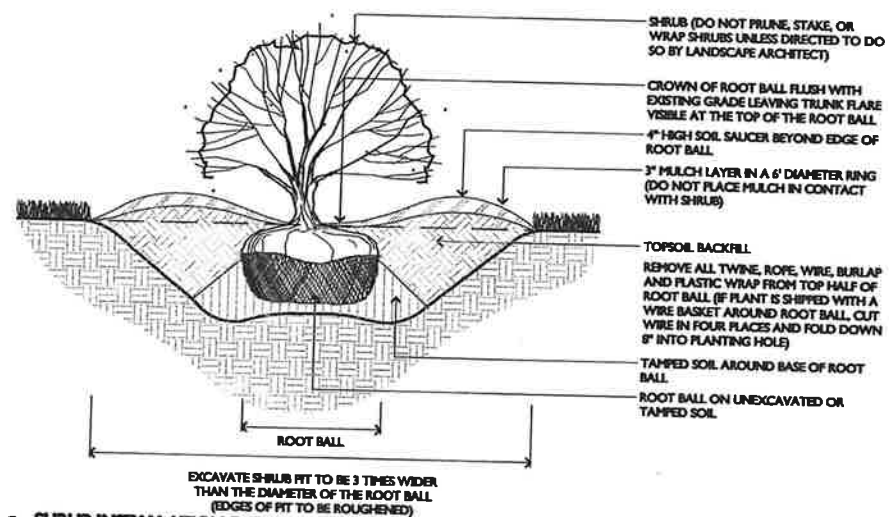
L101-A2

GENERAL NOTES

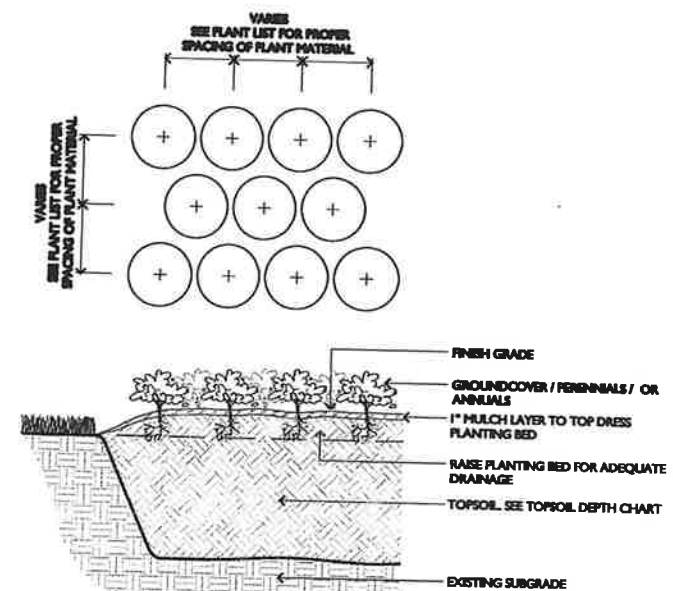
LEGEND



1 DECIDUOUS TREE INSTALLATION DETAIL
SCALE 1/8"=1'-0"



2 SHRUB INSTALLATION DETAIL
SCALE 1/8"=1'-0"



3 PERENNIAL, VINE AND GROUNDCOVER INSTALLATION DETAIL
SCALE 1/8"=1'-0"

PARKWAY
PLANT PALETTE

NOTE: THE PLANT LIST IS PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

CODE	BOTANICAL NAME	COMMON NAME	QUANTITY	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS
PAS	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	5	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
OS	QUERCUS BICOLOR	SWAMP WHITE OAK	15	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
CO	GYNOCALDUS DIOICUS	KENTUCKY CORNETREE	3	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
OTR	QUERUS TREMULOIDES VAR. NIGRA 'SOLINE'	SWAMP WHITE OAK	3	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
TR	TELA AMERICANA 'REDMOND'	REDMOND LINDEN	15	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
AM	ACER X FRAXINUS 'MAMMO'	MAMMO MAPLE	15	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	7	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY

TOPSOIL CHART

LANDSCAPE AREAS	DEPTH IN INCHES
LAWN AREAS (BOD)	6
LAWN AREAS (BED)	NA
PLANTING BEDS - GRASSES, PERENNIALS, AND GROUNDCOVERS	10
PLANTING BEDS - LARGE, MEDIUM, AND SMALL SHRUBS	24
RAISED PLANTERS	NA
SHADE AND ORNAMENTAL TREES	SEE TREE INSTALLATION DETAIL

SOIL DEPTH CHART

N.T.S.

ROOSEVELT SQUARE
PHASE TWO

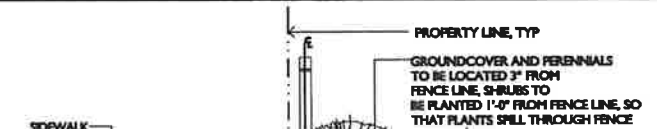
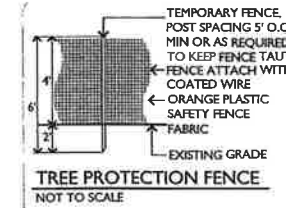
ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

DRAWN BY: JN
REVIEWED BY: TW
DATE: 06-08-05
SCALE: AS NOTED
PROJECT NUMBER: 0203

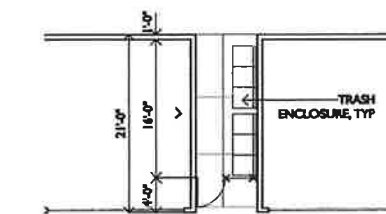
SUB AREA A2
PLANT LIST
AND DETAILS

EXISTING TREE KEY

NUMBER	SIZE	SPECIES	CONDITION	REMARKS
25	25"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
26	16"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
27	16"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
28	18"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS PARKWAY PLANTING

WEST GREENSHAW AVENUE	63'-0"
LENGTH (LINEAR FEET)	3
NUMBER OF TREES REQUIRED (1 PER 25 LF)	1
NUMBER OF EXISTING TREES TO REMAIN	0 TREES ARE PROVIDED DUE TO EXISTING TREE SPACING.
NUMBER OF ADDITIONAL TREES PROVIDED	

LOOKS STREET	95'-0"
LENGTH (LINEAR FEET)	4
NUMBER OF TREES REQUIRED (1 PER 25 LF)	3
NUMBER OF EXISTING TREES TO REMAIN	0 TREES ARE PROVIDED DUE TO EXISTING TREE SPACING.
NUMBER OF ADDITIONAL TREES PROVIDED	

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1357 WEST GREENSHAW AVENUE, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1357 WEST GREENSHAW AVENUE, CHICAGO ILLINOIS 60608 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2010.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, P.C.

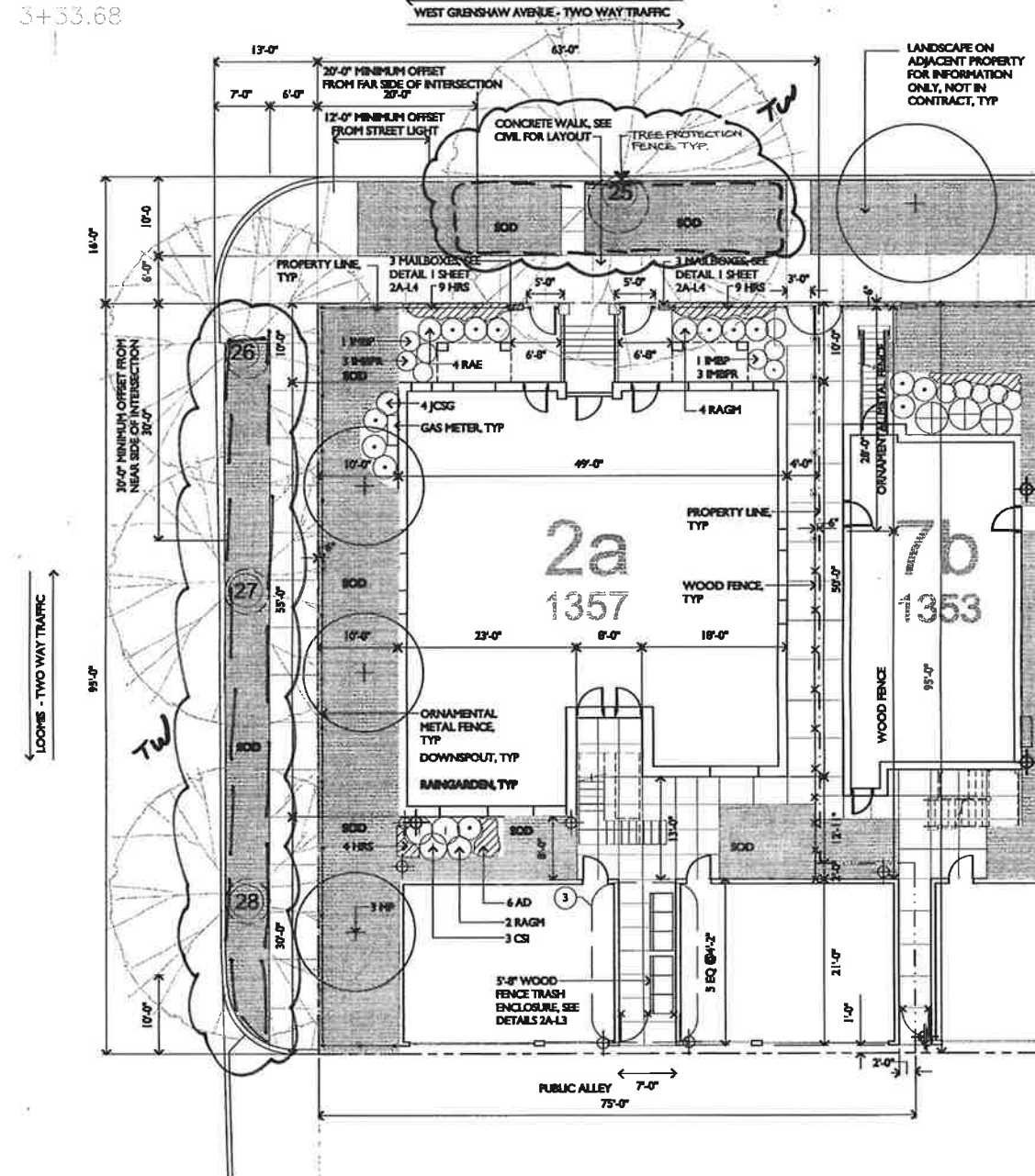
2-12-07

DATE



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

3+33.68



LEGEND

	PROPOSED SHADE TREE
	PROPOSED SHRUBS
	PROPOSED PERENNIALS AND GROUNDCOVERS
	WOOD FENCE
	JETHU PATRIOT FENCE
	ORNAMENTAL METAL FENCE
	PROPERTY LINE
	ALUMINUM MAILBOX

2	ISSUE FOR PART 2 REVIEW	12-15-06
2	ISSUE FOR PART 2 REVIEW	06-08-06
1	ISSUE FOR BID	04-03-06

ROOSEVELT SQUARE
PHASE 2
1357 WEST GREENSHAW
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

BROOK
ARCHITECTURE INC.
222 W. Erie, Suite 1100
Chicago, IL 60606
(312) 467-1000

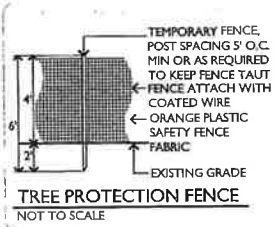
DAVID MASON AND ASSOCIATES
ARCHITECTS
HMS ENGINEERING
ARCHITECTS
DESTEFANO AND PARTNERS, LTD.
ARCHITECTS
PREM
ONE ENGINEER
WOLFF CLEMENTS AND ASSOCIATES, LTD.
LANDSCAPE ARCHITECT

LANDSCAPE AND SITE
PLAN

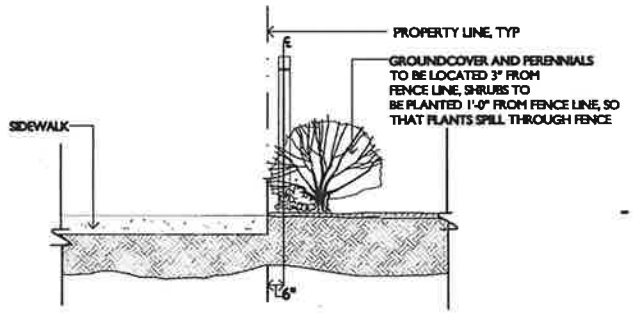
101	06-08-06
IL	
TW	2A-L1.1
05063	

EXISTING TREE KEY

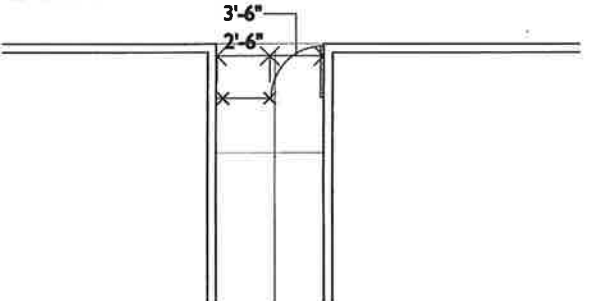
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
21	19"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



TREE NO. 21



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE 1/2"=1'-0"



3 WOOD FENCE ENLARGED PLAN
SCALE 1/2"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING	
WASHBURN STREET	134'-0"
LENGTH (LINEAR FEET)	5
NUMBER OF TREES REQUIRED (1 PER 25 LF)	1
NUMBER OF EXISTING TREES TO REMAIN	3
NUMBER OF ADDITIONAL TREES PROVIDED	3

3 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO EXISTING TREE SPACING.

VEHICULAR USE AREA SCREENING	
NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY	

VEHICULAR USE AREA INTERNAL PLANTING	
NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF	

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1325/1327/1329/1331/1333/1335 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

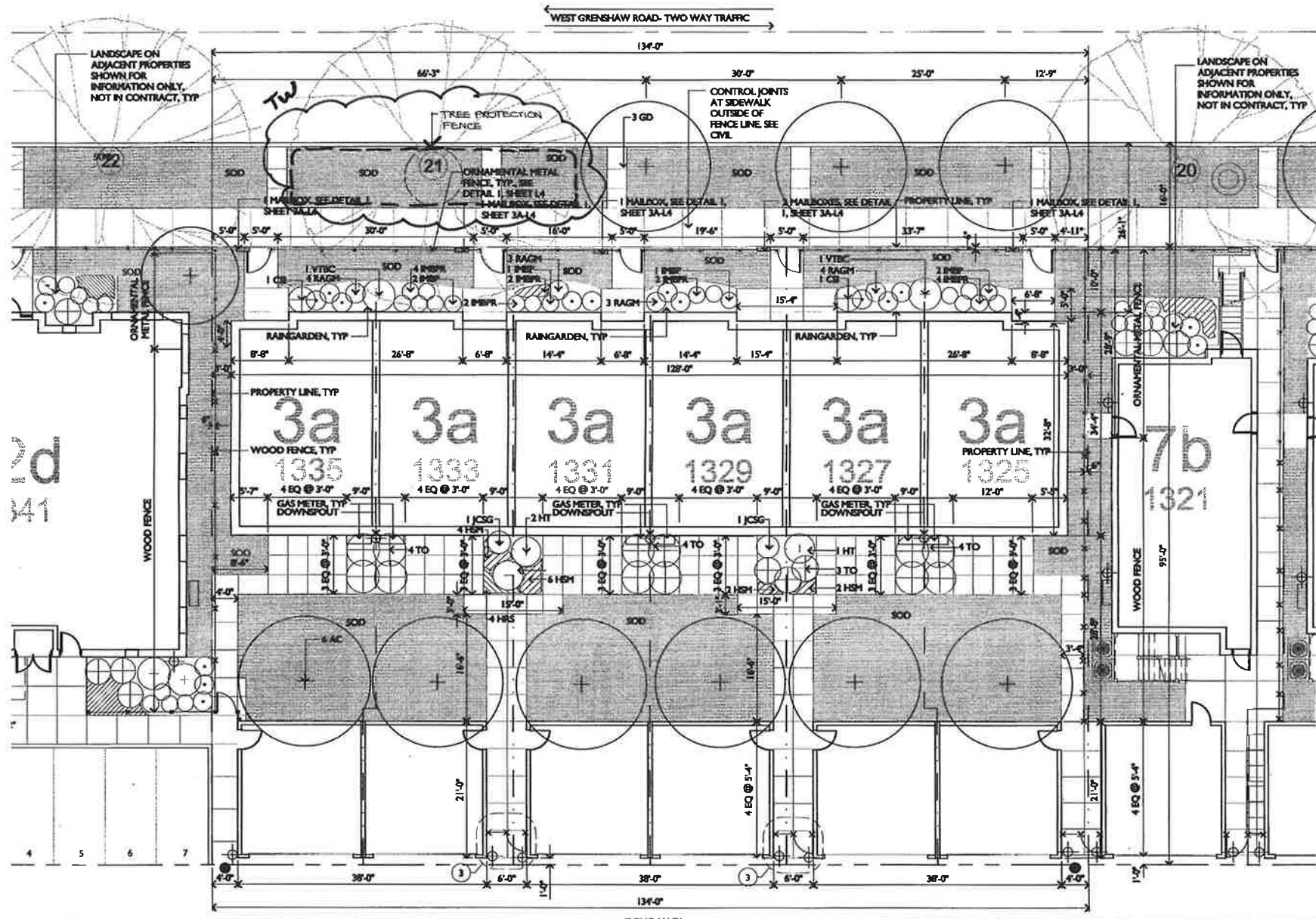
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1325/1327/1329/1331/1333/1335 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-009190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, P.C.
2-12-07
DATE



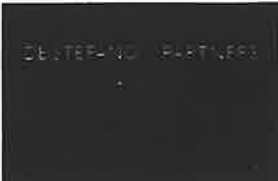
LANDSCAPE PLAN
SCALE 1/8"=1'-0"

- LEGEND
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JENITH PATRIOT FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - ALUMINUM MAILBOX

1	ISSUE FOR PART 2 REVIEW	12-15-06
2	ISSUE FOR PART 2 REVIEW	06-08-06
3	ISSUE FOR RFD	05-12-06

ROOSEVELT SQUARE
PHASE 2
1325/1327/1329/1331/1333/1335 WEST GRENSHAW
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II
LIMITED PARTNERSHIP

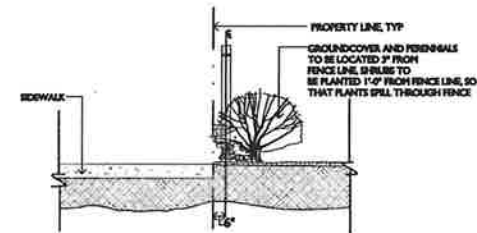
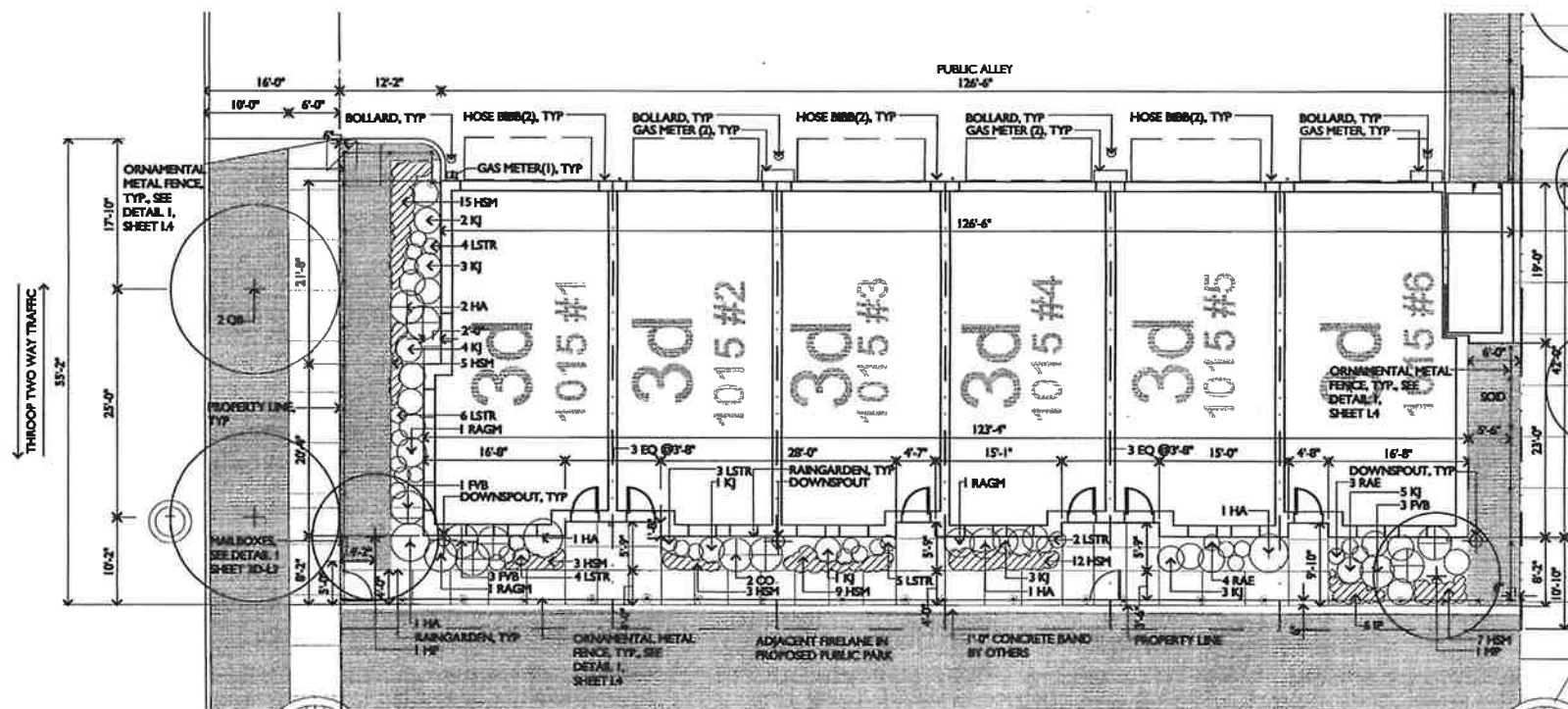


DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MEP/P E DESIGNER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND
SITE PLAN

06-08-06

3A-LI



2 FENCE/SIDEWALK CROSS SECTION
SCALE 3/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS
PARKWAY PLANTING

THROOP STREET	
LENGTH (LINEAR FEET)	35'-2"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	2

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT-OF-WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1015 #1-#6 THROOP STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1015 #1-#6 THROOP STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECT, P.C.
2-12-07
DATE

- LEGEND**
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JENNETH PATNOT FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - MAILBOX

2	ISSUE FOR PART 2 REVIEW	06-23-08
1	ISSUE FOR PART 2 REVIEW	06-23-08

ROOSEVELT SQUARE
PHASE 2
1015 #1, #2, #3, #4, #5, #6 THROOP STREET
CHICAGO, ILLINOIS

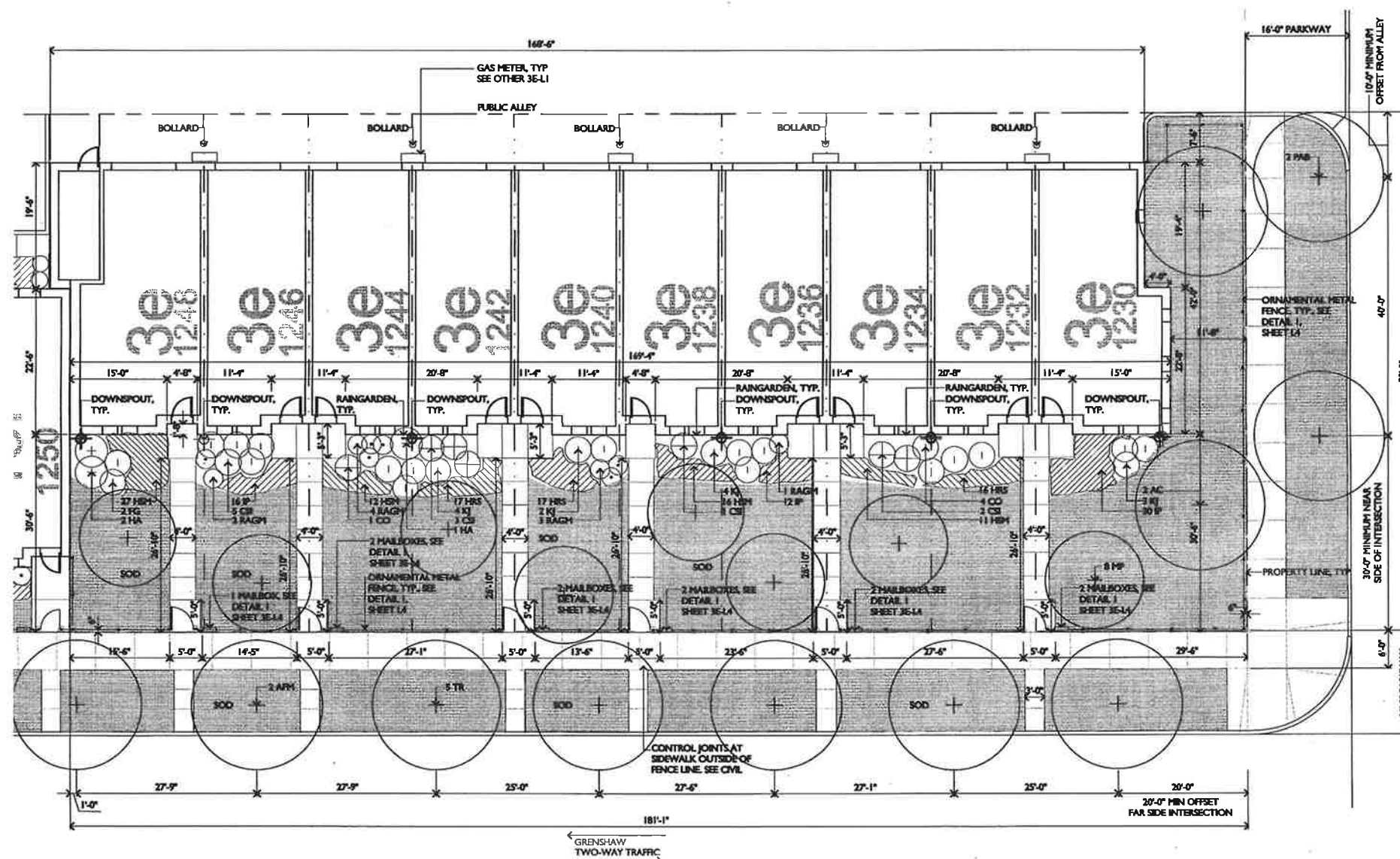
ROOSEVELT SQUARE II
LIMITED PARTNERSHIP



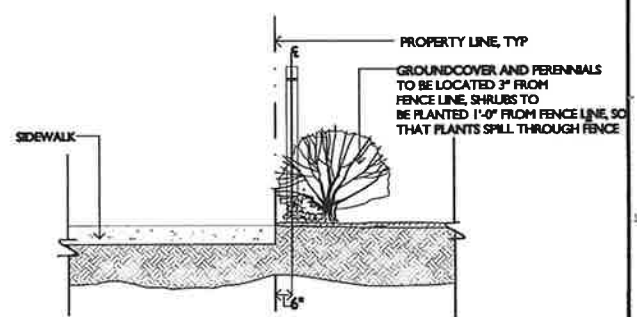
DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MEPEP ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECT, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND
SITE PLAN

KN 06-23-08
BL
TV
3D-L1
05063



LANDSCAPE PLAN
SCALE 1/8"=1'-0"



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE 1/2"=1'-0"

- LEGEND**
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JERSEY BARRIER FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - MAILBOX

LANDSCAPE ORDINANCE ANALYSIS
PARKWAY PLANTING

GRENSHAW	
LENGTH (LINEAR FEET)	181'-1"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	7
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	7 ADDITIONAL TREES ARE PROVIDED.

LYTLE STREET	
LENGTH (LINEAR FEET)	89'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	3
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	2 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1230/1232/1234/1236/1238/1240/1242/1244/1246/1248 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE PLANTING".

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1230/1232/1234/1236/1238/1240/1242/1244/1246/1248 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE PLANTING".

I, TED WOLF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLF, PRINCIPAL, WOLF LANDSCAPE ARCHITECTS, INC.
2-12-07
DATE

ROOSEVELT SQUARE
PHASE 2
1230/1232/1234/1236/1238/1240/1242/1244/1246/1248 WEST GRENSHAW STREET, CHICAGO, ILLINOIS

ROOSEVELT SQUARE II
LIMITED PARTNERSHIP

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MECHANICAL ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLF LANDSCAPE ARCHITECTS, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND SITE PLAN

KN 04-25-06
BL
TW
3E-L1.2
05062

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

GREENSHAW
LENGTH (LINEAR FEET) 180'-2"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 7
NUMBER OF EXISTING TREES TO REMAIN 0
NUMBER OF ADDITIONAL TREES PROVIDED 7 TREES ARE PROVIDED.

LYTLE STREET
LENGTH (LINEAR FEET) 93'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 3
NUMBER OF EXISTING TREES TO REMAIN 0
NUMBER OF ADDITIONAL TREES PROVIDED 3 TREES ARE PROVIDED.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1231/1233/1235/1237/1239/1241/1243/1245/1247/1249 WEST GREENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 16, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

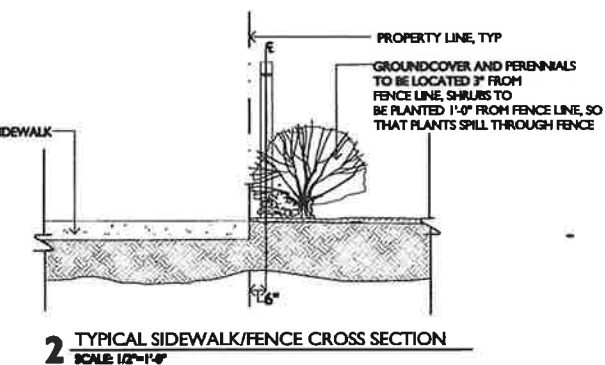
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1231/1233/1235/1237/1239/1241/1243/1245/1247/1249 WEST GREENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 16, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

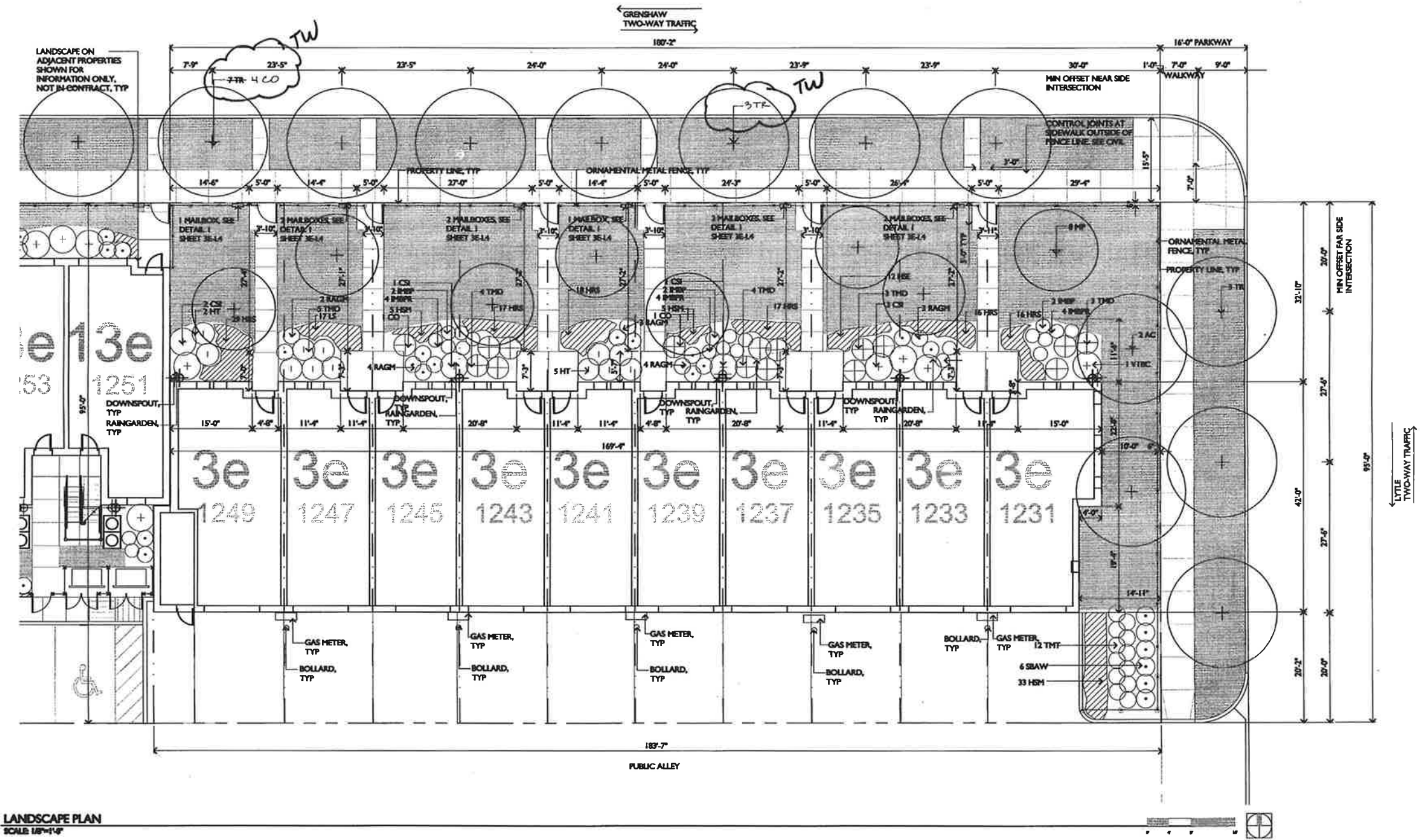
TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.

2.12.07

DATE



- LEGEND
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JERITH PATRIOT FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - MAILBOX



STATE OF ILLINOIS
TED WOLFF
157-000190
LANDSCAPE ARCHITECT

2 ISSUE FOR PART 2 REVIEW 12-15-06
1 ISSUE FOR PART 2 REVIEW 06-09-06

ROOSEVELT SQUARE
PHASE 2
1231/1233/1235/1237/1239/1241/1243/
1245/1247/1249 WEST GREENSHAW
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II
LIMITED PARTNERSHIP

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

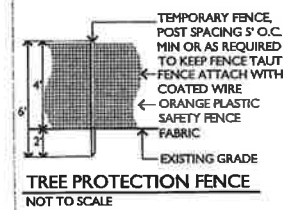
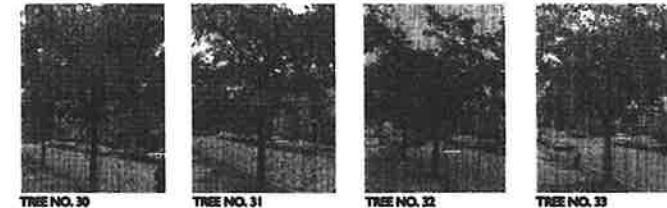
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND
SITE PLAN

KN 06-09-06
HL
TV 3E-L1.1

© 2006 David Mason & Partners

NUMBER	SIZE	SPECIES	CONDITION	REMARKS
30	9"	HACKBERRY	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
31	10"	HACKBERRY	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
32	9"	HACKBERRY	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
33	8"	HACKBERRY	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



PARKWAY PLANTING

THROOP STREET	
LENGTH (LINEAR FEET)	1
NUMBER OF TREES REQUIRED (1 PER 25 LF)	4
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	4

LYTLE STREET
 LENGTH (LINEAR FEET)
 NUMBER OF TREES REQUIRED (1 PER 25 LF)
 NUMBER OF EXISTING TREES TO REMAIN
 NUMBER OF ADDITIONAL TREES PROVIDED

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 11111/12111/13111 A WEST THROST STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND FUTURE OCCUPANTS OF THE PROPERTY IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 18, CHAPTER 33 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDNANCE."

EXITING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

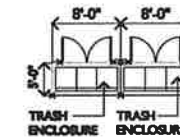
BY (OWNER)

DATE _____

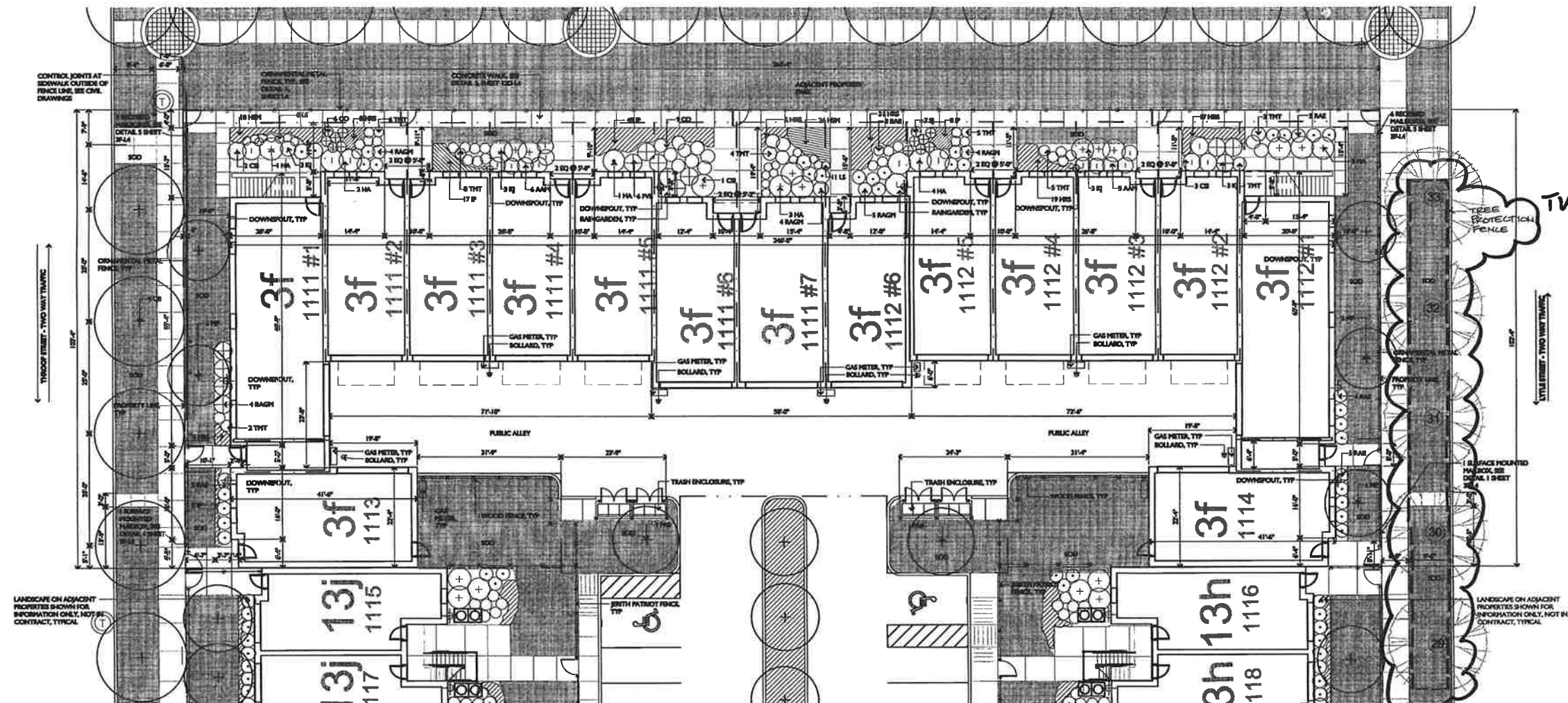
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 11111 121ST/121ST/114 WEST THIRD-OF-STREET, CHICAGO ILLINOIS 60658, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 18, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORIGINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, INC.
2.12.07
DATE

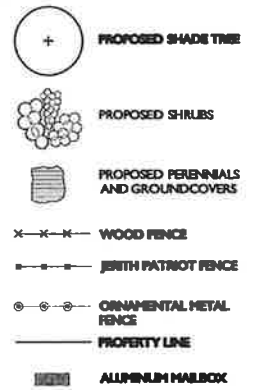


2 ENLARGED WOOD TRASH ENCLOSURE DETAIL



LANDSCAPE PLAN
SCALE: 20' = 1" 1/4"

LEGEND



2	ISSUE FOR PART 2 REVIEW	12-15-06
1	ISSUE FOR PART 2 REVIEW	06-08-06

ROOSEVELT SQUARE
PHASE 2
1111/1112/1113/1114 THROOP STREET
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II
LIMITED PARTNERSHIP

DAVID WASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEP/FP ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

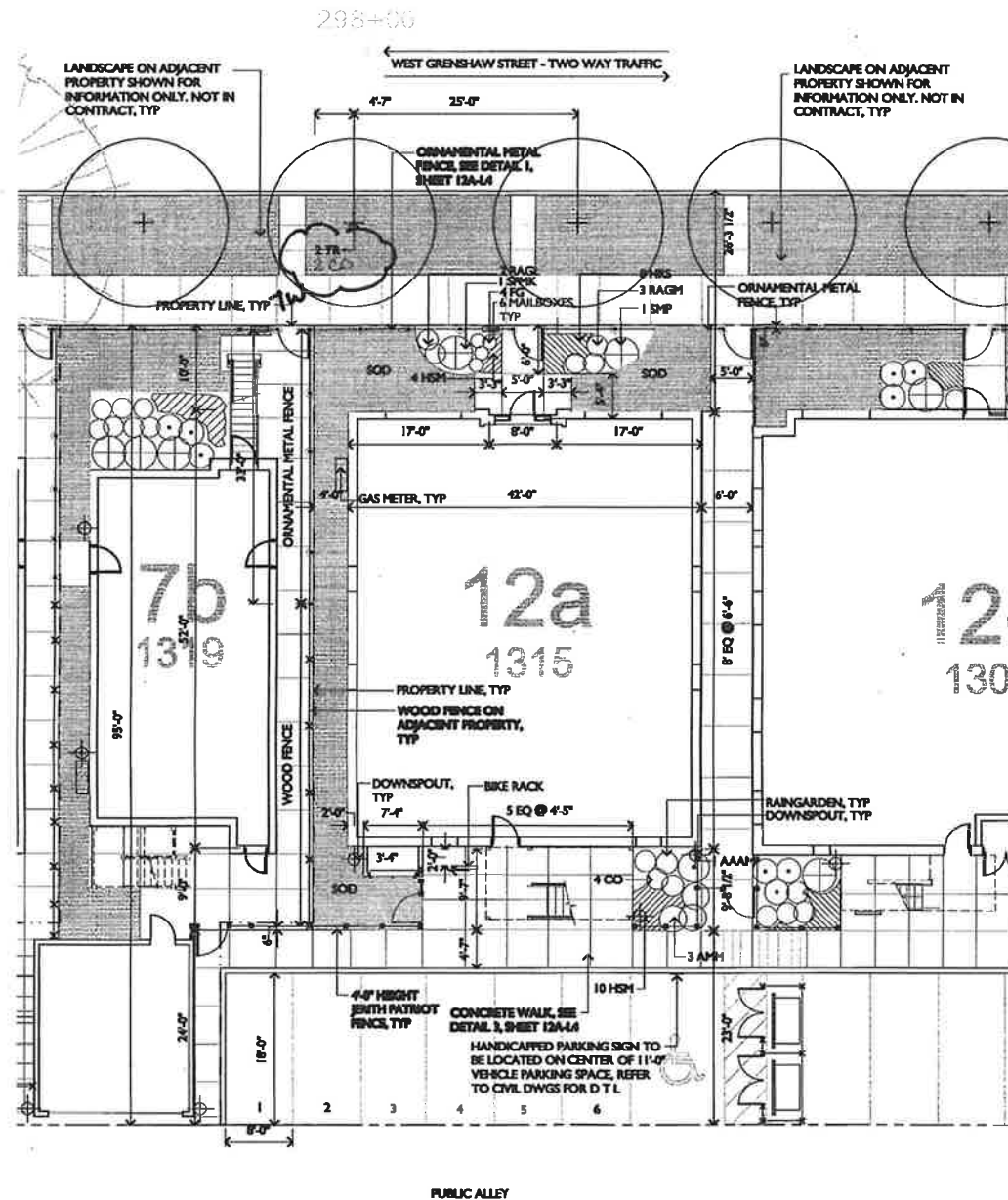
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND SITE PLAN

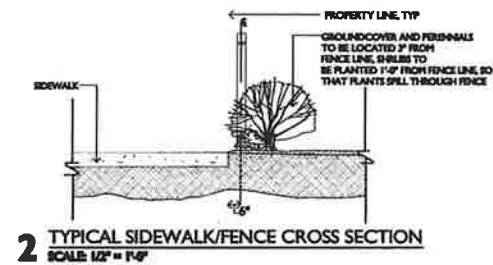
KN 06-08-06

BL

TV 3F-LI



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING	
WEST GRENSHAW STREET	
LENGTH (LINEAR FEET)	50'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	2

VEHICULAR USE AREA SCREENING
NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING
NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT
THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1315 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."
EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.
THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1315 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."
I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-00190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2010.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, P.C.
DATE: 2-12-07

- LEGEND**
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JERITH PATRIOT FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - ALUMINUM MAILBOX

12		
11		
10		
9		
8		
7		
6		
5		
4	ISSUE FOR PART 2 REVIEW	12-13-06
3	ISSUE FOR PART 2 REVIEW	06-08-06
2	ISSUED FOR 90% CD	11-11-05
1	ISSUED FOR DESIGN DEV.	10-04-05

ROOSEVELT SQUARE
PHASE 11
1315 W. GRENSHAW
CHICAGO, IL 60608
BUILDING TYPE 12A
ROOSEVELT SQUARE I
LIMITED PARTNERSHIP

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS
H.M.S. ENGINEERS
DESTEPANO KEATING PARTNERS, LTD.
MASTER PLANNERS / ARCHITECTS
MCCLUER CORPORATION
WOLFF LANDSCAPE ARCHITECTURE
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE
PLAN

Drawn	06-08-06
KN	
Checked By	06-08-06
EL	
Approved	
TW	
Date	

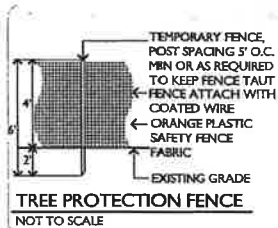
12A-L1.1

EXISTING TREE KEY

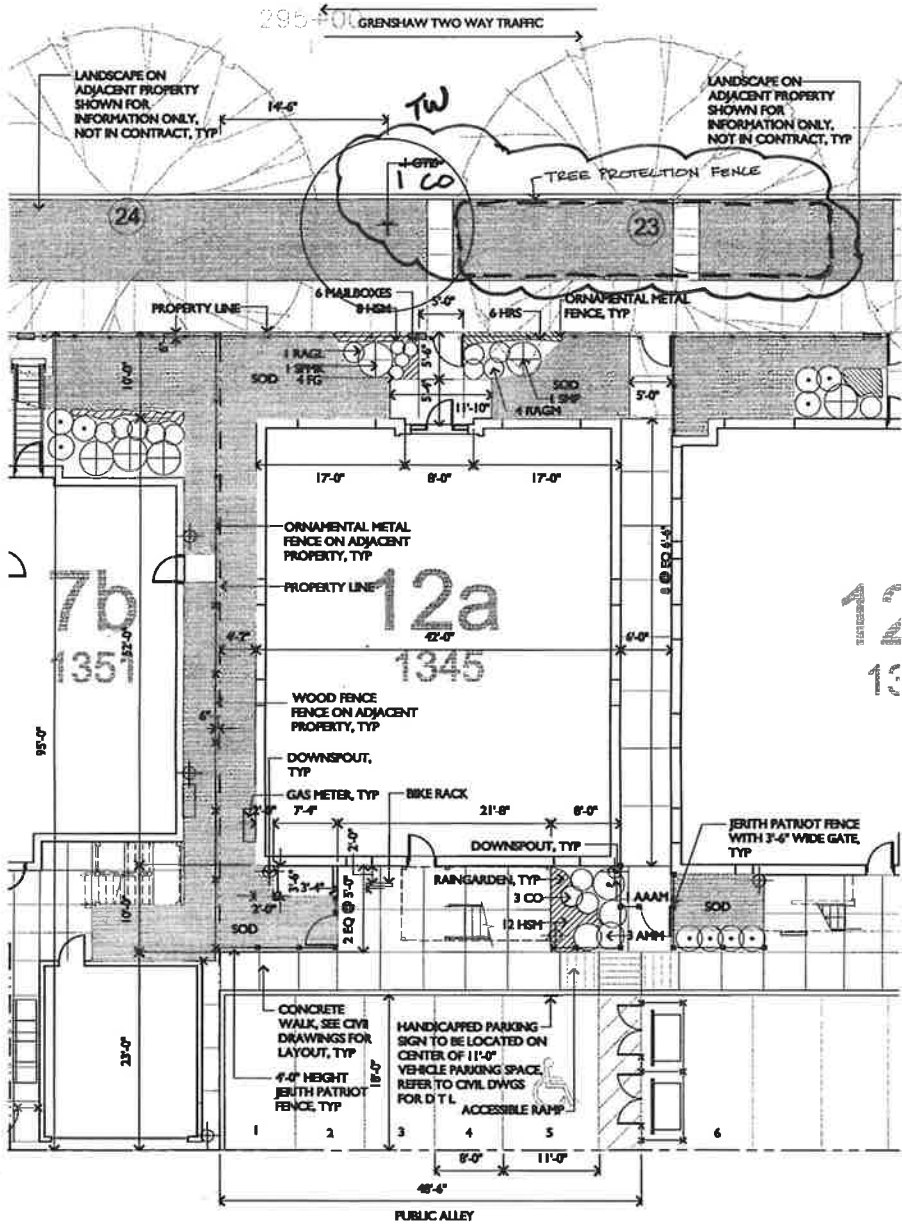
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
23	22"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



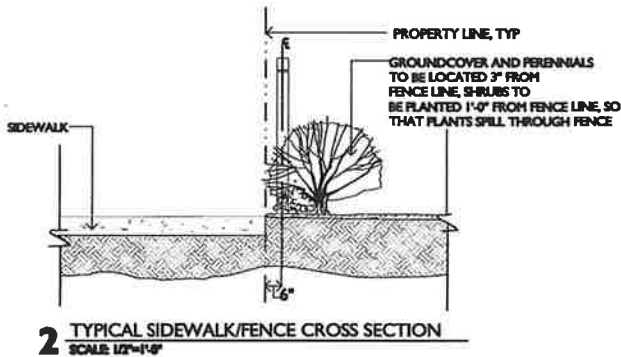
TREE NO. 23



TREE PROTECTION FENCE
NOT TO SCALE



LANDSCAPE PLAN
SCALE: 1/8\"/>



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2\"/>

LANDSCAPE ORDINANCE ANALYSIS
PARKWAY PLANTING

GRENSHAW	
LENGTH (LINEAR FEET)	49'-5"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	1
NUMBER OF ADDITIONAL TREES PROVIDED	1

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1345 WEST GRENSHAW ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

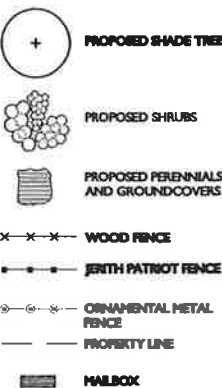
LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1345 WEST GRENSHAW, CHICAGO ILLINOIS 60608 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2010

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
2-12-07
DATE

LEGEND



12		
11		
10		
9		
8		
7		
6		
5		
4	ISSUED FOR PAST 2 SUBMITTALS	10-02-09
3	ISSUED FOR PART 2 REVIEW	06-09-09
2	ISSUED FOR 90% CD	11-11-09
1	ISSUED FOR DESIGN DEV.	10-04-09

ROOSEVELT SQUARE
PHASE 11
1345 WEST GRENSHAW
CHICAGO, ILLINOIS

BUILDING TYPE 12A
ROOSEVELT SQUARE I
LIMITED PARTNERSHIP

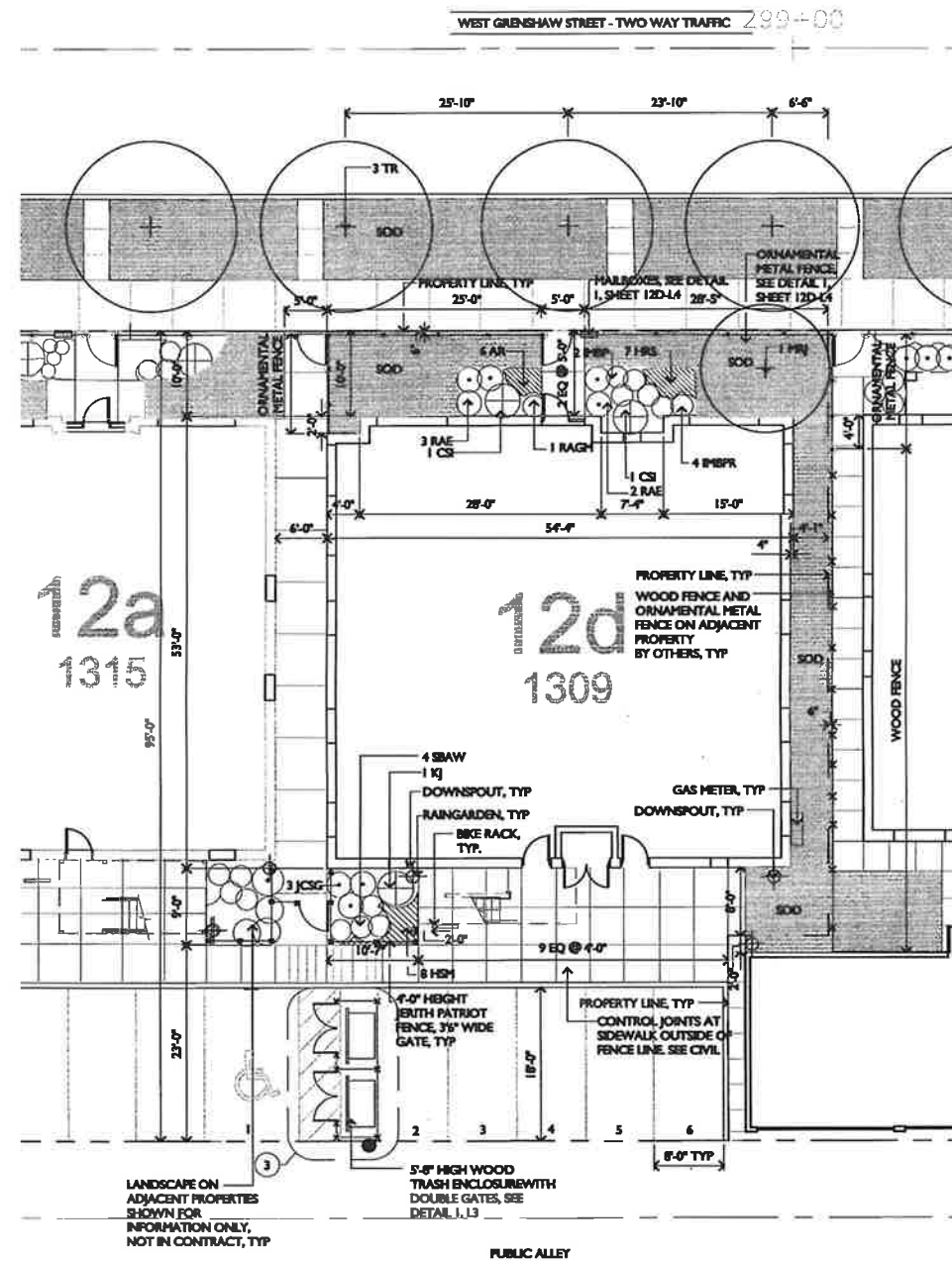


DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS
H.M.S. ENGINEERS
M.E.P.E. ENGINEERS
DESTEFANO KEATING PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
MCCLUER CORPORATION
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

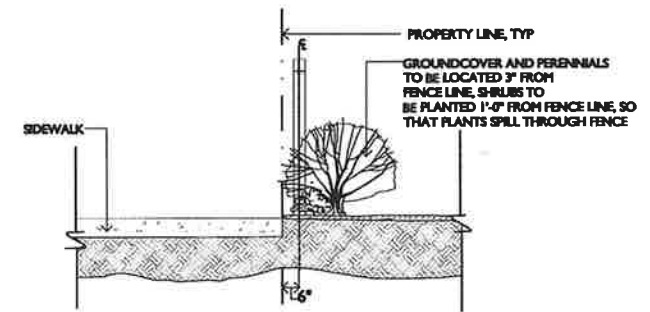
LANDSCAPE AND SITE
PLAN

DATE	05-12-06
BY	
DATE	
DATE	
DATE	

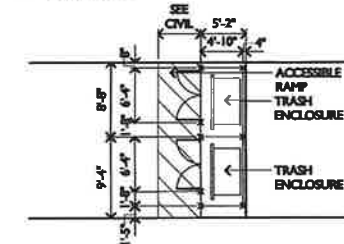
12A-L1.2



LANDSCAPE PLAN
SCALE: 1/8\"/>



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE: 1/8\"/>



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8\"/>

LANDSCAPE ORDINANCE ANALYSIS PARKWAY PLANTING

WEST GRENSHAW STREET	58'-5"
LENGTH (LINEAR FEET)	
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	3

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1309 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

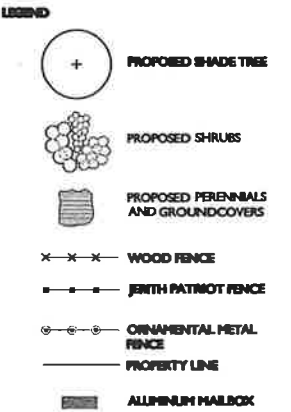
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1309 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000199 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, INC.

2-12-07

DATE



15		
14		
13		
12		
11		
10		
9		
8	DATE FOR PART 2 REVIEW	12-15-08
7	DATE FOR PART 2 REVIEW	05-05-08
6	DATE FOR PART 2 REVIEW	05-05-08
5	DATE FOR PART 2 REVIEW	05-05-08
4	100% CD-PERMIT	02/01/08
3	100% CD-REVIEW	12/10/05
2	90% CD	11/28/05
1	100% CD	11/04/05

**ROOSEVELT SQUARE
PHASE 2
BUILDING 12D**
1309 W. GRENSHAW STREET
CHICAGO, ILLINOIS

**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**

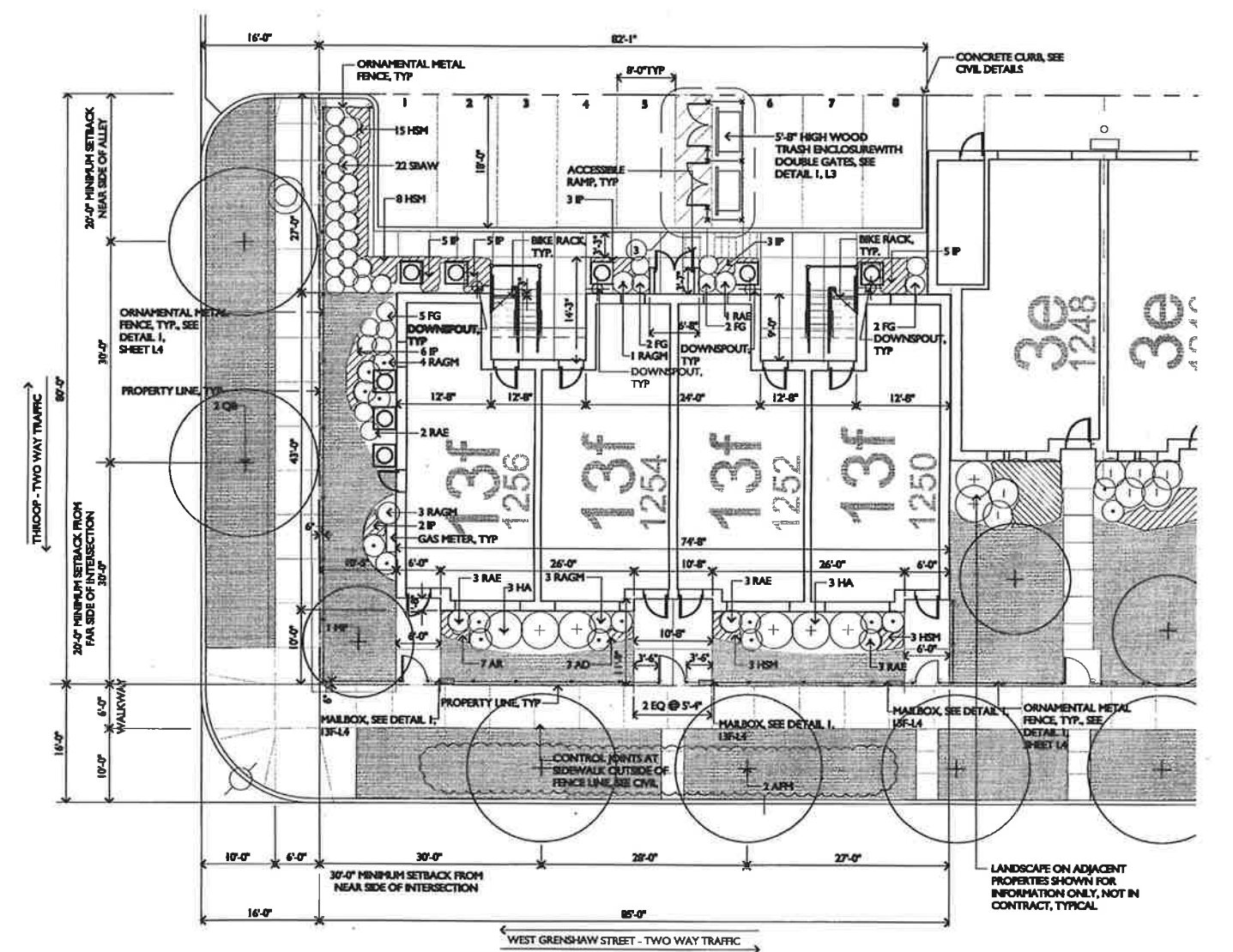


DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS
HMS ENGINEERING
MECHANICAL ENGINEERS
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

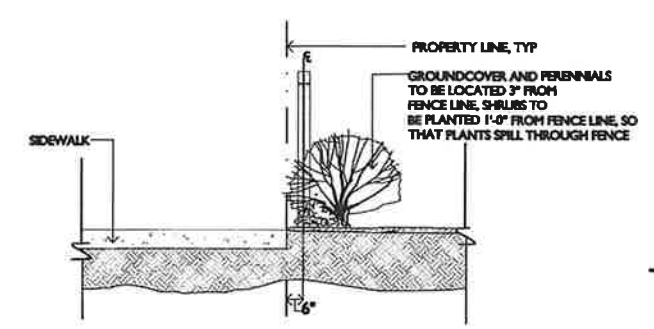
LANDSCAPE AND
SITE PLAN

05-12-08

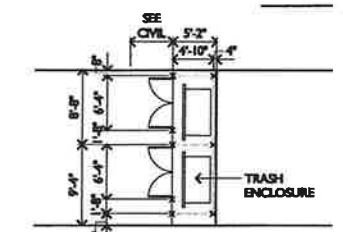
12D-L1.1



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN, TYPICAL
SCALE: 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING			
WEST GRENSHAW			
LENGTH (LINEAR FEET)	85'-0"	3	0
NUMBER OF TREES REQUIRED (1 PER 25 LF)		2	0
NUMBER OF EXISTING TREES TO REMAIN		2	0
NUMBER OF ADDITIONAL TREES PROVIDED		0	0
2 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS AMOUNT CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS.			
THROOP STREET			
LENGTH (LINEAR FEET)	85'-0"	3	0
NUMBER OF TREES REQUIRED (1 PER 25 LF)		2	0
NUMBER OF EXISTING TREES TO REMAIN		2	0
NUMBER OF ADDITIONAL TREES PROVIDED		0	0
2 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS AMOUNT CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS.			
VEHICULAR USE AREA SCREENING			
LENGTH (LINEAR FEET)	16'-0"	1	0
NUMBER OF TREES REQUIRED (1 PER 25 LF)		0	0
NUMBER OF EXISTING TREES TO REMAIN		0	0
NUMBER OF ADDITIONAL TREES PROVIDED		0	0
0 ADDITIONAL TREES ARE PROVIDED DUE TO PROXIMITY TO EXISTING SHADE TREES.			

THROOP AVENUE IS SCREENED BY A CONTINUOUS HEDGE OF DECIDUOUS SHRUBS.

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1250/1252/1254/1256 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1250/1252/1254/1256 WEST GRENSHAW STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 157-088190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
2-12-07
DATE



- LEGEND**
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JENITH PATRIOT FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - MAILBOX

2	ISSUE FOR PART 2 REVIEW	12-15-08
1	ISSUE FOR RTO	09-12-06

ROOSEVELT SQUARE
PHASE 2
1250/1252/1254/1256 WEST GRENSHAW
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II
LIMITED PARTNERSHIP

DE STEFANO PARTNERS

- DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
- HMS ENGINEERING
MECHANICAL ENGINEER
- DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
- PRISM ENGINEERING INC.
CIVIL ENGINEER
- WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND SITE PLAN

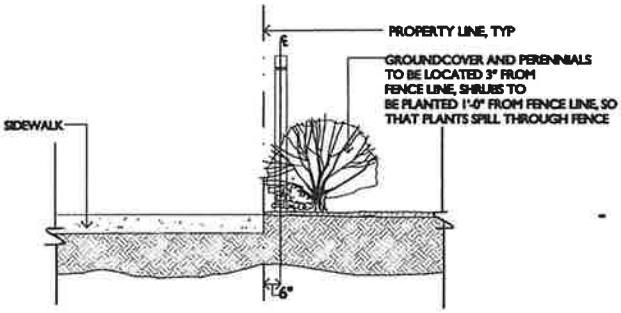
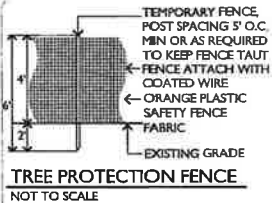
KN	05-12-06
BL	
FW	
13F-L1	
05063	

EXISTING TREE KEY

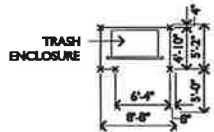
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
29	9"	HACKBERRY	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



TREE NO. 29



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS
PARKWAY PLANTING

LYTLE STREET	41'-10"
LENGTH (LINEAR FEET)	2
NUMBER OF TREES REQUIRED (1 PER 25 LF)	0
NUMBER OF EXISTING TREES TO REMAIN	1 TREE IS PROVIDED, ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS AND AN EXISTING TREE.
NUMBER OF ADDITIONAL TREES PROVIDED	

VEHICULAR USE AREA SCREENING
NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING
NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1116 AND 1118 LYTHE STREET, CHICAGO ILLINOIS 60646, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1116 AND 1118 LYTHE STREET, CHICAGO ILLINOIS 60646, HAS, TO THE BEST OF THE UNDERSIGNED ARCHITECT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 152-000110 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECT, INC.
2-12-07
DATE



LEGEND

- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUNDCOVERS
- WOOD FENCE
- BIRTH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- MAILBOX

2	ISSUE FOR PART 2 PERMITS	10-00-08
1	ISSUE FOR BID	04-03-06

ROOSEVELT SQUARE
PHASE 2
1116 AND 1118 WEST LYTHE STREET
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II
LIMITED PARTNERSHIP

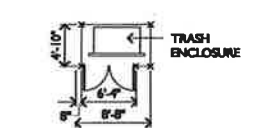
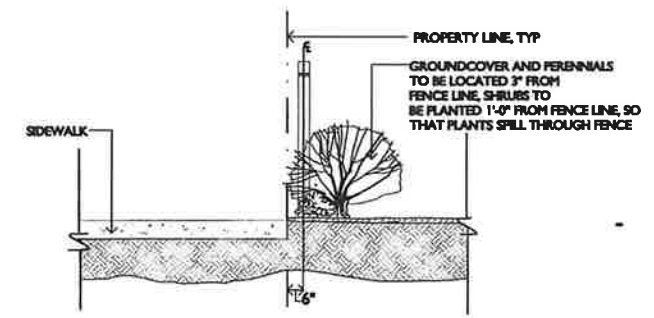
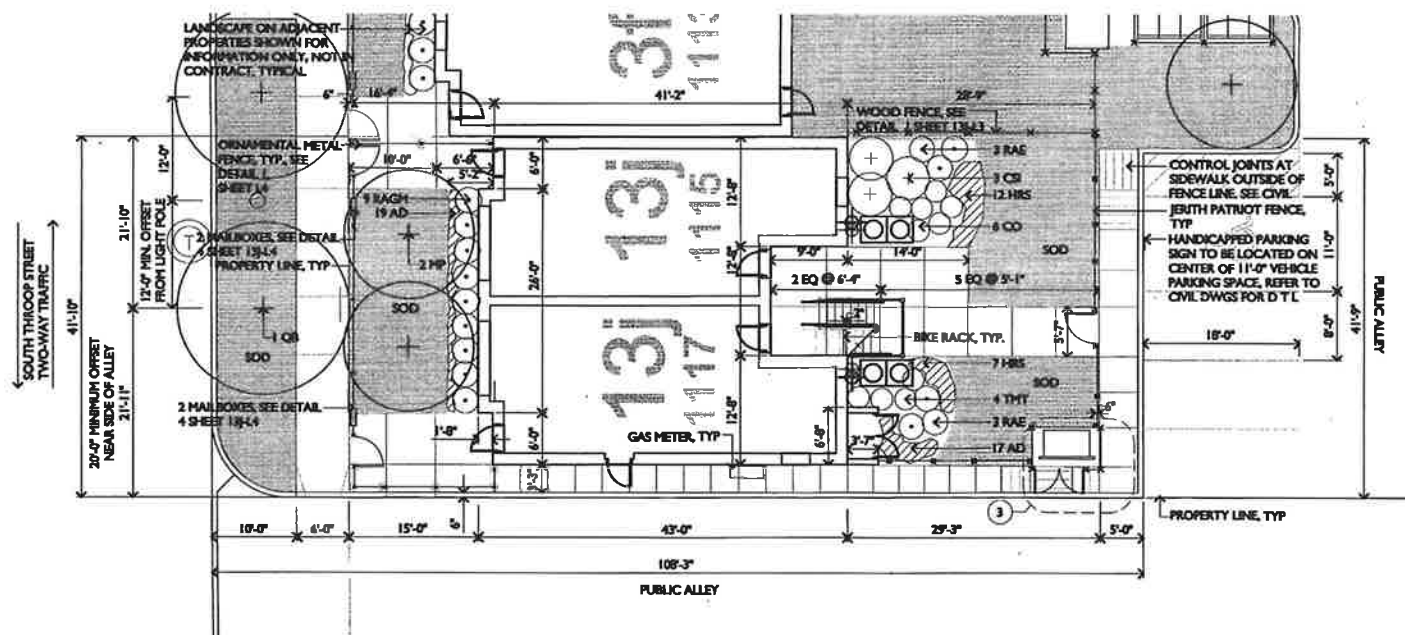


DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MECHANICAL ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND
SITE PLAN

KN	04-25-06
BL	
TW	
CS663	

13H-L1



LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

LYTLE STREET	41'-10"
LENGTH (LINEAR FEET)	2
NUMBER OF TREES REQUIRED (1 PER 25 LF)	0
NUMBER OF EXISTING TREES TO REMAIN	1
NUMBER OF ADDITIONAL TREES PROVIDED	1

1 TREE IS PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1115 AND 1117 SOUTH THROOP STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1115 AND 1117 SOUTH THROOP STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
2-12-07
DATE

- LEGEND**
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JEWTH PATRIOT FENCE
 - ORNAIMENTAL METAL FENCE
 - PROPERTY LINE
 - MAILBOX

2	ISSUE FOR PHASE 2 REVIEW	03-20-08
1	ISSUE FOR BIDDING/PHASE 1	04-20-08

ROOSEVELT SQUARE PHASE 2
1115 + 1117 THROOP STREET
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II LIMITED PARTNERSHIP



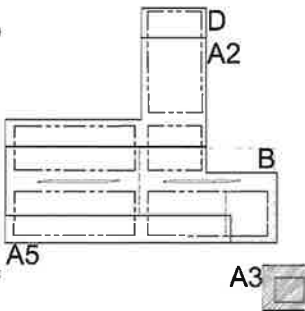
DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MEFP ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND SITE PLAN

13J-LI

04-20-08

This architectural floor plan depicts the second floor of the New York Public Library. The plan is symmetrical, featuring two large, rectangular reading rooms, labeled 2a and 2b, which are separated by a central corridor. Each reading room contains a large, ornate table and is flanked by bookshelves. The rooms are numbered 1156 and 1146, respectively. The plan includes detailed dimensions for the rooms and corridors, as well as a scale bar indicating 1 inch equals 10 feet. The overall layout is designed to provide a quiet, well-lit space for study and research.



7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	08-28-06
4	ISSUED FOR PART 2-REVIEW	08-08-06
3	ISSUED FOR PART 2-REVIEW	04-28-06
2	ISSUED FOR PART 2 REVIEW	04-19-06
1	ISSUED FOR DPD - PHASE 2 - SITE PLAN APPROVAL	02-09-06
No.	Description	Date

**ROOSEVELT SQUARE
PHASE 2**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO | PARTNERS

Stefano and Partners, Ltd.
25 First Avenue Street
Singapore 05611

Architecture
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEPFP ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

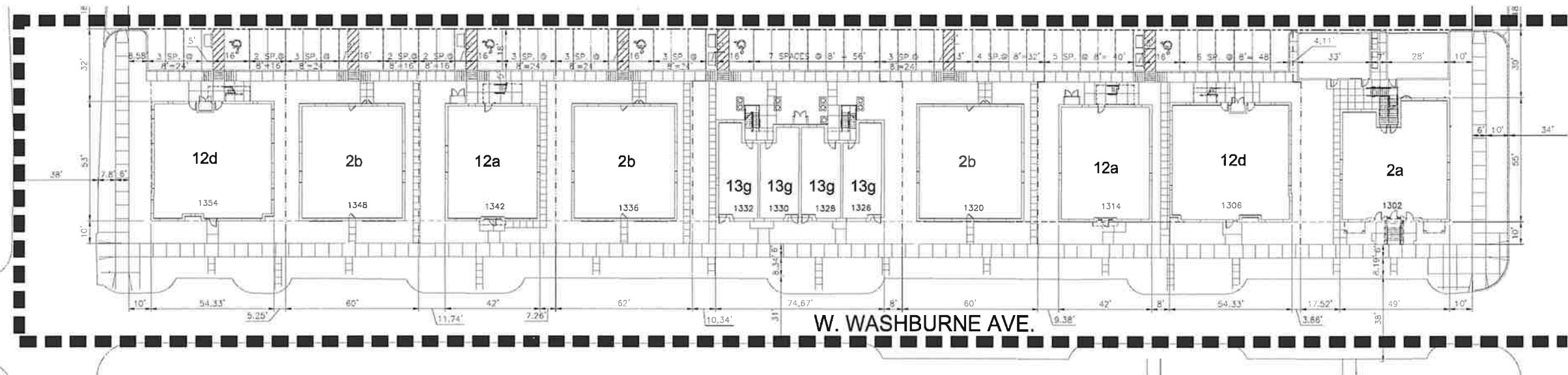
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

PHASE 2
SUB AREA A3
SITE PLAN

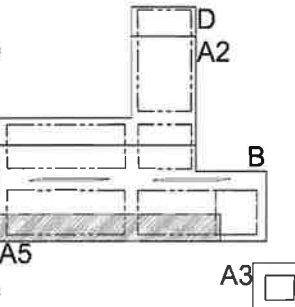
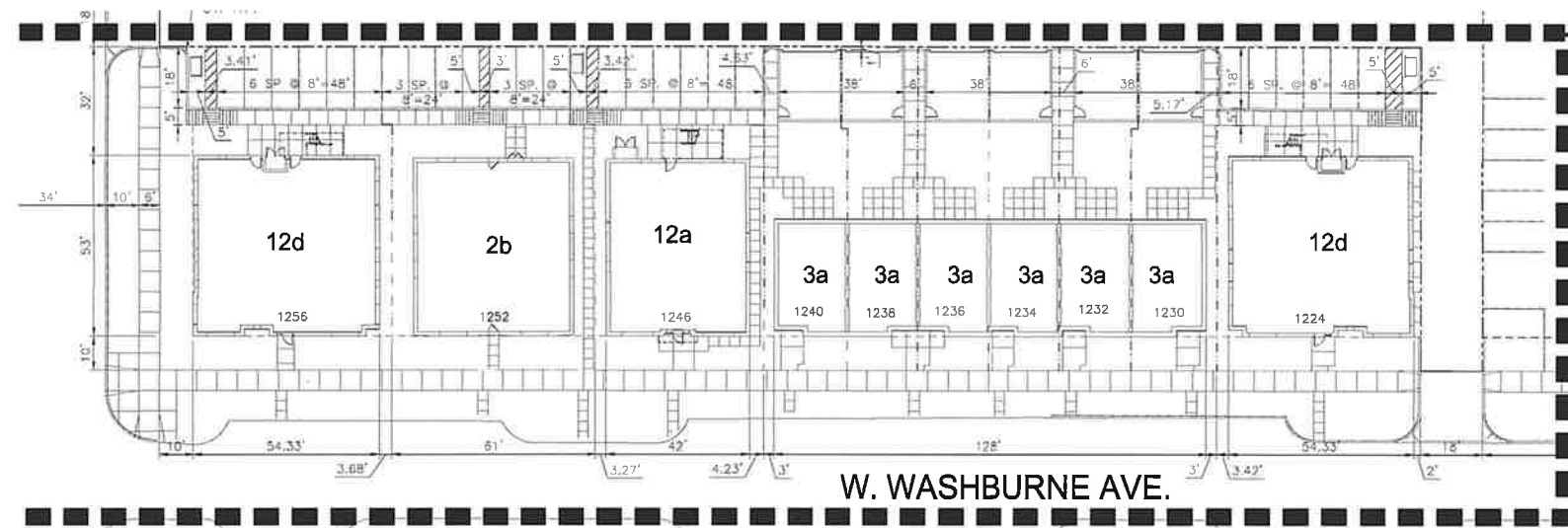
PDII-A3



A5



A5



No.	Description	Date
8	ISSUED FOR SITE PLAN APPROVAL	02-08-07
7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-13-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR SPD - PHASE 2 - SITE PLAN APPROVAL	02-05-06

ROOSEVELT SQUARE PHASE 2

ROOSEVELT SQUARE II LIMITED PARTNERSHIP

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
444 East Wacker Drive
Chicago, Illinois 60601

Architectural
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEPPF ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

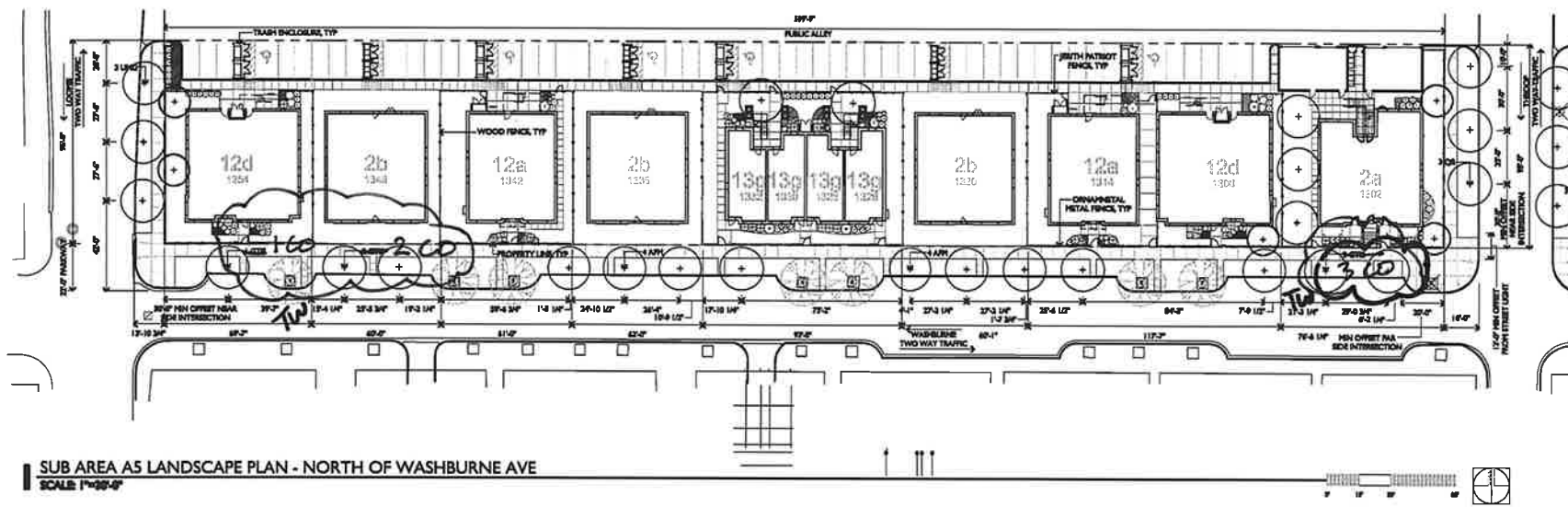
PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

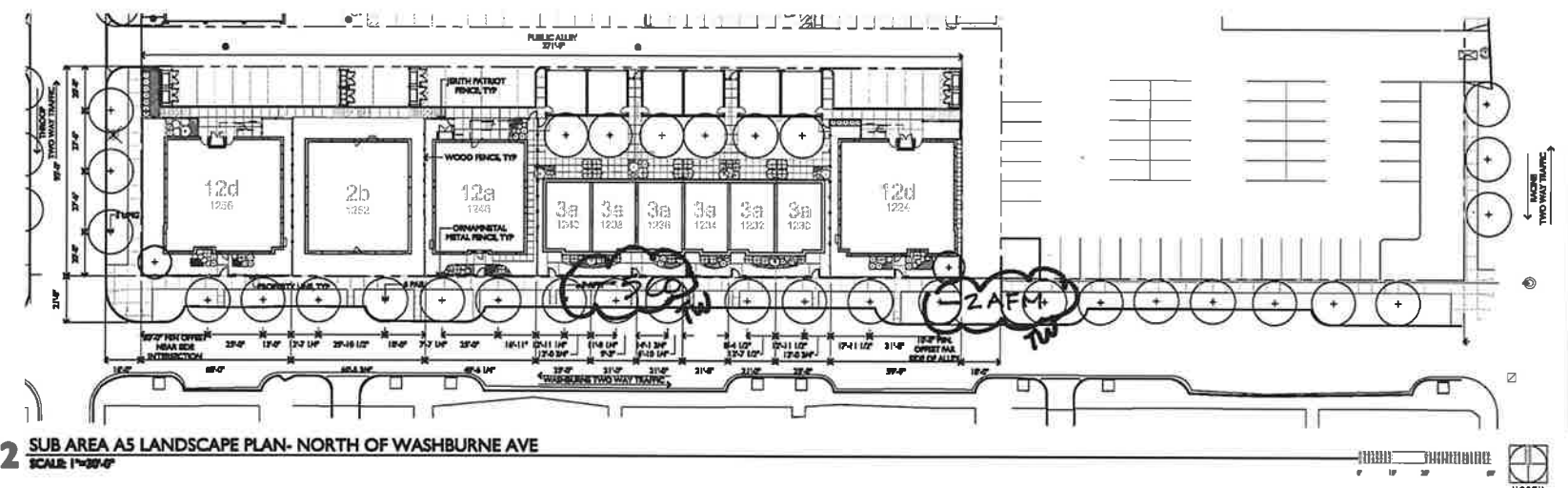
PHASE 2 SUB AREA A5 SITE PLAN

Owner	City of Chicago
Consulting Firm	DeStefano + Partners
Project No.	PDII-A5
Scale	As Shown



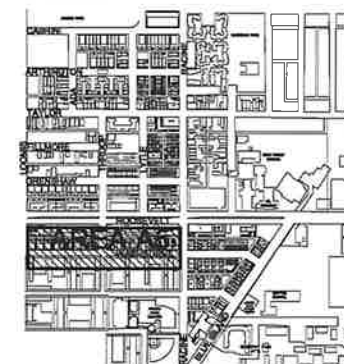


1 SUB AREA A5 LANDSCAPE PLAN - NORTH OF WASHBURNE AVE
SCALE: 1"=30'-0"



2 SUB AREA A5 LANDSCAPE PLAN - NORTH OF WASHBURNE AVE
SCALE: 1"=30'-0"

KEYPLAN



GENERAL NOTES

LEGEND

- RAIN GARDEN
- ORNAMENTAL PLANTING
- LAWN
- PROPOSED TREE
- WOOD FENCE
- 4' HIGH BIRTH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- MAILBOX
- RECYCLING CENTER
- TRASH ENCLOSURE

FENCE TYPE AND LOCATION

- ORNAMENTAL METAL FENCE TYPE
A. SQUARE FENCE
B. ROUND FENCE
C. TORNADO FENCE
D. BOLLARD FENCE
E. CHAIN LINK FENCE
F. WOOD FENCE
G. BIRTH PATRIOT FENCE
H. ORNAMENTAL METAL FENCE
I. MAILBOX
J. RECYCLING CENTER
K. TRASH ENCLOSURE

ISSUE	DESCRIPTION	DATE
8		
7		
6		
5	RE-ISSUE FOR SITE PLAN APPROVAL	02-09-07
4	ISSUE FOR SITE PLAN APPROVAL	01-30-07
3	ISSUE FOR PART 2 REVIEW	12-15-06
2	ISSUE FOR PART 2 REVIEW	05-23-06
1	ISSUE FOR REVIEW	12-02-05
	ISSUE	DISCUSSION
		DATE

LICENSURE SEAL

ROOSEVELT SQUARE PHASE TWO

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

DRAWN BY: KN
REVIEWED BY: TW
DATE: 05-23-06
SCALE: AS NOTED
PROJECT NUMBER: 05043

SUB AREA A5
LANDSCAPE PLAN

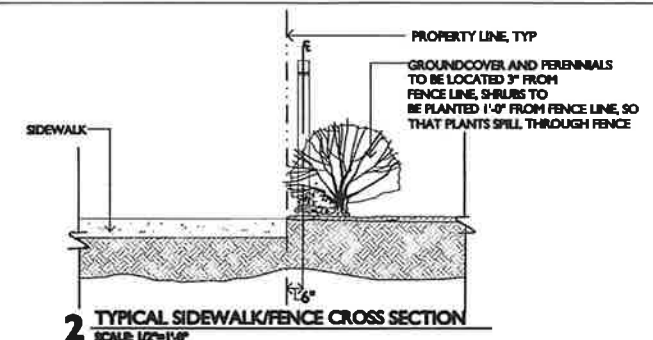
L101-A5

EXISTING TREE KEY

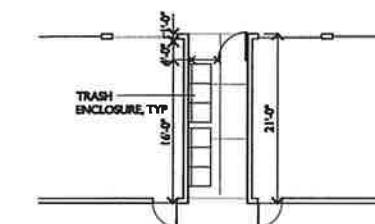
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
8	5"	ASH	FAIR	TO BE REMOVED



TREE NO. 8



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS PARKWAY PLANTING

WEST WASHBURN AVENUE LENGTH (LINEAR FEET)	76'-6 1/2"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	3
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	2 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS

THROOP STREET LENGTH (LINEAR FEET)	95'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	4
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	3 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1302 WEST WASHBURN AVENUE, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

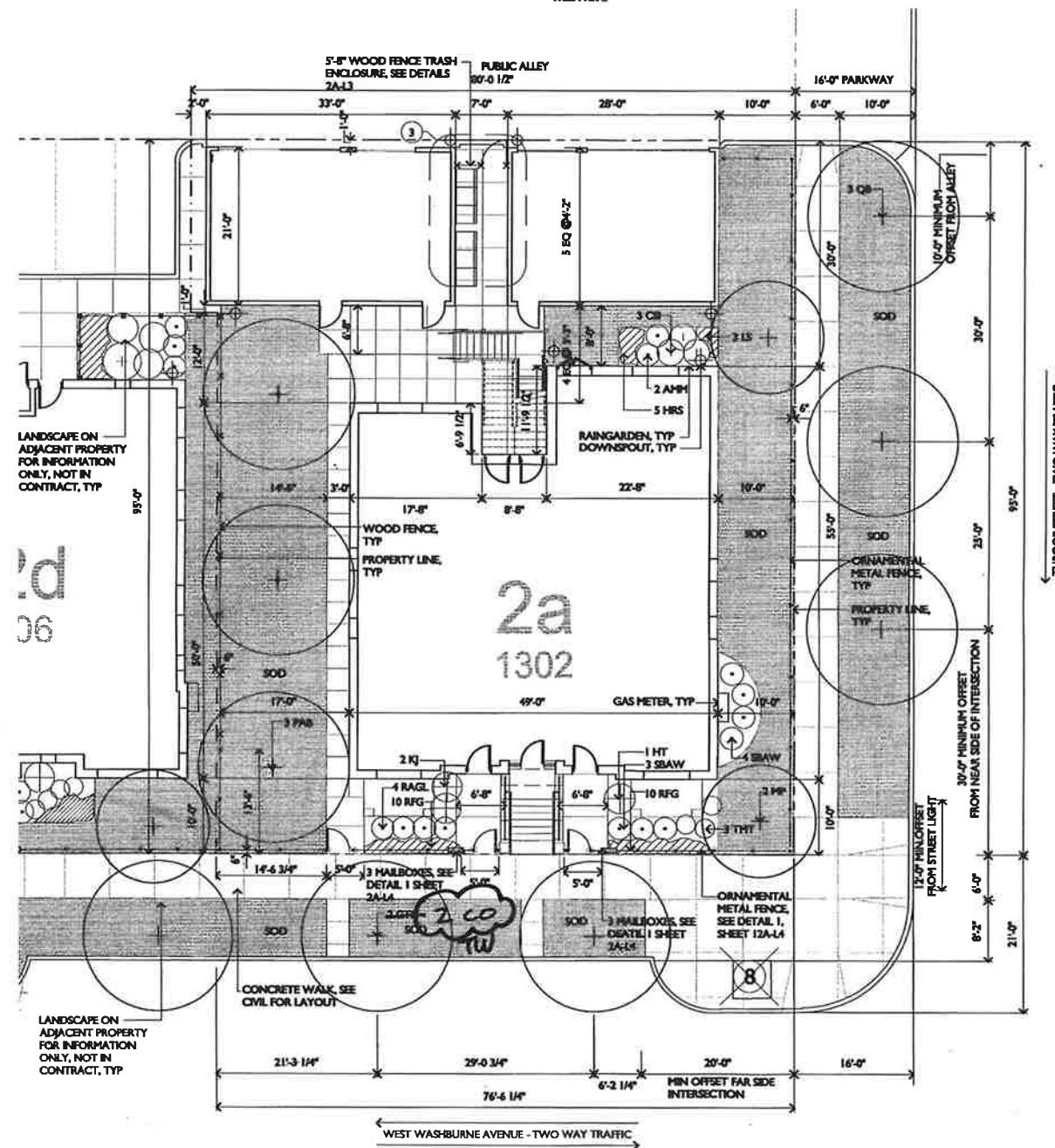
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1302 WEST WASHBURN AVENUE, CHICAGO ILLINOIS 60608 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 157-008190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.

2-12-07

DATE



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

General Notes

LEGEND

- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUNDCOVERS
- WOOD FENCE
- BENTH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- ALUMINUM MAILBOX

2	BLUE FOR PART 2 REVIEW	12-15-06
1	BLUE FOR BID	05-12-04
No.	Description	Date

ROOSEVELT SQUARE
PHASE 2
1302 WEST WASHBURN
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

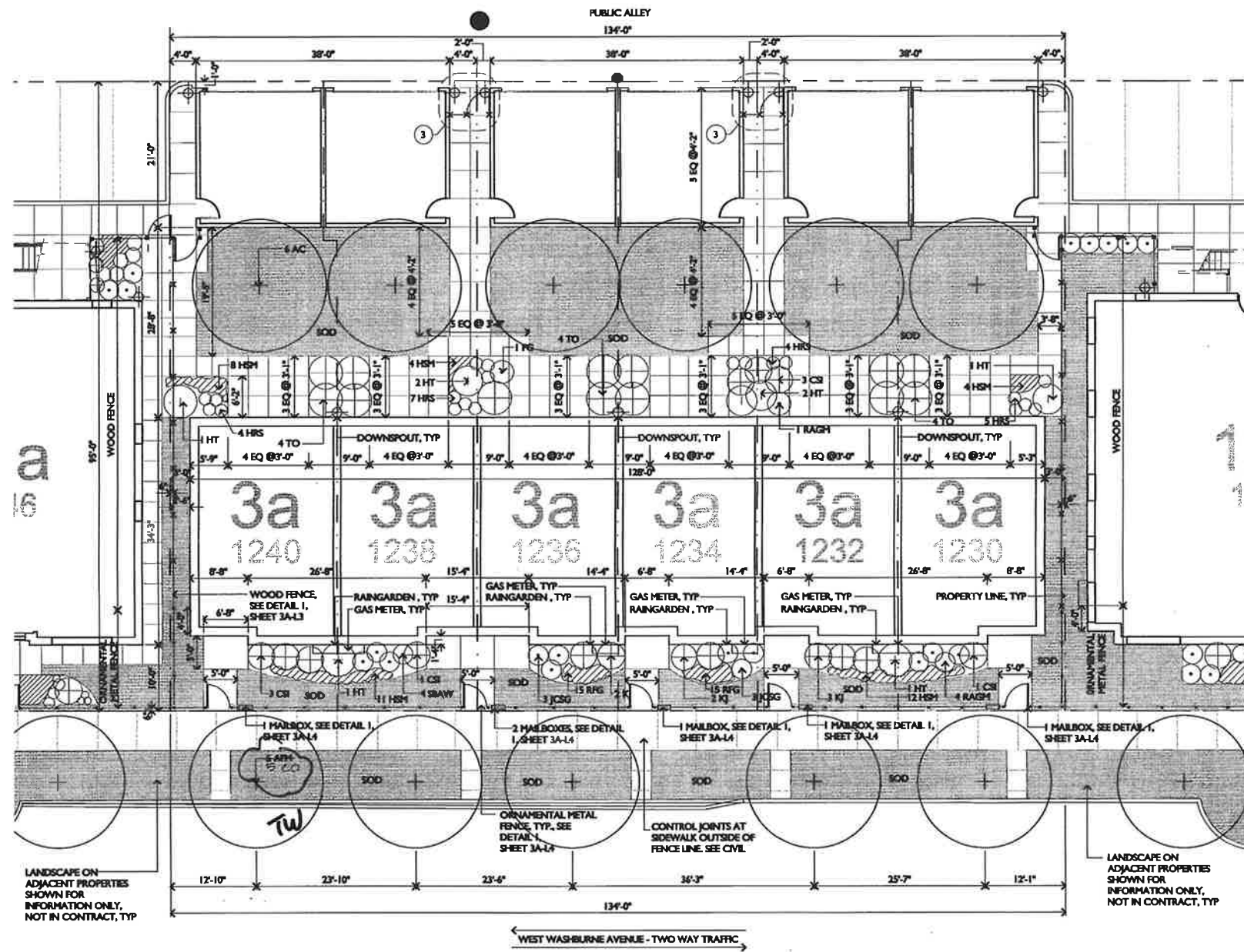
BROOK ARCHITECTURE INC.
ARCHITECTURAL DESIGN PLANNING CONSULTING
200 N. Dearborn, Suite 1000
Chicago, IL 60610
Tel: 312.321.1000 Fax: 312.321.1001

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MECHANICAL ENGINEER
DESTEFANO AND PARTNERS, LTD.
MECHANICAL ENGINEER
PRISM
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

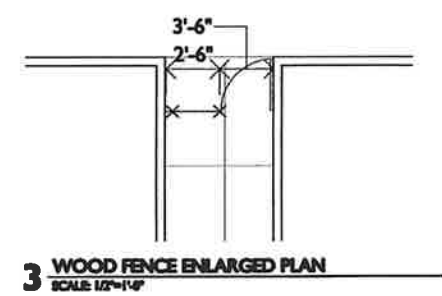
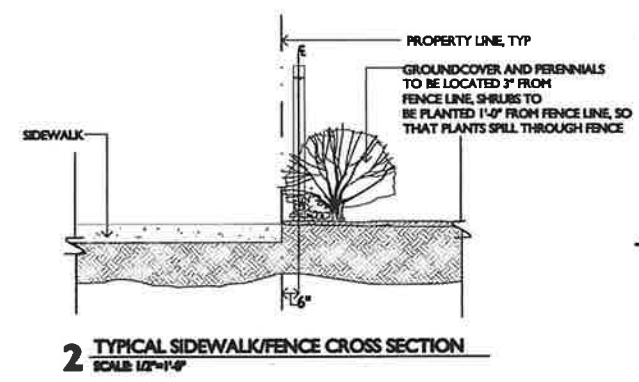
Drawing Title

LANDSCAPE AND SITE
PLAN

Drawn by	DATE
KM	05-12-06
Checked by	Drawing Number
BL	
TW	2A-L1
05063	



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WASHBURN STREET	134'-0"
LENGTH (LINEAR FEET)	
NUMBER OF TREES REQUIRED (1 PER 25 LF)	5
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	5 TREES ARE PROVIDED

VEHICULAR USE AREA SCREENING
NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING
NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT
THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1230/1232/1234/1236/1238/1240 WEST WASHBURN STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."
EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.
THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1230/1232/1234/1236/1238/1240 WEST WASHBURN STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
DATE: 2-12-07

- LEGEND**
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JENNY HATNOT FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - ALUMINUM MAILBOX

2	ISSUE FOR PHASE 2 PERMITS	12-05-08
1	ISSUE FOR BID	04-03-06

ROOSEVELT SQUARE PHASE 2
1230/1232/1234/1236/1238/1240 WEST WASHBURN STREET, CHICAGO, ILLINOIS

ROOSEVELT SQUARE II LIMITED PARTNERSHIP



DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MEP/P ELEC
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND SITE PLAN

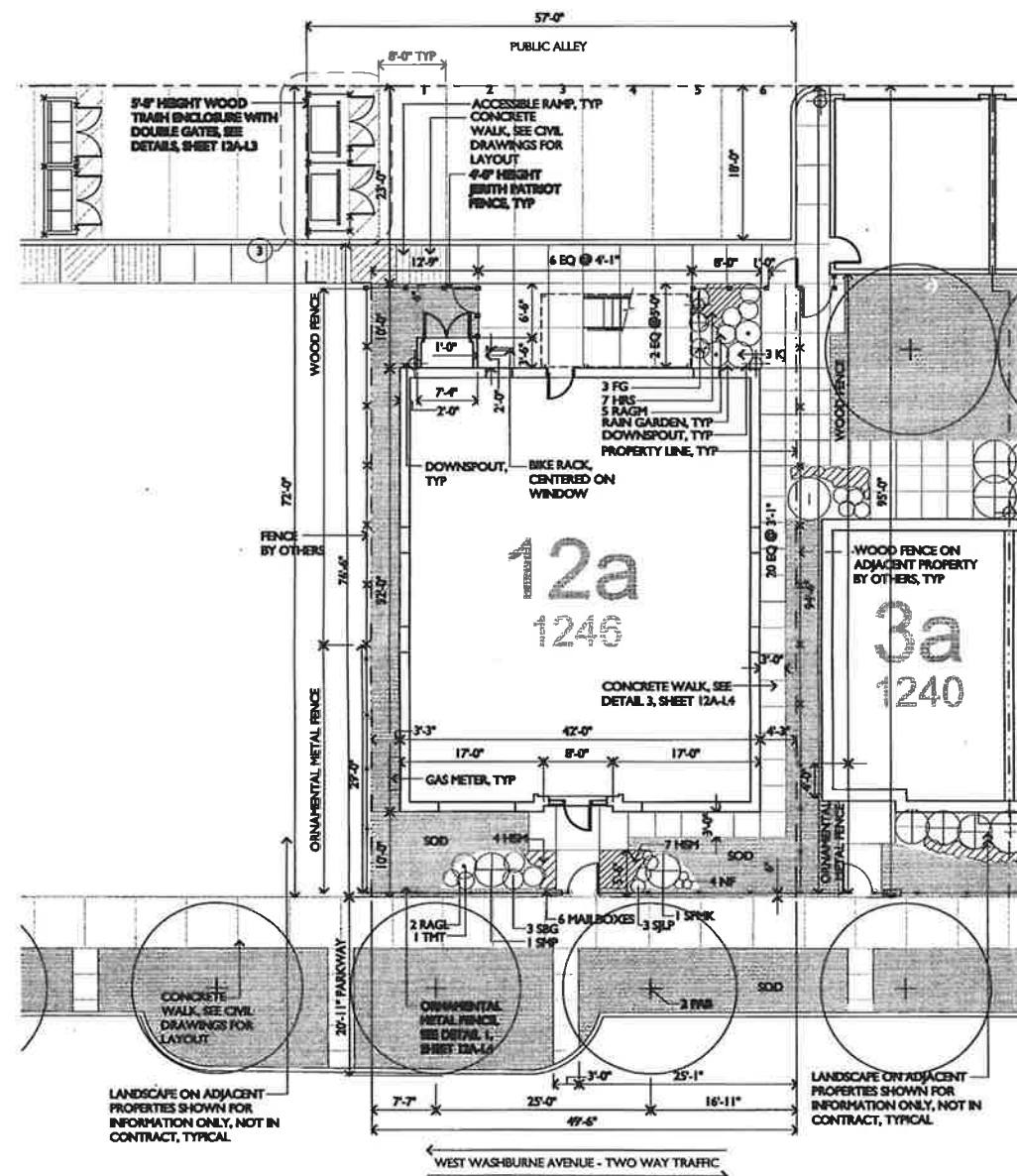
KN 05-12-06

BL

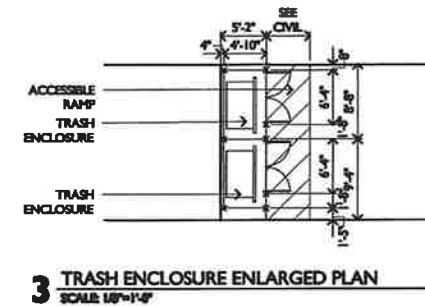
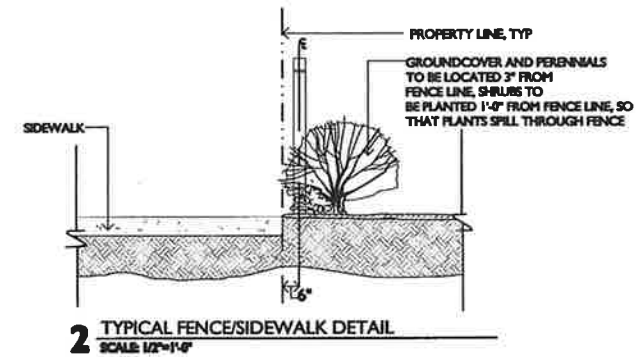
TV

3A-LI

05063



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WEST WASHBURN AVENUE	
LENGTH (LINEAR FEET)	49'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	2

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1246 WEST WASHBURN AVENUE, CHICAGO ILLINOIS 60648, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

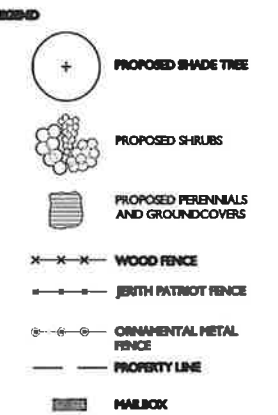
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1246 WEST WASHBURN AVENUE, CHICAGO ILLINOIS 60648 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 01, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.

2-12-07

DATE



12		
11		
10		
9		
8		
7	REVIEW FOR PART 2 REVIEW	12.11.06
6	ISSUE FOR PART 2 REVIEW	02-23-06
5	ISSUED FOR PERMITS	02-08-06
4	ISSUED FOR PERMITS	12-09-05
3	ISSUED FOR PERMITS	11-28-05
2	ISSUED FOR PERMITS	11-16-05
1	ISSUED FOR PERMITS	10-04-05

ROOSEVELT SQUARE
PHASE 2
1246 WEST WASHBURN
CHICAGO, IL

BUILDING TYPE 12A
ROOSEVELT SQUARE II
LIMITED PARTNERSHIP



DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS
H.M.S. ENGINEERS
MECHANICAL ENGINEERS
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

**LANDSCAPE AND
SITE PLAN**

DATE: 8-23-06

BY: TW

2A-L1.1

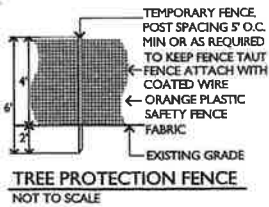
FILE NAME:

EXISTING TREE KEY

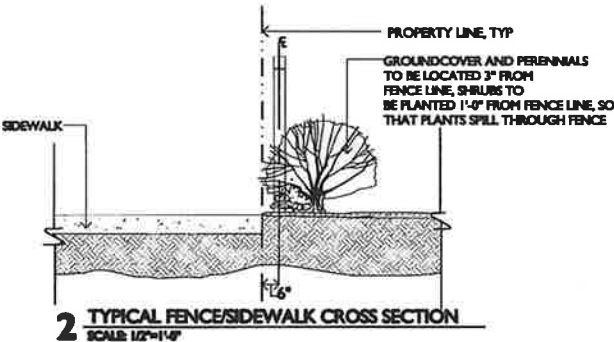
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
6	5.2"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



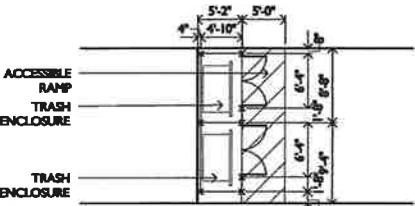
TREE NO. 6



TREE PROTECTION FENCE
NOT TO SCALE



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING	
WEST WASHBURNE AVENUE	
LENGTH (LINEAR FEET)	48'-6"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	1
NUMBER OF ADDITIONAL TREES PROVIDED	1

VEHICULAR USE AREA SCREENING
NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING
NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1314 WEST WASHBURNE AVENUE, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

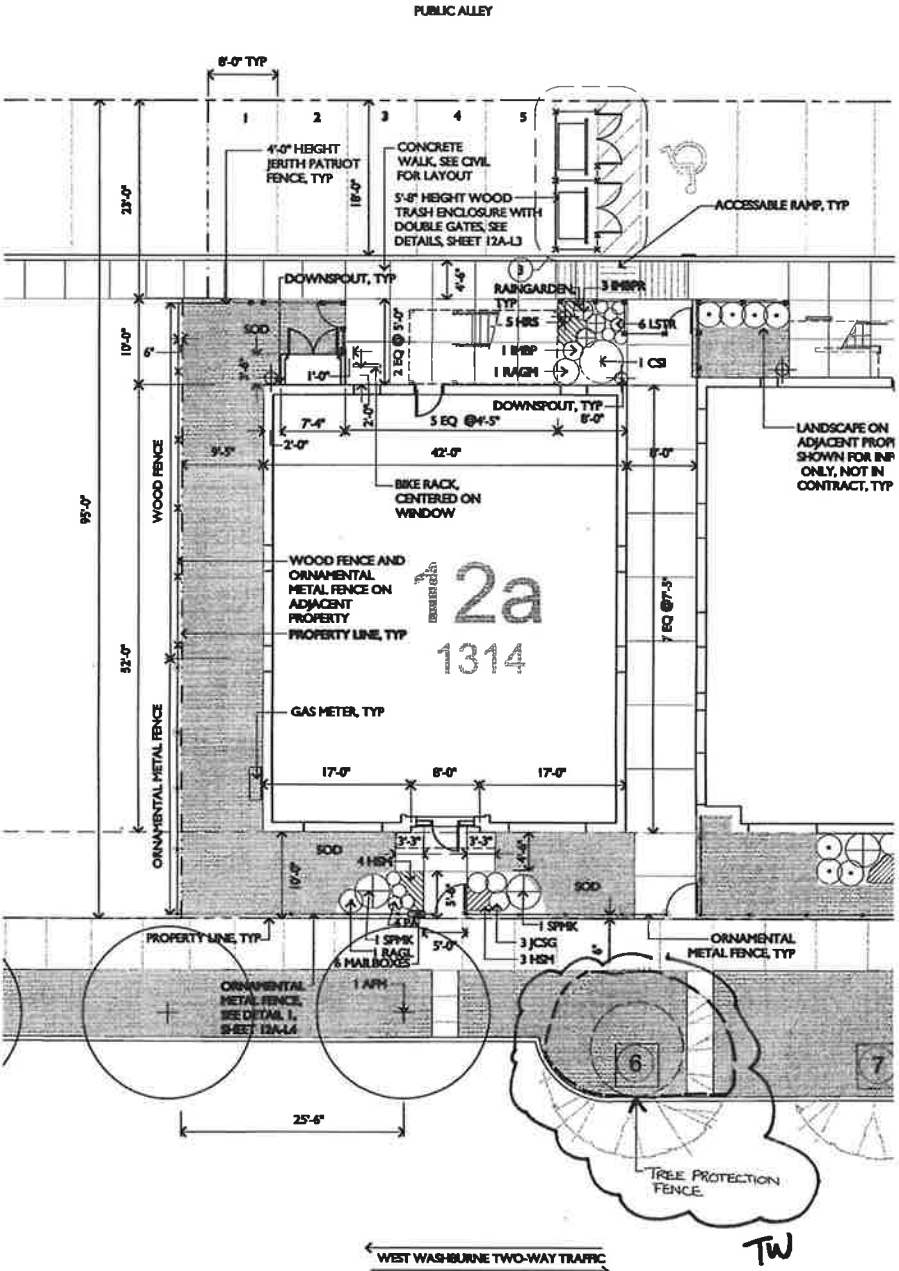
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1314 WEST WASHBURNE AVENUE, CHICAGO ILLINOIS 60608 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE AUGUST 31, 2011.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, INC.
2-12-07
DATE



LANDSCAPE PLAN
SCALE 1/8"=1'-0"

LEGEND

- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUNDCOVERS
- WOOD FENCE
- JERUTH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- ALUMINUM MAILBOX

12		
11		
10		
9		
8		
7		
6		
5		
4	ISSUE FOR PART 2 REVIEW	05-23-08
3	ISSUE FOR PART 2 REVIEW	05-23-08
2	ISSUED FOR 90% CD	11-11-05
1	ISSUED FOR DESIGN DEV.	10-04-05

ROOSEVELT SQUARE
PHASE 2
1314 W. WASHBURNE
CHICAGO, IL 60608
BUILDING TYPE 12A
ROOSEVELT SQUARE I
LIMITED PARTNERSHIP



DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS
H.M.S. ENGINEERS
M.E.P.E. ENGINEERS
DESTEFANO KEATING PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
MCCLUER CORPORATION
CIVIL ENGINEERS
WOLFF CLEMENTS AND ASSOCIATES, LTD.
LANDSCAPE ARCHITECTS

Drawing Title	
LANDSCAPE AND SITE PLAN	
Drawn By	DATE
FOR	05-23-08
Checked By	Designs/Revisions
BY	
Approved	
TW	2A-L1.2
USER NUMBER	
DATE	

EXISTING TREE KEY

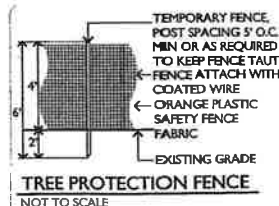
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
2	8.25"	ASH	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
3	4.75"	ASH	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



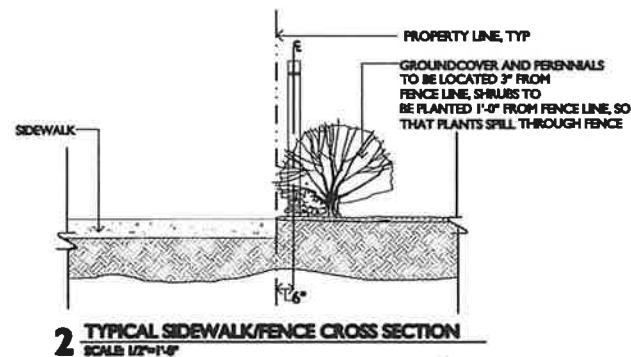
TREE NO. 2



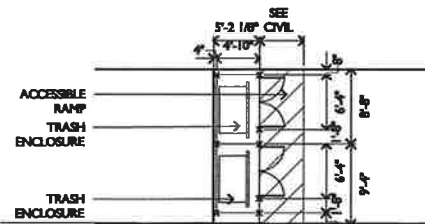
TREE NO. 3



TREE PROTECTION FENCE
NOT TO SCALE



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING	
WEST WASHBURN AVENUE	52'-0"
LENGTH (LINEAR FEET)	52'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	2
NUMBER OF ADDITIONAL TREES PROVIDED	0

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1342 WEST WASHBURN AVENUE, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

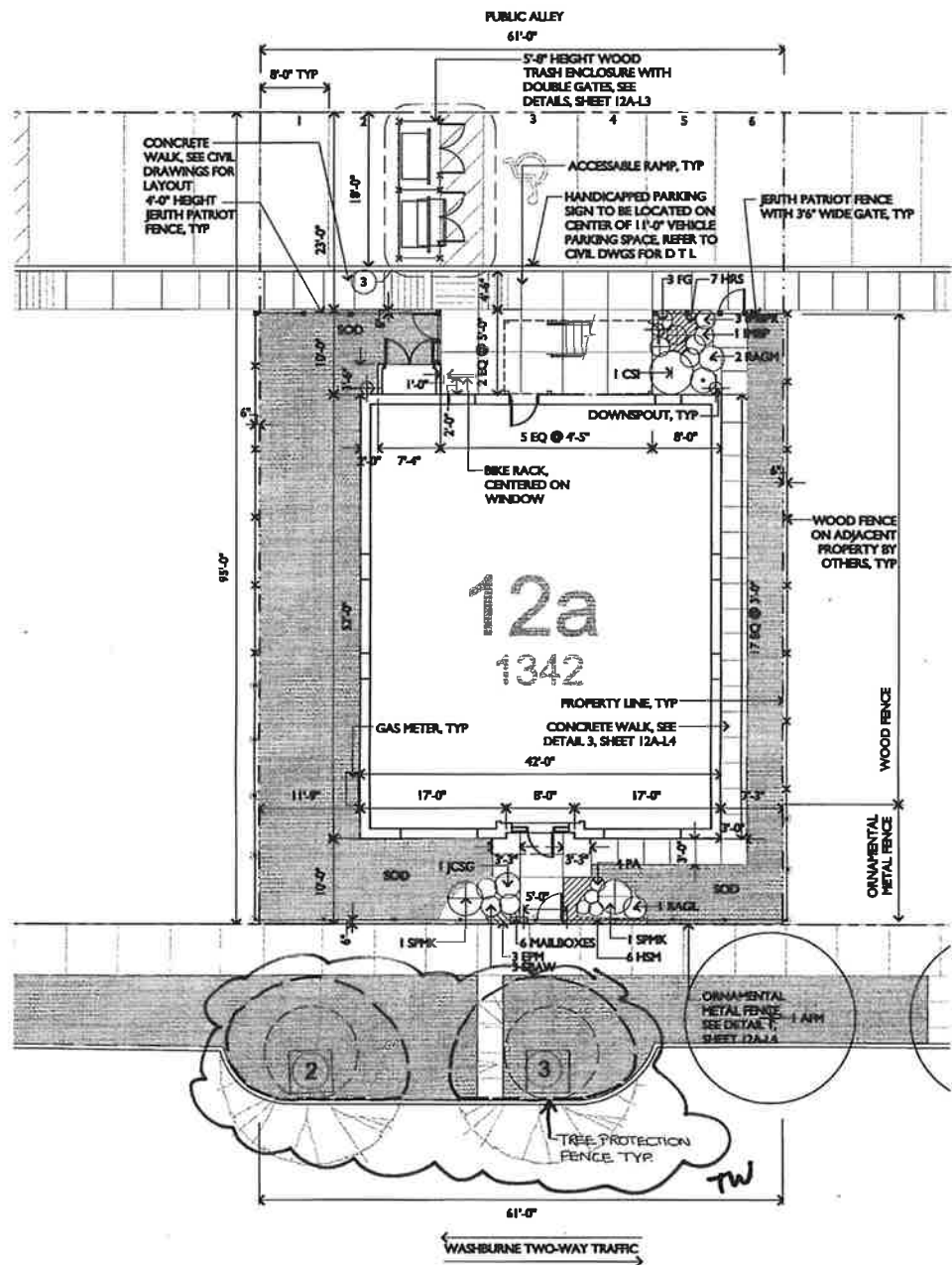
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1342 WEST WASHBURN AVENUE, CHICAGO ILLINOIS 60608 HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2010.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, INC.

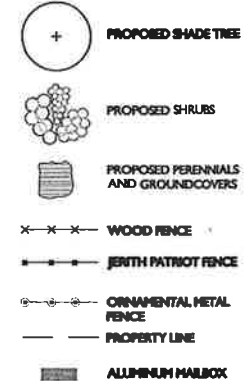
2-12-07

DATE



LANDSCAPE PLAN
SCALE 1/8"=1'-0"

LEGEND



12		
11		
10		
9		
8		
7		
6	ISSUE FOR PART 2 REVIEW	05-10-05
4	ISSUE FOR BID-REVIEW BIDS	05-12-05
3	ISSUE FOR PART 2 REVIEW	04-15-05
2	ISSUED FOR 90% CD	11-11-05
1	ISSUED FOR DESIGN DEV.	10-04-05

ROOSEVELT SQUARE PHASE 11

1342 W. WASHBURN
CHICAGO, IL 60608

BUILDING TYPE 12A ROOSEVELT SQUARE I LIMITED PARTNERSHIP



DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS

H.M.S. ENGINEERS
M.E.P.E. ENGINEERS

DESTEFANO KEATING PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

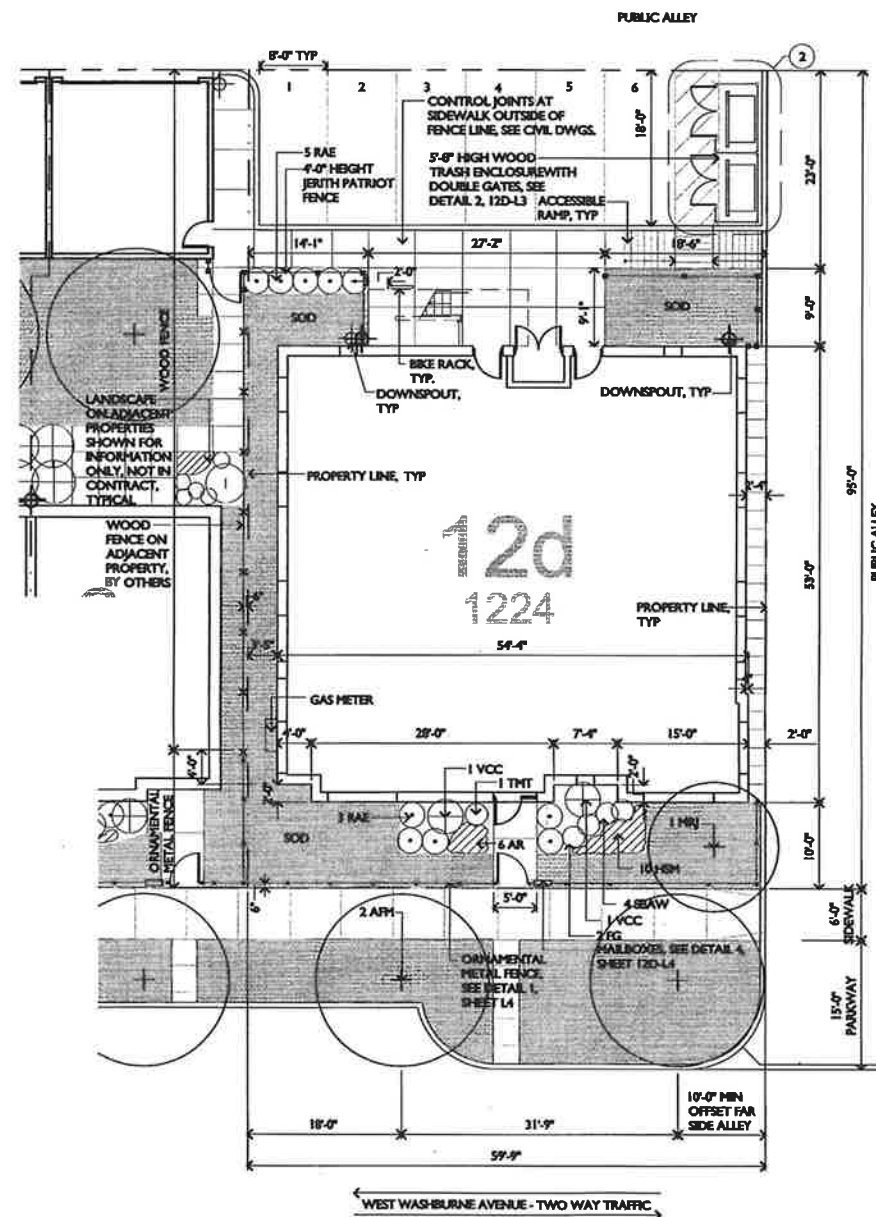
MCCLER CORPORATION
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTS
LANDSCAPE ARCHITECTS

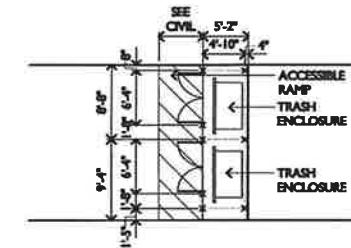
Revising Table

Revised	By	Date
10	DA	05-12-05
09	DA	05-12-05
08	DA	05-12-05
07	DA	05-12-05
06	DA	05-12-05
05	DA	05-12-05

06085



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



2 TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WEST WASHBURNE STREET	
LENGTH (LINEAR FEET)	59'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	2 ADDITIONAL TREES ARE PROVIDED.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1224 WEST WASHBURNE STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE"

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

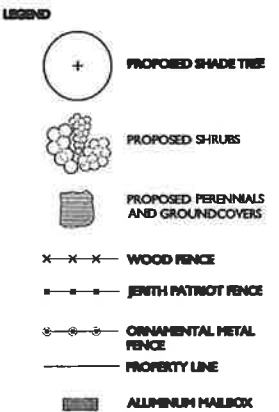
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1224 WEST WASHBURNE STREET, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE"

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 152-000180 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE INC.
2-12-07
DATE



15		
14		
13		
12		
11		
10		
9		
8	ISSUE FOR PART 2 REVIEW	12/15/08
7	ISSUE FOR PART 2 REVIEW	04/15/09
6	ISSUE FOR DISPERSED	09/09/08
5	ISSUE FOR BID	09/09/08
4	100% CD-PERMIT	02/05/09
3	100% CD-REVIEW	12/15/05
2	80% CD	11/09/05
1	100% CD	11/09/05



DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS
HMS ENGINEERING
MECHANICAL ENGINEERS
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND
SITE PLAN

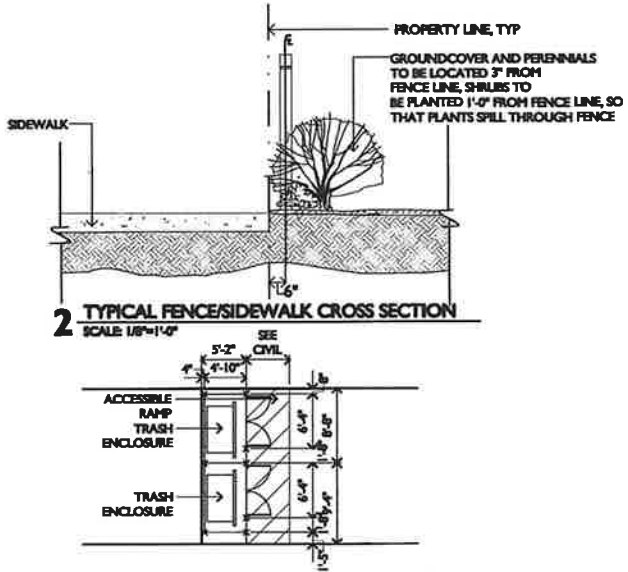
101	04-18-06
102	
103	
104	
105	
106	
107	
108	
109	
110	

12D-L1.1

EXISTING TREE KEY				
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
1	2"	LOCUST	GOOD	TO BE REMOVED



TREE NO. 1



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE 1/8"=1'-0"

3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS
PARKWAY PLANTING

WEST WASHBURNE AVE
LENGTH (LINEAR FEET) 45'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 2
NUMBER OF EXISTING TREES TO REMAIN 0
NUMBER OF ADDITIONAL TREES PROVIDED 2 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS.

THROOP
LENGTH (LINEAR FEET) 95'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 4
NUMBER OF EXISTING TREES TO REMAIN 0
NUMBER OF ADDITIONAL TREES PROVIDED 4 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS.

VEHICULAR USE AREA SCREENING

LENGTH (LINEAR FEET) 18'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 1
NUMBER OF EXISTING TREES TO REMAIN 0
NUMBER OF ADDITIONAL TREES PROVIDED 1 ADDITIONAL TREE IS PROVIDED DUE TO PROXIMITY TO EXISTING SHADE TREES.

THROOP AVENUE IS SCREENED BY A CONTINUOUS HEDGE OF DECIDUOUS SHRUBS

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1256 WEST WASHBURNE AVENUE, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

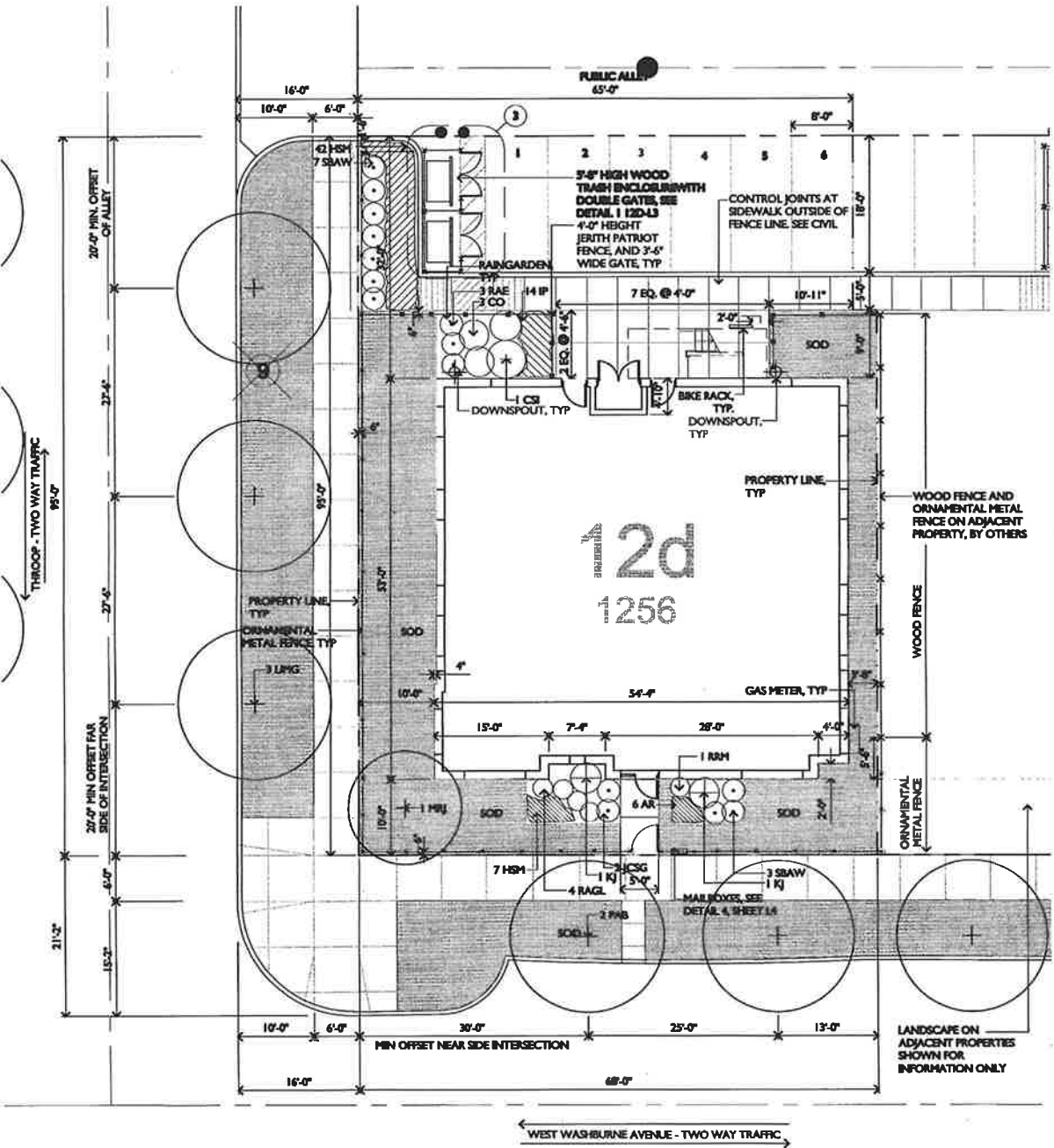
LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1256 WEST WASHBURNE AVENUE, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT, NO. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, P.C.
2-12-07

DATE



LANDSCAPE PLAN
SCALE 1/8"=1'-0"

- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUNDCOVERS
- WOOD FENCE
- JERITH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- MAILBOX

15		
14		
13		
12		
11		
10		
9		
8		
7	ISSUE FOR PART 2 REVIEW	12/15/06
6	ISSUE FOR PERMIT	02/01/08
5	ISSUE FOR PART 2 REVIEW	02/01/08
4	100% CD/PERMIT	02/01/08
3	100% CD/REVIEW	12/19/05
2	90% CD	11/29/05
1	100% CD	11/04/05

**ROOSEVELT SQUARE
PHASE 2
BUILDING 12D**
1256 W. WASHBURNE STREET
CHICAGO, ILLINOIS

**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**



DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS
HMS ENGINEERING
MECHANICAL ENGINEERS
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND
SITE PLAN

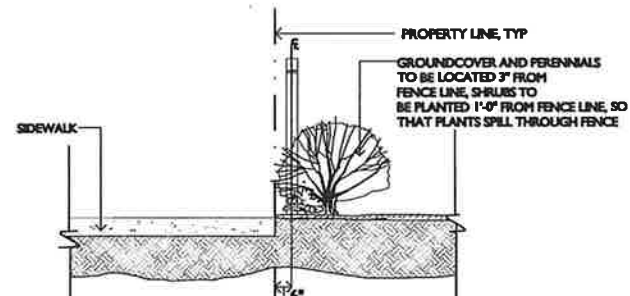
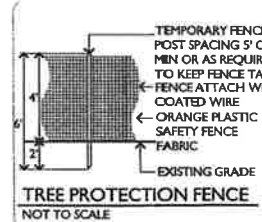
15	05-12-06
14	
13	
12	
11	
10	
9	
8	
7	
6	
5	
4	
3	
2	
1	

EXISTING TREE KEY

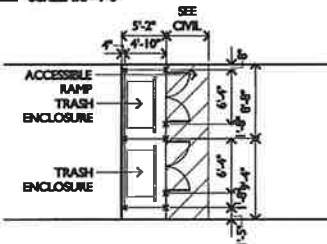
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
7	47"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



TREE NO. 7



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE 1/8"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING	
WEST WASHBURN STREET	62'-8 1/2"
LENGTH (LINEAR FEET)	3
NUMBER OF TREES REQUIRED (1 PER 25 LF)	1
NUMBER OF EXISTING TREES TO REMAIN	1
NUMBER OF ADDITIONAL TREES PROVIDED	1

1 ADDITIONAL TREE IS PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO EXISTING TREE SPACING.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1306 WEST WASHBURN STREET, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

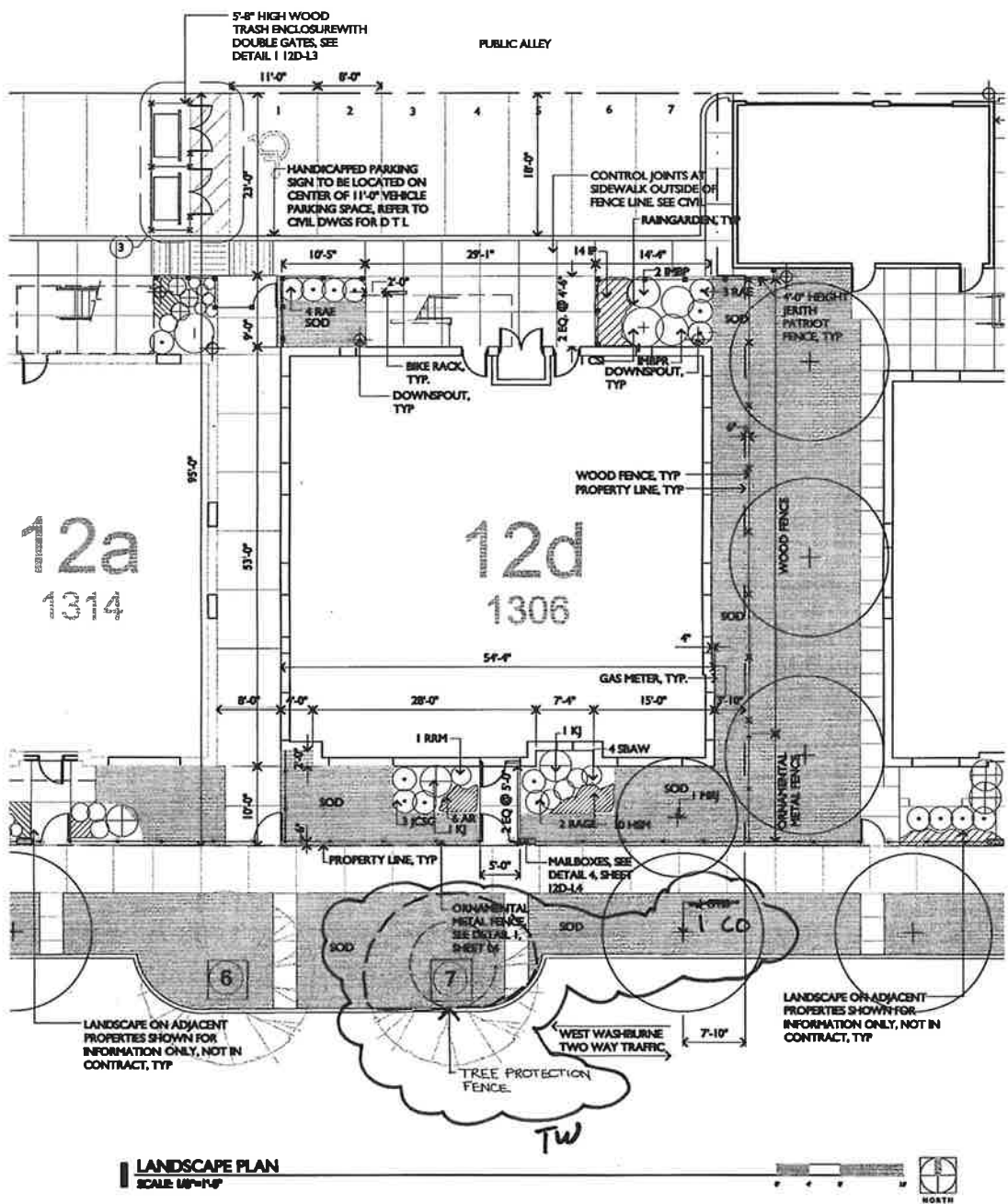
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1306 WEST WASHBURN STREET, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.

2-12-07

DATE



LANDSCAPE PLAN
SCALE 1/8"=1'-0"

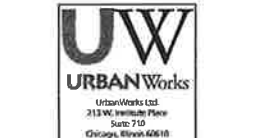
- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUND COVERS
- WOOD FENCE
- JENITH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- ALUMINUM MAILBOX

15		
14		
13		
12		
11		
10		
9		
8		
7	ISSUE FOR PART 2 REVIEW	12/15/05
6	ISSUE FOR PART 2 REVIEW	09/15/05
5	ISSUE FOR PART 2 REVIEW	08/05/05
4	100% CD-FINAL	02/01/05
3	100% CD-FINAL	12/15/05
2	90% CD	11/05/05
1	100% CD	11/04/05

**ROOSEVELT SQUARE
PHASE 2
BUILDING 12D**

1306 W. WASHBURN STREET
CHICAGO, ILLINOIS

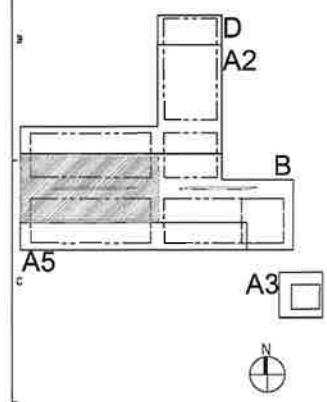
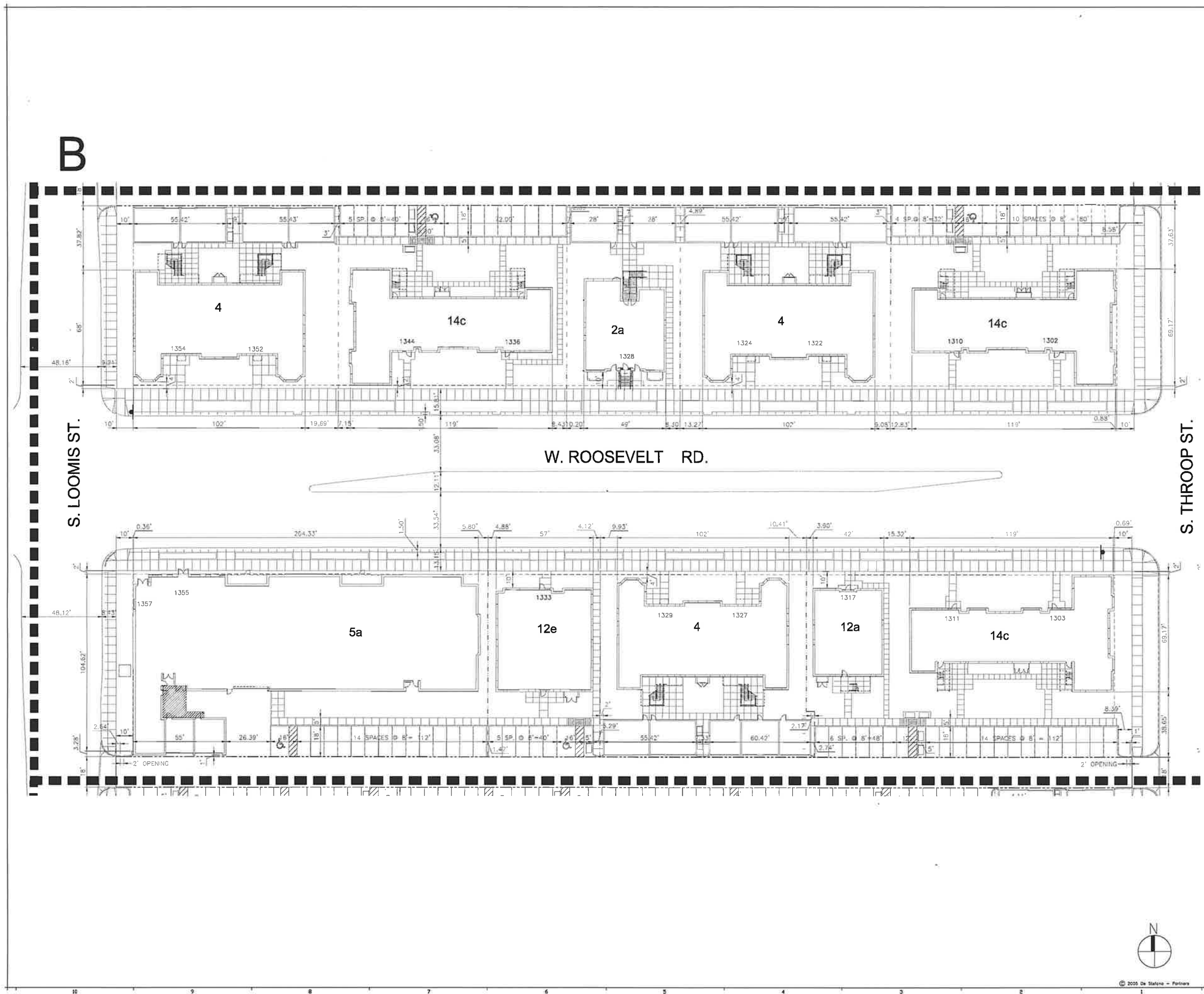
**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**



DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS
HMS ENGINEERING
M.E.P./P. ENGINEERS
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER/ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND
SITE PLAN

KN	05-12-06
EL	
TR	
12D-L1.3	



Rev.	Description	Date
7	ISSUED FOR SITE PLAN APPROVAL	01-30-03
6	ISSUED FOR PART 2-REVIEW	12-15-02
5	ISSUED FOR PART 2-REVIEW	06-26-02
4	ISSUED FOR PART 2-REVIEW	06-08-02
3	ISSUED FOR PART 2-REVIEW	04-28-02
2	ISSUED FOR PART 2-REVIEW	04-19-02
1	ISSUED FOR PART 2-REVIEW	02-09-02

**ROOSEVELT SQUARE
PHASE 2**

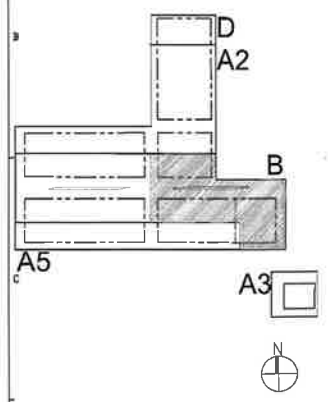
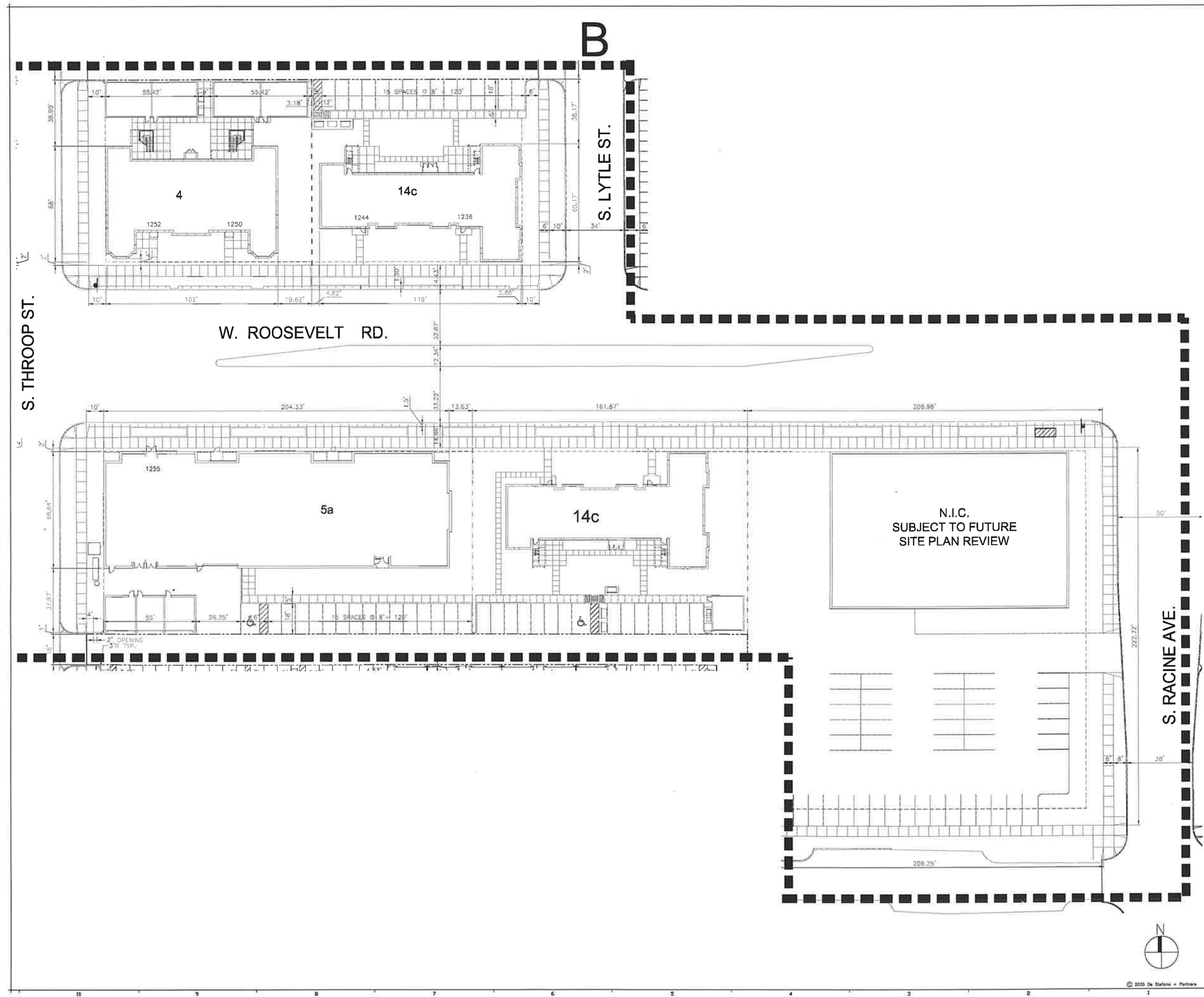
**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS
DeStefano and Partners, Ltd.
445 East Illinois Street
Chicago, Illinois 60611
Architects
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MECHANICAL ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

**PHASE 2
SUB AREA B
SITE PLAN**

Project No. **PDII-B.1**
File Name: _____



7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	05-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR SPD - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
445 East Madison Street
Chicago, Illinois 60611

Architects
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

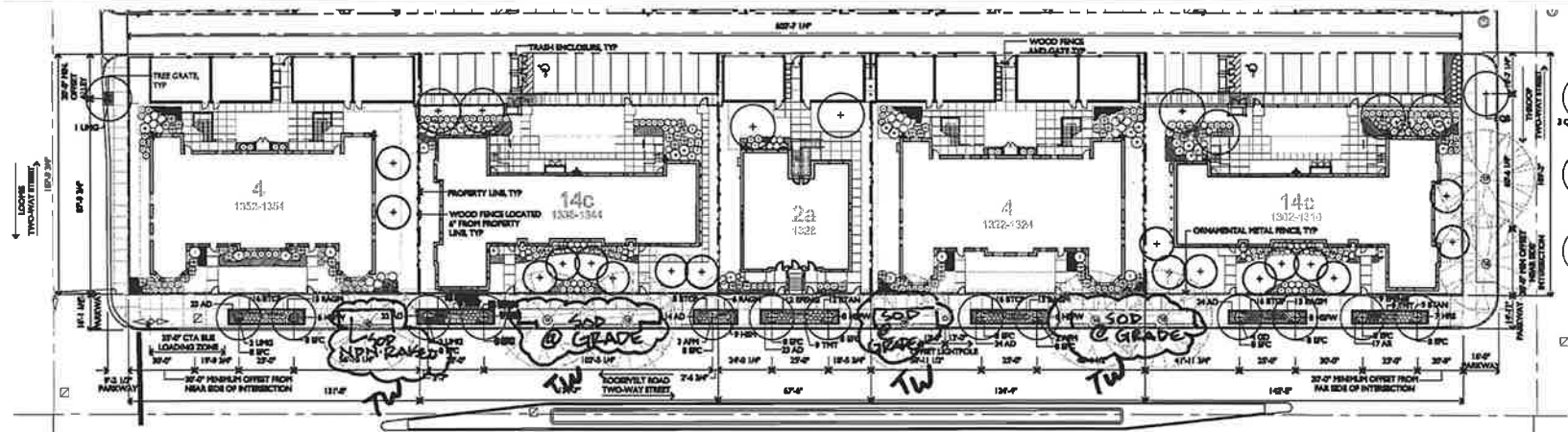
PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

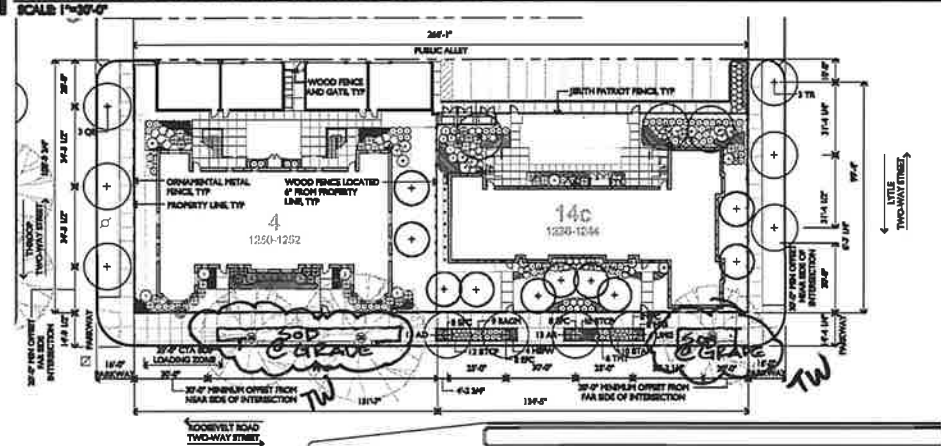
**PHASE 2
SUB AREA B
SITE PLAN**

PDII-B.2

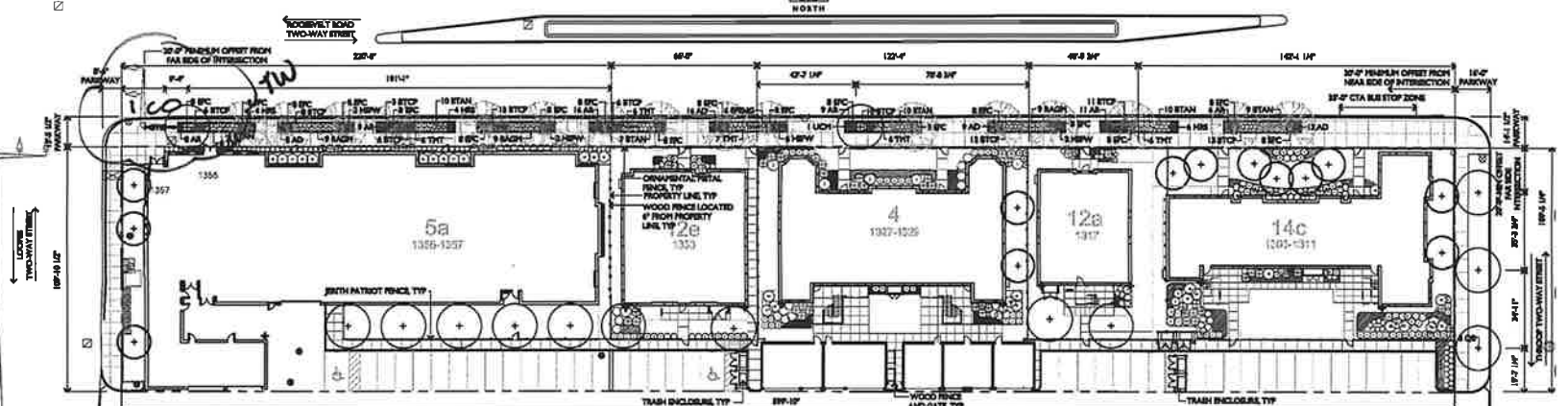
FILE NAME:



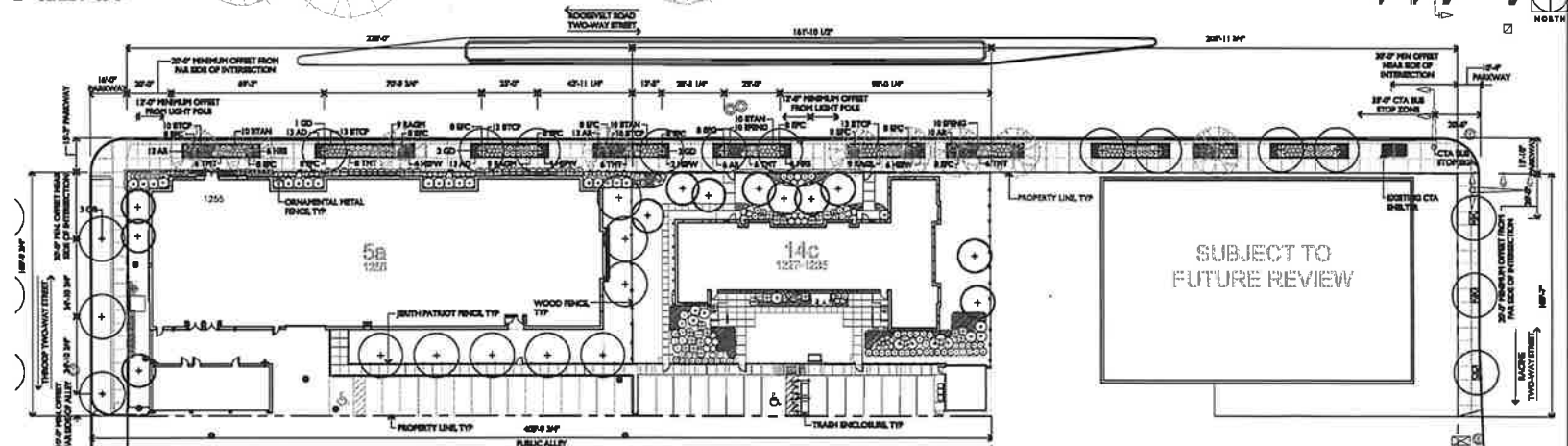
1 SUB AREA B LANDSCAPE PLAN - NORTH OF ROOSEVELT ROAD



2 SUB AREA B LANDSCAPE PLAN - NORTH OF ROOSEVELT ROAD

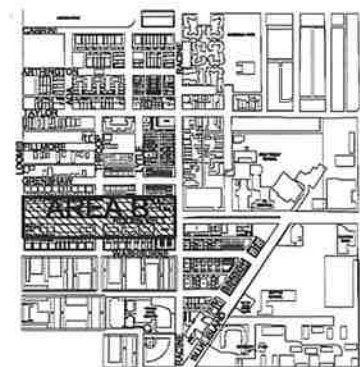


3 SUB AREA B LANDSCAPE PLAN - SOUTH OF ROOSEVELT ROAD



4 SUB AREA B LANDSCAPE PLAN - SOUTH OF ROOSEVELT ROAD

KEYPLAN

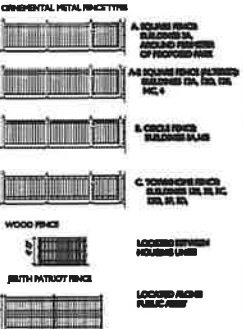


GENERAL NOTES

LEGEND

- RAIN GARDEN
- ORNAMENTAL PLANTING
- LAWN
- PROPOSED TREE
- WOOD FENCE
- 4" HIGH BUILT PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- MAILBOX
- RECYCLING CENTER
- TRASH ENCLOSURE

FENCE TYPE AND LOCATION



8		
7		
6		
5		
4	ISSUE FOR SITE PLAN APPROVAL	1-30-07
3	ISSUE FOR PART 2 REVIEW	12-15-06
2	ISSUE FOR PART 2 REVIEW	06-23-06
1	ISSUE FOR REVIEW	12-02-05
	ISSUE DESCRIPTION	DATE
	LICENSURE SEAL	

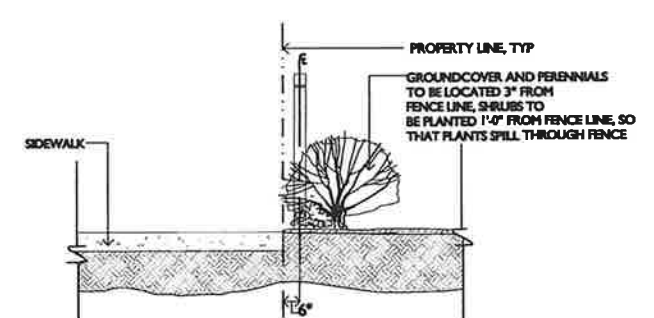
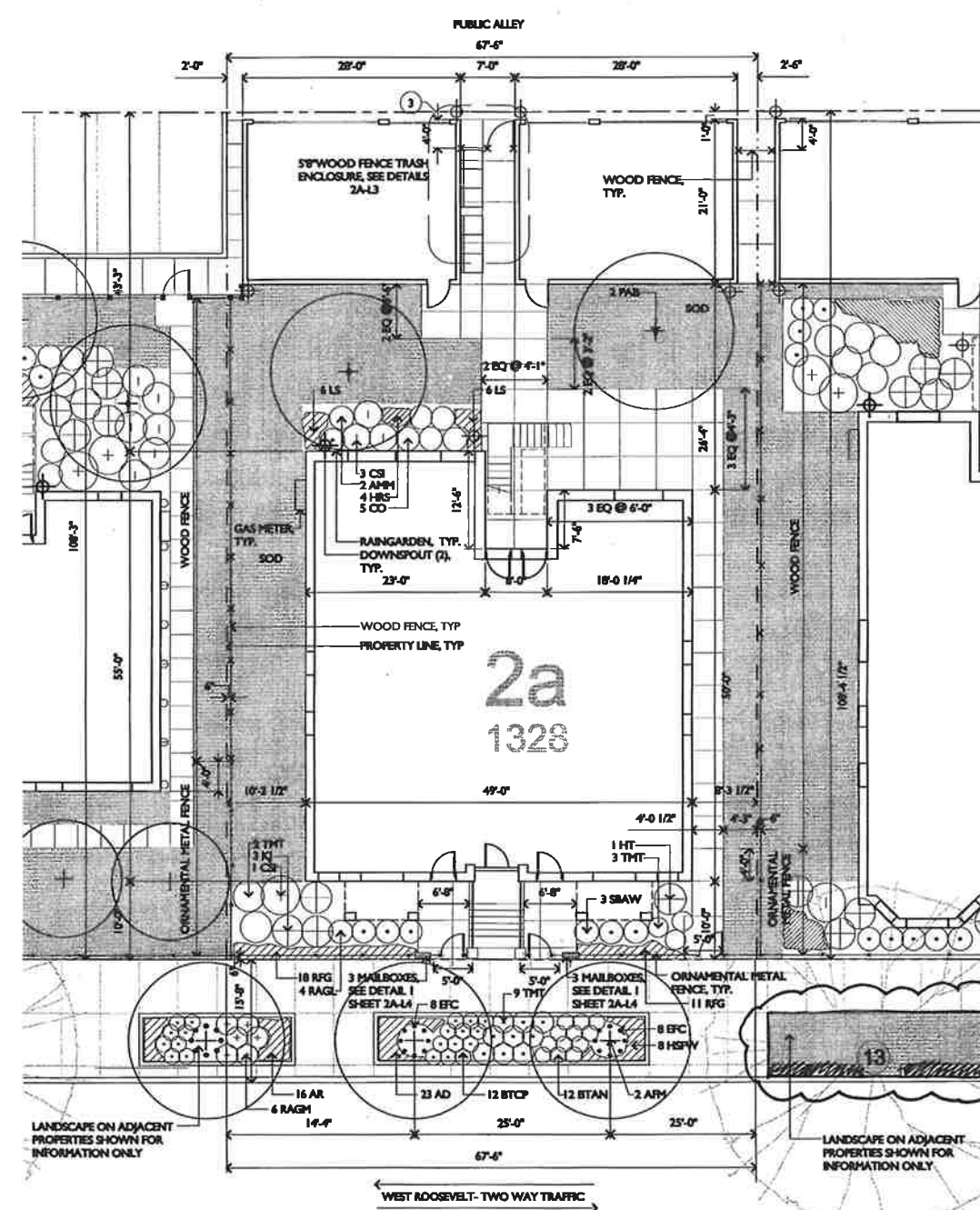
ROOSEVELT SQUARE PHASE TWO

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

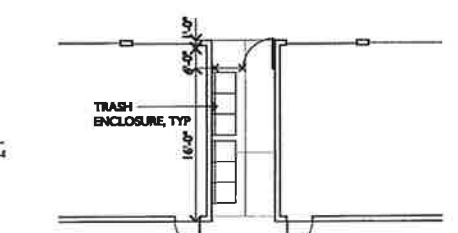
DRAWN BY: JKH
REVIEWED BY: TW
DATE: 04-19-06
SCALE: AS NOTED
PROJECT NUMBER: 05063

SUB AREA B LANDSCAPE PLAN

L101-B



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2\"/>



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8\"/>

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WEST ROOSEVELT	67'-6"
LENGTH (LINEAR FEET)	3
NUMBER OF TREES REQUIRED (1 PER 25 LF)	0
NUMBER OF EXISTING TREES TO REMAIN	2
NUMBER OF ADDITIONAL TREES PROVIDED	2

2 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM TREE SPACING.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1328 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER) _____

DATE _____

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1328 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, INC.
2-12-07
DATE _____

- LEGEND**
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - ALUMINUM MAILBOX

NO.	REVISION	DATE
4	ISSUE FOR PART 2 REVIEW	05-15-08
3	ISSUE FOR BID PREPARE BLDG	05-13-08
2	ISSUE FOR PART 2 REVIEW	04-18-08
1	ISSUE FOR BID	04-11-08

ROOSEVELT SQUARE PHASE 2
1328 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2 LIMITED PARTNERSHIP

BROOK ARCHITECTURE INC.
ARCHITECTURAL, INTERIOR, EXTERIOR, PLANNING, CONSULTING
200 W. Lake, Suite 1100
Chicago, IL 60606
(312) 526-1000 / Fax (312) 526-1001

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DEBETANO AND PARTNERS, LTD.
MECHANICAL ENGINEER

PROSS
CIVIL ENGINEER

WOLFF CLEMENTS AND ASSOCIATES, LTD.
LANDSCAPE ARCHITECT

LANDSCAPE AND SITE PLAN

NO 05-13-08

BL

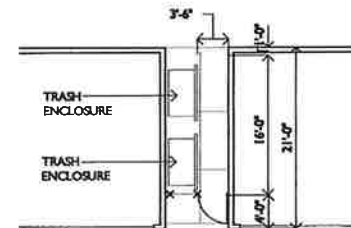
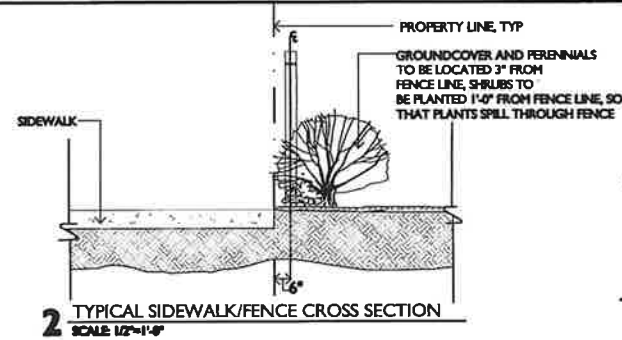
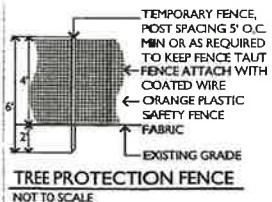
TW

2A-LI

05003

EXISTING TREE KEY

NUMBER	SIZE	SPECIES	CONDITION	REMARKS
35	30"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
36	20"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

ROOSEVELT ROAD
LENGTH (LINEAR FEET)
NUMBER OF TREES REQUIRED (1 PER 25 LF)
NUMBER OF EXISTING TREES TO REMAIN
NUMBER OF ADDITIONAL TREES PROVIDED

131'-7"
5
2
0 TREES ARE PROVIDED DUE TO EXISTING TREE SPACING AND MINIMUM INTERSECTION OFFSET AND BUS STOP ZONE.

THROOP AVE
LENGTH (LINEAR FEET)
NUMBER OF TREES REQUIRED (1 PER 25 LF)
NUMBER OF EXISTING TREES TO REMAIN
NUMBER OF ADDITIONAL TREES PROVIDED

108'-11"
4
0
3 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO MINIMUM SETBACK REQUIREMENTS.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1250/1252 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

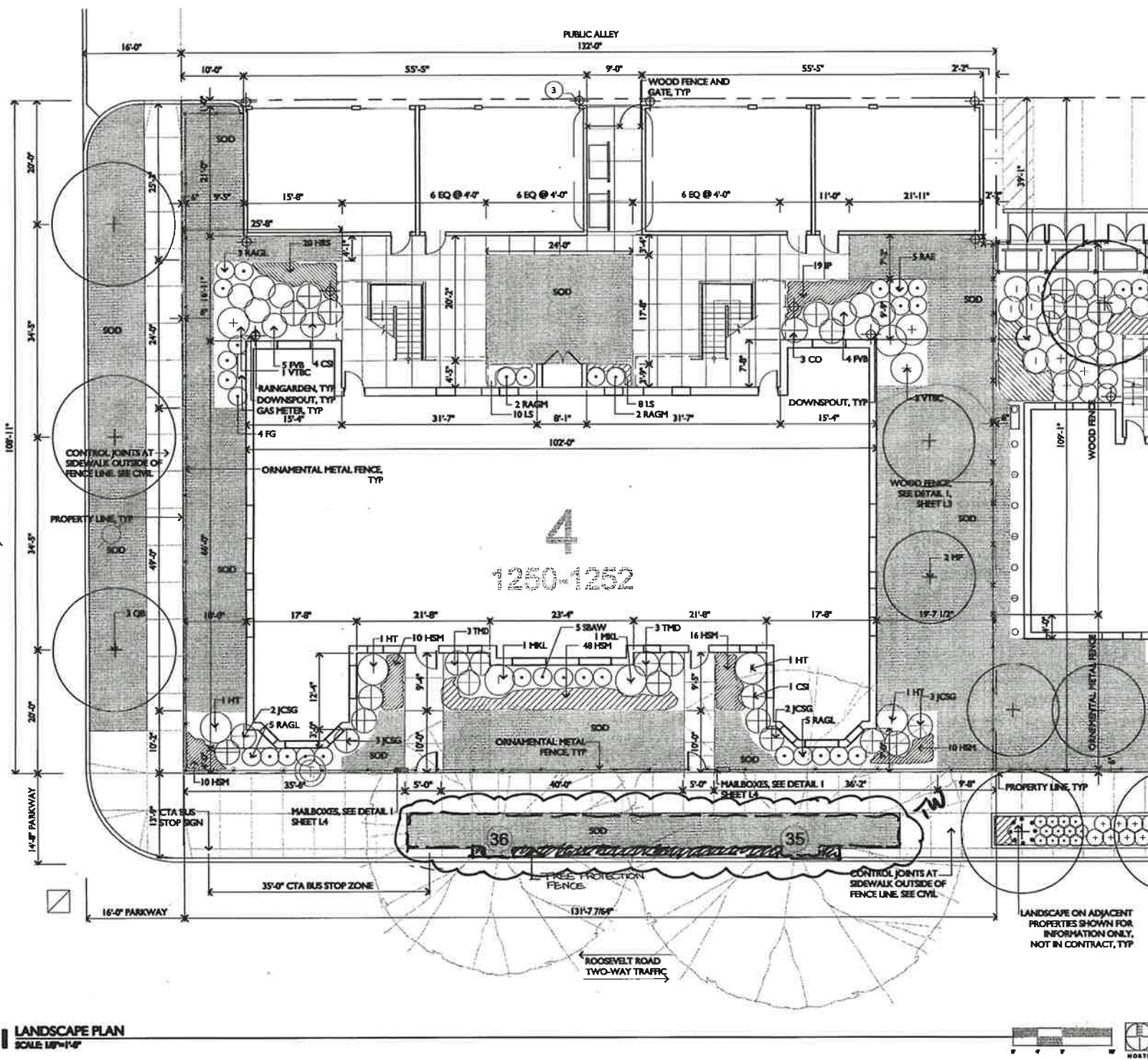
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1250/1252 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000110 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
2-12-07
DATE



LEGEND

- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUNDCOVERS
- WOOD FENCE
- JENITH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- ALUMINUM MAILBOX

NO.	ISSUE FOR PART 2 REVIEW	DATE
7	ISSUE FOR BID	05-12-08
6	100% CONSTRUCTION DOCUMENTS	02-24-08
5	80% CONSTRUCTION DOCUMENTS	02-13-08
4	50% CONSTRUCTION DOCUMENTS	01-25-08
3	100% DESIGN DEVELOPMENT REVIEW	01-12-08
2	DESIGN DEVELOPMENT REVIEW	12-27-07
1	ISSUED FOR SCHEMATIC DESIGN	05-23-04

ROOSEVELT SQUARE PHASE II

BUILDING 4

1250/1252 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II LLC

ARCHITECTURE + ENGINEERING + PLANNING + URBAN DESIGN
ECONOMIC DEVELOPMENT + CONSTRUCTION MANAGEMENT



51 West Kinzie Street, Suite 2000 Chicago, Illinois 60610
Telephone: (312) 644-0000 Facsimile: (312) 644-0104

DAVID MASON AND ASSOCIATES

STRUCTURAL ENGINEERS

HMS ENGINEERING

MECHANICAL ENGINEERS

BESTEFANO AND PARTNERS, LTD.

MECHANICAL ENGINEERS

PRISM ENGINEERING INC.

CIVIL ENGINEERS

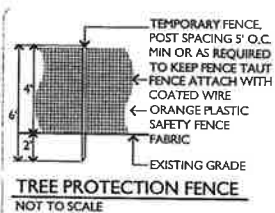
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE PLAN

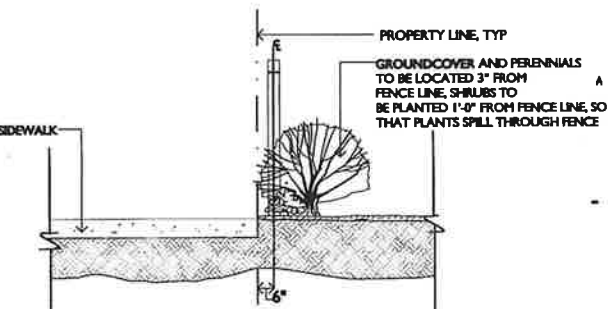
KN	04-19-06
BL	
TW	
05063	

4-L1.2

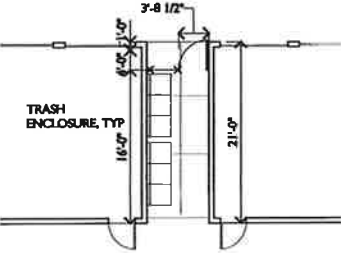
EXISTING TREE KEY	NUMBER	SIZE	SPECIES	CONDITION	REMARKS
	13	22"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
	14	22"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



TREE NO. 13 TREE NO. 14



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE 1/2"=1'-0"



3 TYPICAL TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING	
ROOSEVELT ROAD	124'-0"
LENGTH (LINEAR FEET)	5
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	2
NUMBER OF ADDITIONAL TREES PROVIDED	2

2 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE ADDED DUE TO EXISTING TREE SPACING.

VEHICULAR USE AREA SCREENING
NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING
NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1322/1324 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

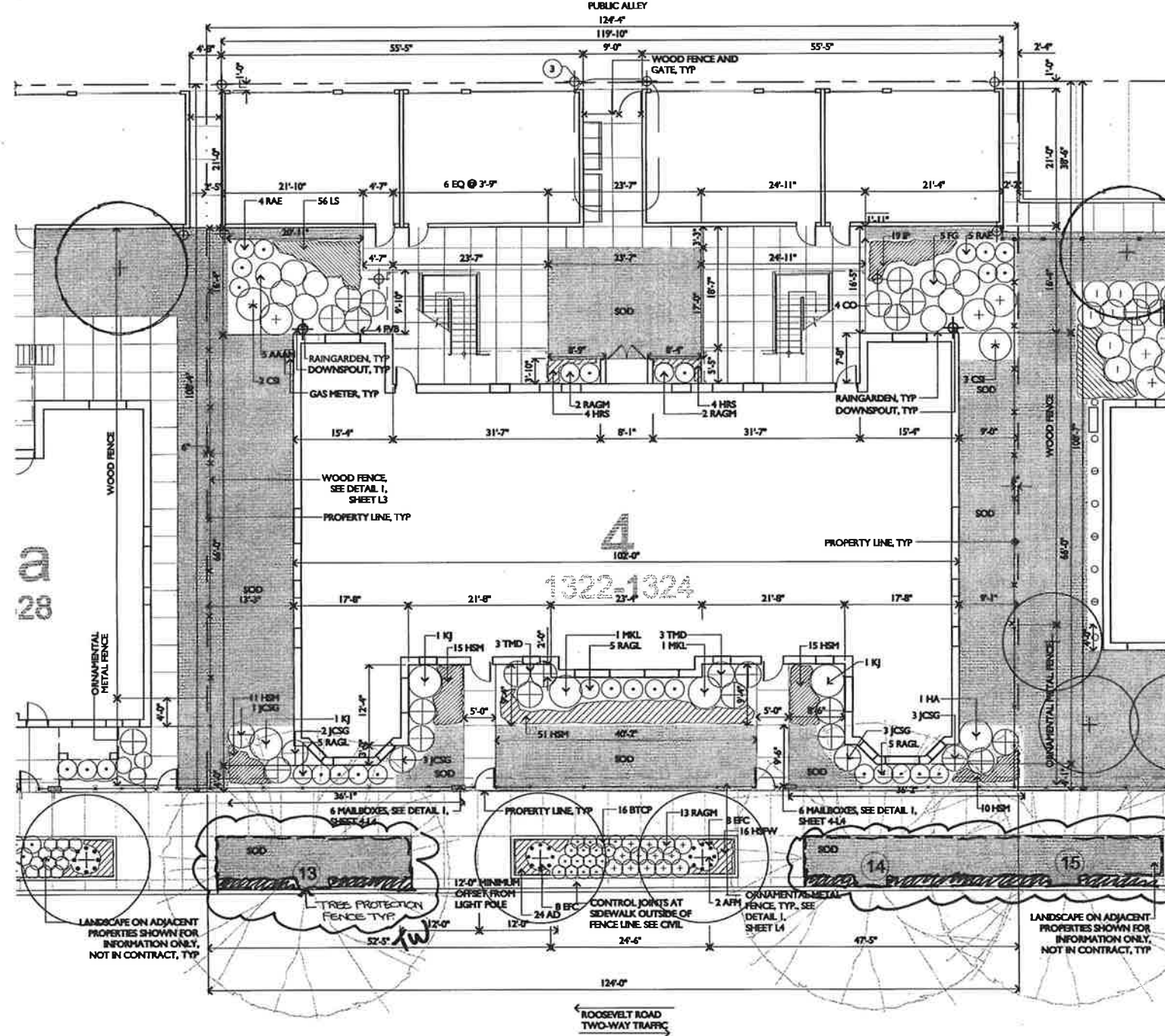
BY (OWNER)
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1322/1324 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 152-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
2-12-07
DATE



LANDSCAPE PLAN
SCALE 1/8"=1'-0"

- LEGEND
- PROPOSED SHADE TREE
 - PROPOSED SHRUBS
 - PROPOSED PERENNIALS AND GROUNDCOVERS
 - WOOD FENCE
 - JENNY PATRIOT FENCE
 - ORNAMENTAL METAL FENCE
 - PROPERTY LINE
 - ALUMINUM MAILBOX

ISSUE FOR PART 2 REVIEW	12-05-08
ISSUE FOR BID	04-11-06
100% CONSTRUCTION DOCUMENTS	02-24-06
80% CONSTRUCTION DOCUMENTS	02-13-06
60% CONSTRUCTION DOCUMENTS	01-25-06
100% DESIGN DEVELOPMENT REVIEW	01-12-06
DESIGN DEVELOPMENT REVIEW	12-07-05
ISSUED FOR SCHEMATIC DESIGN	05-23-04

ROOSEVELT SQUARE
PHASE II
BUILDING 4
1322/1324 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS
ROOSEVELT SQUARE II LLC

ARCHITECTURE + ENGINEERING + PLANNING + URBAN DESIGN
SCHEMATIC DEVELOPMENT + CONSTRUCTION MANAGEMENT

MACONDO corp.

31 West State Street, Suite 2000 Chicago, Illinois 60601
Telephone: (312) 344-5500 Facsimile: (312) 344-0225

DAVID JASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MECHANICAL ENGINEER
DESTEFANO AND PARTNERS, LTD.
LANDSCAPE ARCHITECT / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

REV	DATE	DESCRIPTION
KN	04-19-06	
BL		
TV		

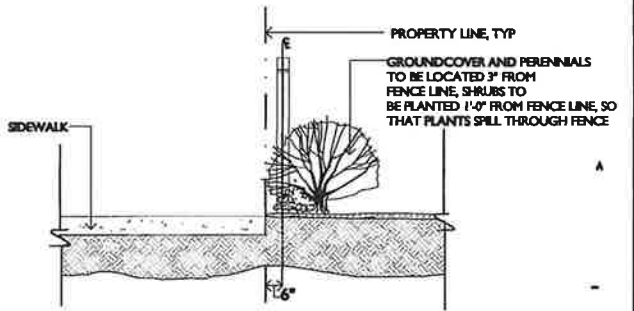
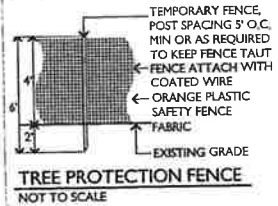
4-L1.3

EXISTING TREE KEY

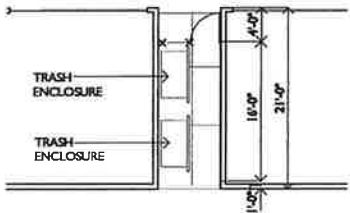
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
10	2"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



TREE NO. 10



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS
PARKWAY PLANTING

ROOSEVELT ROAD LENGTH (LINEAR FEET)	131'-8"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	5
NUMBER OF EXISTING TREES TO REMAIN	1
NUMBER OF ADDITIONAL TREES PROVIDED	2

2 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO EXISTING TREE SPACING AND BUS STOP ZONE.

LOOMIS ROAD LENGTH (LINEAR FEET)	123'-11"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	5
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	1

1 ADDITIONAL TREE IS PROVIDED. ADDITIONAL TREES CANNOT BE PROVIDED DUE TO PARKWAY WIDTH.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1352/1354 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1352/1354 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-0001190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE
2-12-07
DATE

LEGEND

- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUND COVERS
- WOOD FENCE
- JENITH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- ALUMINUM MAILBOX

9	ISSUE FOR PART 2 REVIEW	12-18-06
8	ISSUE FOR BID-REPEAT BLDG	09-12-06
7	ISSUE FOR BID	05-12-06
6	100% CONSTRUCTION DOCUMENTS	02-24-06
5	80% CONSTRUCTION DOCUMENTS	02-13-06
4	60% CONSTRUCTION DOCUMENTS	01-25-06
3	100% DESIGN DEVELOPMENT REVIEW	01-12-06
2	DESIGN DEVELOPMENT REVIEW	12-27-05
1	ISSUED FOR SCHEMATIC DESIGN	05-22-04

ROOSEVELT SQUARE
PHASE II

BUILDING 4
1352/1354 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE II LLC

ARCHITECTURE • ENGINEERING • PLANNING • ENVIRONMENTAL DESIGN
ECONOMIC DEVELOPMENT • CONSTRUCTION MANAGEMENT



21 West Lincoln Street, Suite 2000 Chicago, Illinois 60606
Telephone: (312) 644-5000 Fax: (312) 644-0008

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

LANDSCAPE AND
SITE PLAN

KN	05-12-06
BL	
1W	
65063	

4-L1.4

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

SOUTH THROOP STREET
LENGTH (LINEAR FEET) 109'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 4
NUMBER OF EXISTING TREES TO REMAIN 0
NUMBER OF ADDITIONAL TREES PROVIDED 4

3 TREES ARE PROVIDED.
ADDITIONAL TREES BEYOND THIS
NUMBER CANNOT BE PROVIDED
DUE TO MINIMUM DRIVEWAY
SETBACK REQUIREMENTS.

WEST ROOSEVELT ROAD
LENGTH (LINEAR FEET) 228'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 9
NUMBER OF EXISTING TREES TO REMAIN 0
NUMBER OF ADDITIONAL TREES PROVIDED 9

3 ADDITIONAL TREES ARE
PROVIDED. ADDITIONAL TREES
BEYOND THIS NUMBER CANNOT
BE ADDED DUE TO EXISTING TREE
SPACING AND INTERSECTION
OFFSET.

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, PARKING AREA IS NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1255 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 18, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1255 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 18, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

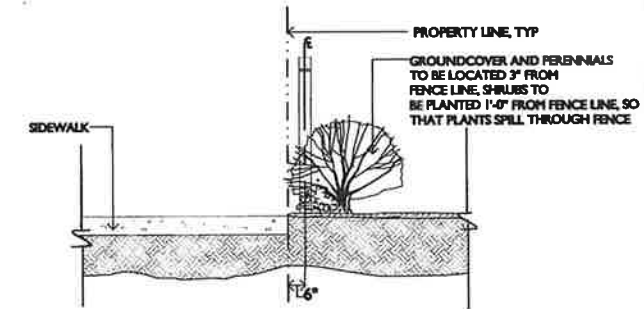
I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECT, LLC

DATE

NOTE:

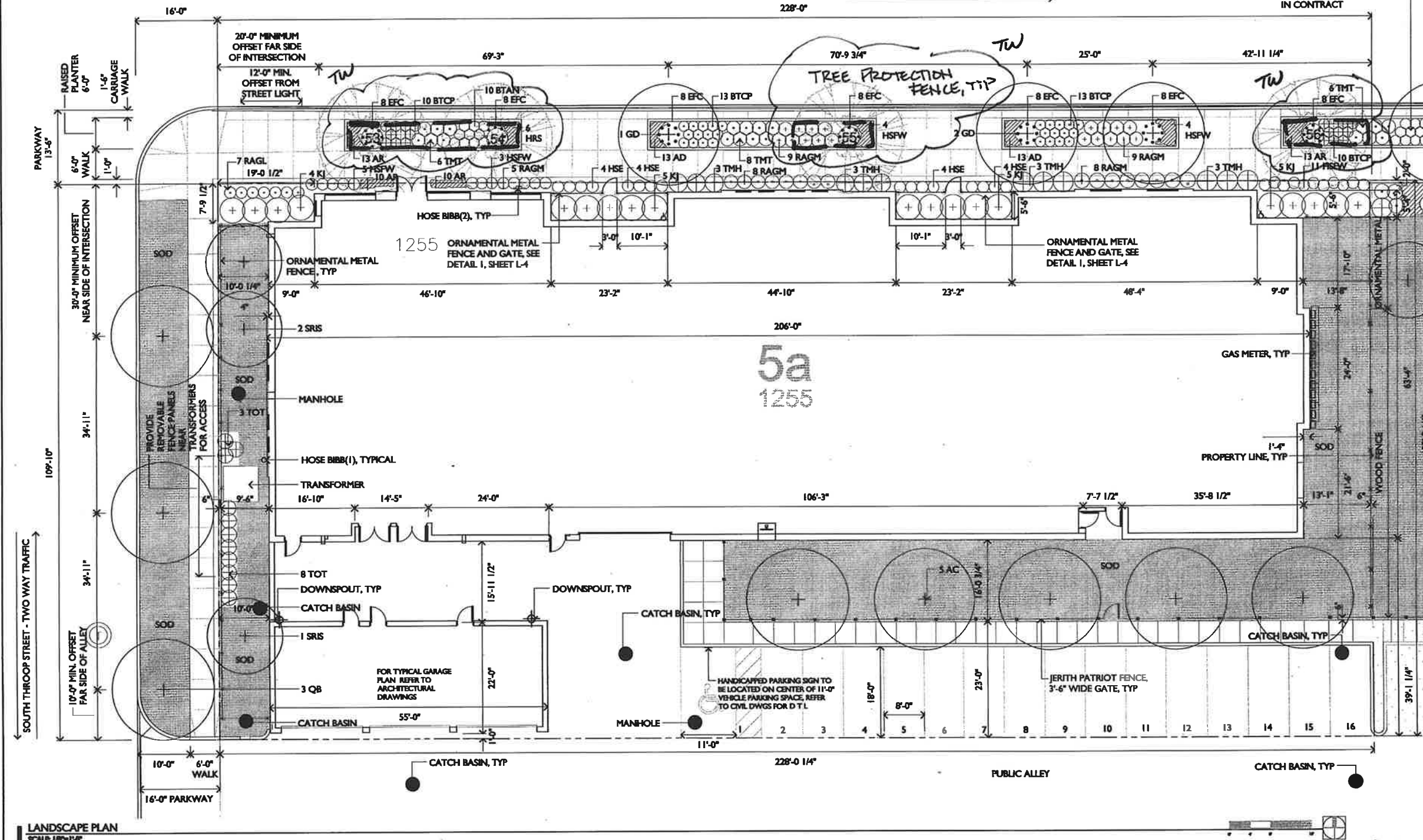
EXISTING TREE PICTURES AND TABLE ON SHEET L-2



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE 1/2"=1'-0"

LEGEND

- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- PROPOSED PERENNIALS AND GROUNDCOVERS
- WOOD FENCE
- JERITH PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- PROPERTY LINE
- ALUMINUM MAILBOX



4	ISSUE FOR PART 2 REVIEW	12-15-08
3	ISSUE FOR DEC. REVIEW	07-07-08
2	ISSUE FOR BID	04-03-08
1	ISSUED FOR 100% CD	01-26-08

**ROOSEVELT SQUARE
PHASE 2**
BUILDING 5A
1255 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS
RS HOMES II LLC

ARCHITECTURE • ENGINEERING • PLANNING • URBAN DESIGN
ECONOMIC DEVELOPMENT • CONSTRUCTION MANAGEMENT

MACONDO
corp.

21 West Kinzie Street, Suite 2000 Chicago, Illinois 60610
Telephone: (312) 644-5600 Facsimile: (312) 644-0306

SAMARTANO AND COMPANY
STRUCTURAL ENGINEERS
W-T ENGINEERING, LLC
MECHANICAL ENGINEERS
DESTEFANO PARTNERS, LTD.
WATER PLANNER / ARCHITECT
PRISM ENGINEERING, INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE PLAN

5A-L1.1

PARKWAY PLANTING

100-9 3/4"
4
0
0 TREES ARE PROVIDED DUE TO
PARKWAY WIDTH LESS THAN 9'-0"

220'-6"
9
7
1 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO EXISTING TREE SPACING AND INTERSECTION OFFSET.

NOT APPLICABLE, PARKING AREA IS NOT ALONG A PUBLIC RIGHT OF WAY

NOT APPLICABLE

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 12551/12517 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60648, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 18, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2009.

DATE _____

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1355/1356/1357 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60606, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 18, CHAPTER 22 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

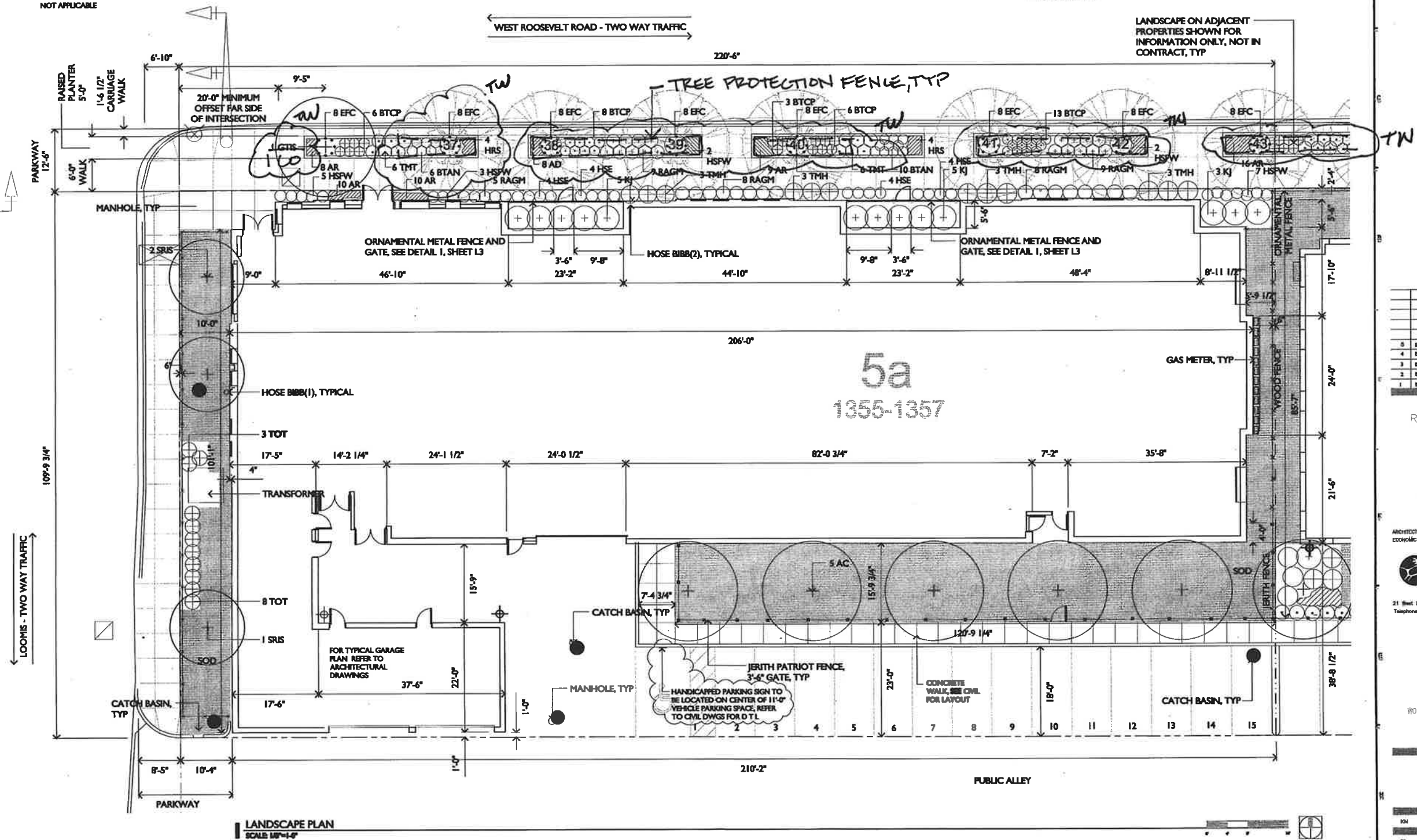

 FBI

DATE _____

EXISTING TREE PICTURES AND TABLE ON SHEET L-2



LANDSCAPE ON ADJACENT —
PROPERTIES SHOWN FOR
INFORMATION ONLY, NOT IN
CONTRACT, TYP



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

PUBLIC ALLEY

LEGEND



5	ISSUED FOR PART 2 REVIEW	12-15-08
4	ISSUED FOR CUC REVIEW	07-07-06
3	ISSUED FOR BID	05-12-06
2	ISSUED FOR PART 2 REVIEW	04-18-06
1	ISSUED FOR 100% CD	01-06-06

BUILDING 5A

RS HOMES II LLC

ARCHITECTURE • ENGINEERING • PLANNING • URBAN DESIGN
ECONOMIC DEVELOPMENT • CONSTRUCTION MANAGEMENT



21 West Illinois Street, Suite 2000 Chicago, Illinois 60610
Telephone: (312) 644-5500 Facsimile: (312) 644-0356

SAMARTANO AND COMPANY

W-T ENGINEERING, LLC
MEMBER SOCIETIES

DESTEFANO PARTNERS, LTD.
HARTFORD, CONNECTICUT

PRISM ENGINEERING, INC.

LEFF LANDSCAPE ARCHITECTURE, INC.

EXPOSURE PATTERNS

LANDSCAPE AND
SITE PLAN

06-22-06

■

5A-11



5A-L1.2

EXISTING TREE KEY

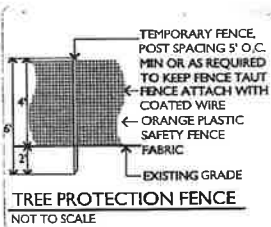
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
49	7"	KENTUCKY CORNETREE	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
50	7"	KENTUCKY CORNETREE	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



TREE NO. 49

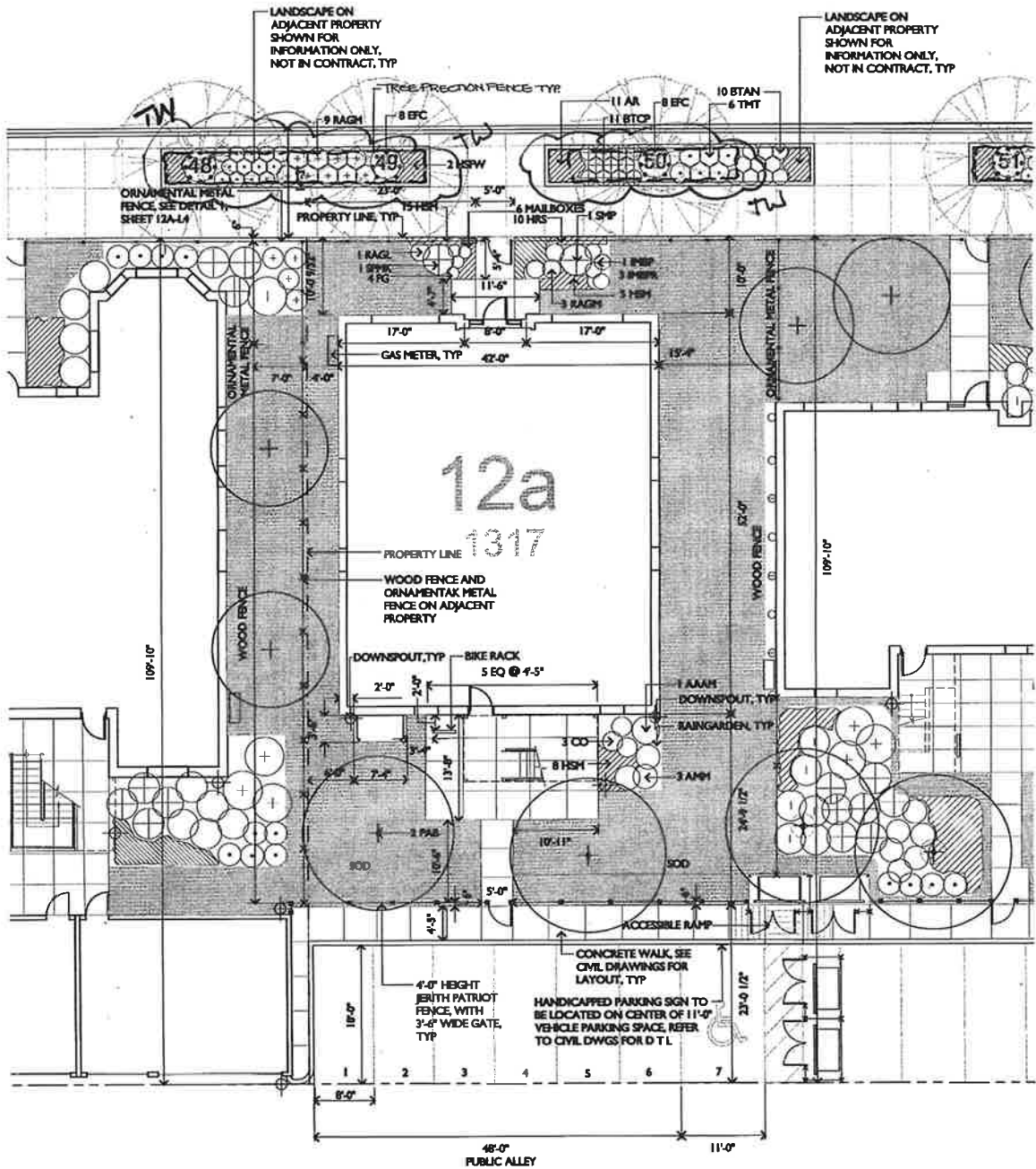


TREE NO. 50

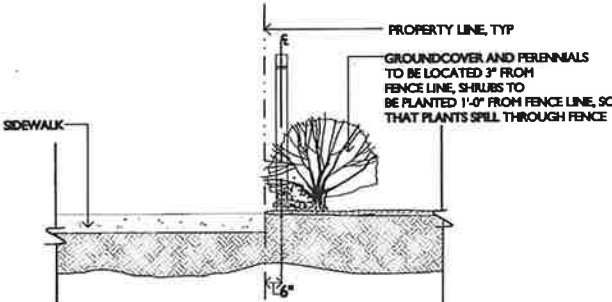


TREE PROTECTION FENCE
NOT TO SCALE

ROOSEVELT ROAD TWO WAY TRAFFIC



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

GREENSHAW	
LENGTH (LINEAR FEET)	48'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	2
NUMBER OF ADDITIONAL TREES PROVIDED	0

VEHICULAR USE AREA SCREENING

NOT APPLICABLE, VEHICULAR USE AREA NOT ALONG A PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1317 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

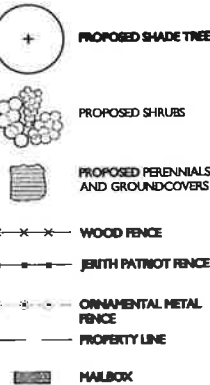
LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1317 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608 HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2011.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECT, P.C.
2-12-07
DATE

LEGEND



ROOSEVELT SQUARE
PHASE 11

1317 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

BUILDING TYPE 12A

ROOSEVELT SQUARE I
LIMITED PARTNERSHIP



DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS

I.L.M.S. ENGINEERS
MEMBER ENGINEERS

DESTEFANO KEATING PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

MCCLUER CORPORATION
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE
PLAN

Drawn	DATE
KN	05-12-06
Checked By	Design Number
BL	
Approved	
TV	
Tab Number	

12A-L1

NUMBER	SIZE	SPECIES	CONDITION	REMARKS
44	3"	BLACK LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
45	3"	BLACK LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



TREE NO. 44



TREE NO. 45

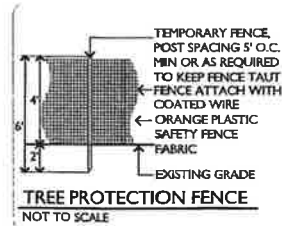
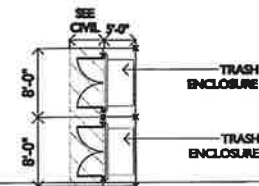


Diagram illustrating the placement of groundcover and perennials relative to a fence line and sidewalk. The diagram shows a cross-section of a sidewalk, a fence line, and the ground. A vertical line indicates the "PROPERTY LINE, TYP". A horizontal line indicates the "FENCE LINE". A vertical line indicates the "SIDEWALK". A vertical line indicates the "GROUND COVER AND PERENNIALS TO BE LOCATED 3' FROM FENCE LINE, SHRUBS TO BE PLANTED 1'-0" FROM FENCE LINE, SO THAT PLANTS SPILL THROUGH FENCE". A vertical line indicates the "6\"

2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2"=1'-0"



3 TYPICAL TRASH ENCLOSURE ENLARGED PLAN

WEST ROOSEVELT ROAD	66'-5"
LENGTH (LINEAR FEET)	3
NUMBER OF TREES REQUIRED (1 PER 25 LP)	2
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	0

ADDITIONAL TREES ARE PROVIDED DUE TO EXISTING TREE SPACING.

NOT APPLICABLE, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

NOT APPLICABLE, VEHICULAR USE AREA LESS THAN 3,000 SF

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1333 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 16, CHICAGO ORDINANCE OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE _____









THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, KNOWS AND CERTIFIES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1333 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 18, CHAPTER 33 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2027.

137-0000
TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
2-12-07
DATE

DATE _____

LEGEND

	PROPOSED SHADE TREE
	PROPOSED SHRUBS
	PROPOSED PERENNIALS AND GROUNDCOVERS
	WOOD FENCE
	JERNITH PATNOT FENCE
	ORNAMENTAL METAL FENCE
	PROPERTY LINE
	ALUMINUM MAILBOX

15		
14		
13		
12		
11		
10		
9		
8		
7	NOTE FOR PART 2 REVIEW	12/15/06
6	ISSUE THE BID/PERMIT	09/12/06
5	ISSUE FOR BID	03/19/06
4	100% COMPREVIEW	02/01/06
3	100% CD	01/17/06
2	50% CD	11/29/05
1	100% DD	11/04/05

**ROOSEVELT SQUARE
PHASE 2
BUILDING 12E
1333 ROOSEVELT ROAD
CHICAGO, ILLINOIS**

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
M.E.P.E. ENGINEERS

DESTEFANO AND PARTNERS, LTD.

MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.

PRISM ENGINEERING INC.
CIVIL ENGINEERS

WOLFF LANDSCAPE
ARCHITECTURE INC.

ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

REFERENCES AND NOTES

LANDSCAPE AND SITE
PLAN

PLAN

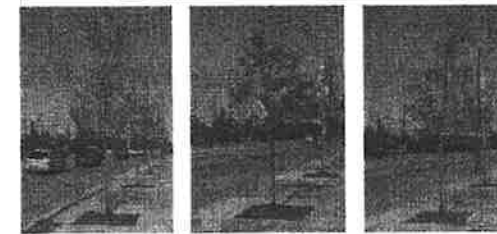
04-19-

12F-111

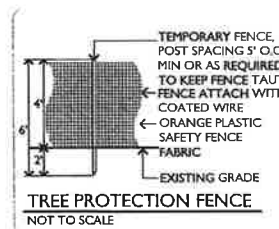
33

EXISTING TREE KEY

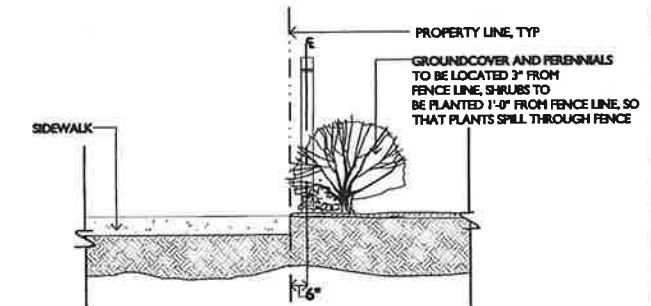
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
57	3"	KENTUCKY COFFEE TREE	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
58	3"	BLACK LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
59	3"	BLACK LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



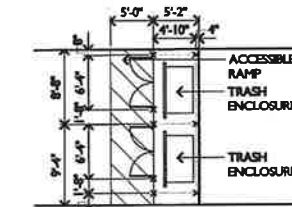
TREE NO. 57 TREE NO. 58 TREE NO. 59



TREE PROTECTION FENCE
NOT TO SCALE

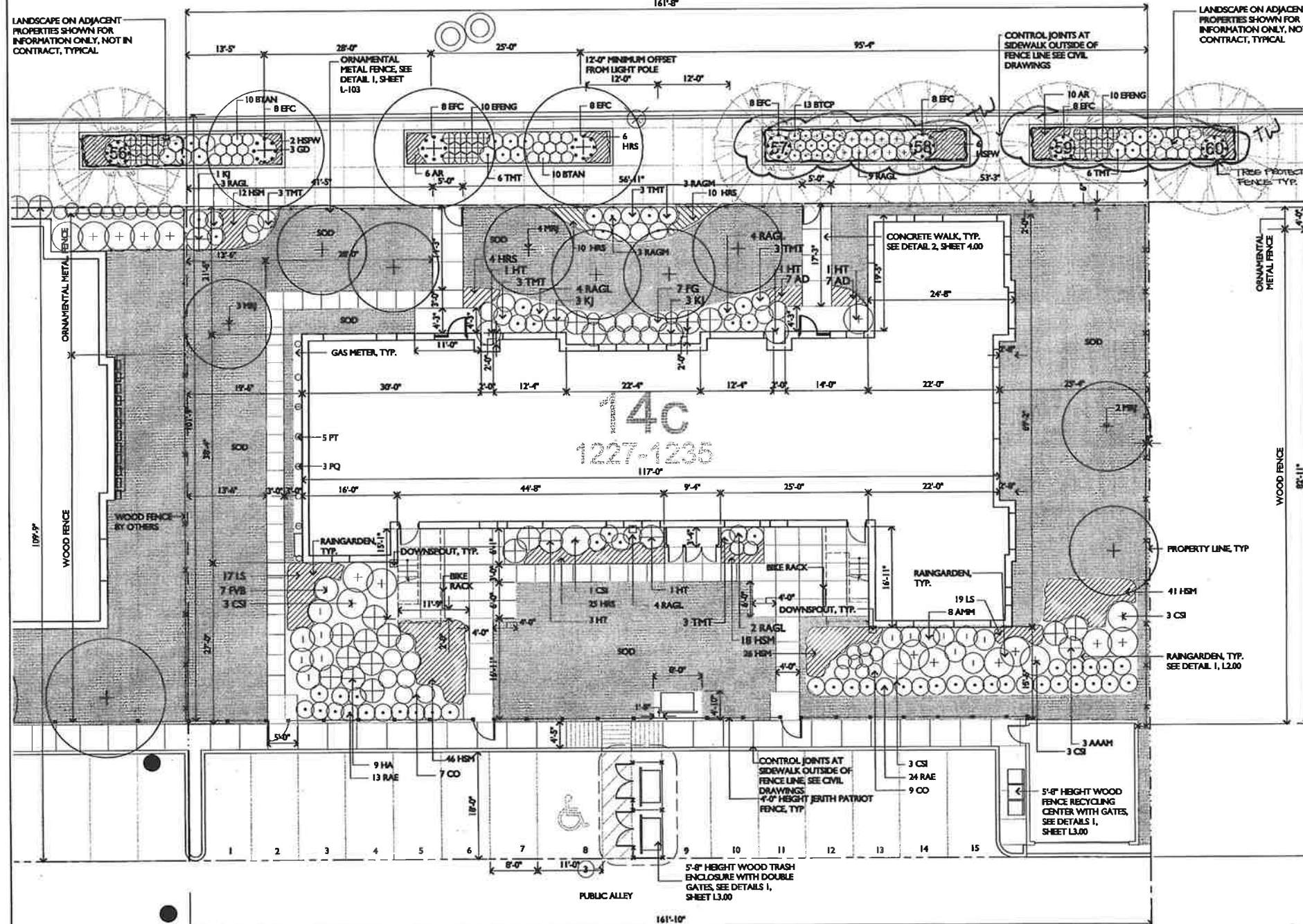


2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ON ADJACENT PROPERTIES SHOWN FOR INFORMATION ONLY, NOT IN CONTRACT, TYPICAL



LANDSCAPE PLAN
SCALE 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WEST ROOSEVELT ROAD
LENGTH (LINEAR FEET) 161'-8"
NUMBER OF TREES REQUIRED (1 PER 25 LF) 6
NUMBER OF EXISTING TREES TO REMAIN 3
NUMBER OF ADDITIONAL TREES PROVIDED 3
3 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE ADDED DUE TO EXISTING TREE SPACING AND UTILITY OFFSETS.

VEHICULAR USE AREA SCREENING

NOT REQUIRED, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT REQUIRED, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1227 AND 1235 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

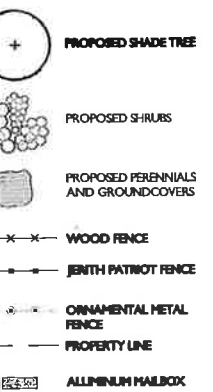
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1227 AND 1235 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT NO. 157-000110 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2009

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, INC.
2-12-07

DATE

LEGEND



15		
14		
13		
12		
11		
10		
9		
8		
7	ISSUE FOR PART 3 REVIEW	12-05-08
6	ISSUE FOR PERMIT	07-05-08
5	ISSUE FOR BID-RESPONSE BLDG	05-05-08
4	ISSUE FOR BID- BID	05/12/06
3	100% CD	01/10/06
2	80% CD	11/28/05
1	100% CD	10/17/05

ROOSEVELT SQUARE
PHASE 2
BUILDING 14C
1227/1235 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

UW
URBANWorks
UrbanWorks Ltd.
213 W. Institute Place
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
M.E.P.E. ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

WOLFF LANDSCAPE
ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE-
PLAN

14C-L1.1

05-12-06

05-12-06

05-12-06

05-12-06

05-12-06

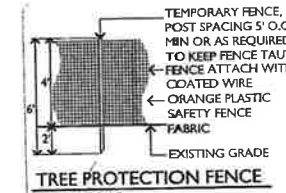
05-12-06

EXISTING TREE KEY

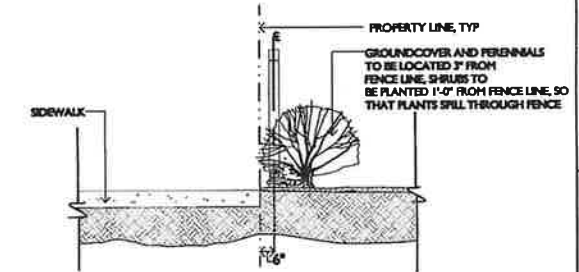
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
34	28"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



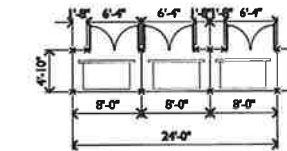
TREE NO. 34



TREE PROTECTION FENCE
NOT TO SCALE



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE: 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

WEST ROOSEVELT ROAD	
LENGTH (LINEAR FEET)	150'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	6
NUMBER OF EXISTING TREES TO REMAIN	1
NUMBER OF ADDITIONAL TREES PROVIDED	5
4 TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO INTERSECTION OFFSETS, EXISTING TREE, AND CONFLICTS WITH EXISTING STREET LIGHTS.	

SOUTH LYTLE STREET	
LENGTH (LINEAR FEET)	187'-0"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	7
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	7
3 ADDITIONAL TREES ARE PROVIDED. ADDITIONAL TREES BEYOND THIS NUMBER CANNOT BE PROVIDED DUE TO INTERSECTION AND ALLEY OFFSETS.	

VEHICULAR USE AREA SCREENING	
LYTLE STREET	187'-0"
LENGTH (LINEAR FEET)	1
NUMBER OF TREES REQUIRED (1 PER 25 LF)	0
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	0
0 TREES PROVIDED DUE TO PROXIMITY TO EXISTING SHADE TREES	

LYTLE AVENUE IS SCREENED BY A CONTINUOUS HEDGE OF DECIDUOUS SHRUBS

VEHICULAR USE AREA INTERNAL PLANTING
NOT REQUIRED, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1236 AND 1244 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE"

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1236 AND 1244 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE"

I, TED WOLF, REGISTERED LANDSCAPE ARCHITECT No. 157-080190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2012

TED WOLF, PRINCIPAL, WOLF LANDSCAPE ARCHITECTS, P.C.
2-12-07

DATE

LEGEND	
	PROPOSED SHADE TREE
	PROPOSED SHRUBS
	PROPOSED PERENNIALS AND GROUNDCOVERS
	WOOD FENCE
	JERITH PATRIOT FENCE
	ORNAMENTAL METAL FENCE
	PROPERTY LINE
	ALUMINUM MAILBOX

15		
14		
13		
12		
11		
10		
9		
8		
7	ISSUE FOR PART 2 PERMIT	12-05-08
6	ISSUE FOR PERMIT	07-05-08
5	ISSUE FOR PART 2 PERMIT	05-03-08
4	ISSUE FOR PART 2 PERMIT	03-12-06
3	100% CD	01/10/08
2	90% CD	11/26/06
1	100% CD	10/17/05

ROOSEVELT SQUARE
PHASE 2
BUILDING 14C
1236/1244 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

UW
URBANWorks
UrbanWorks Ltd.
213 W. Institute Place
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
M.E.P. ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

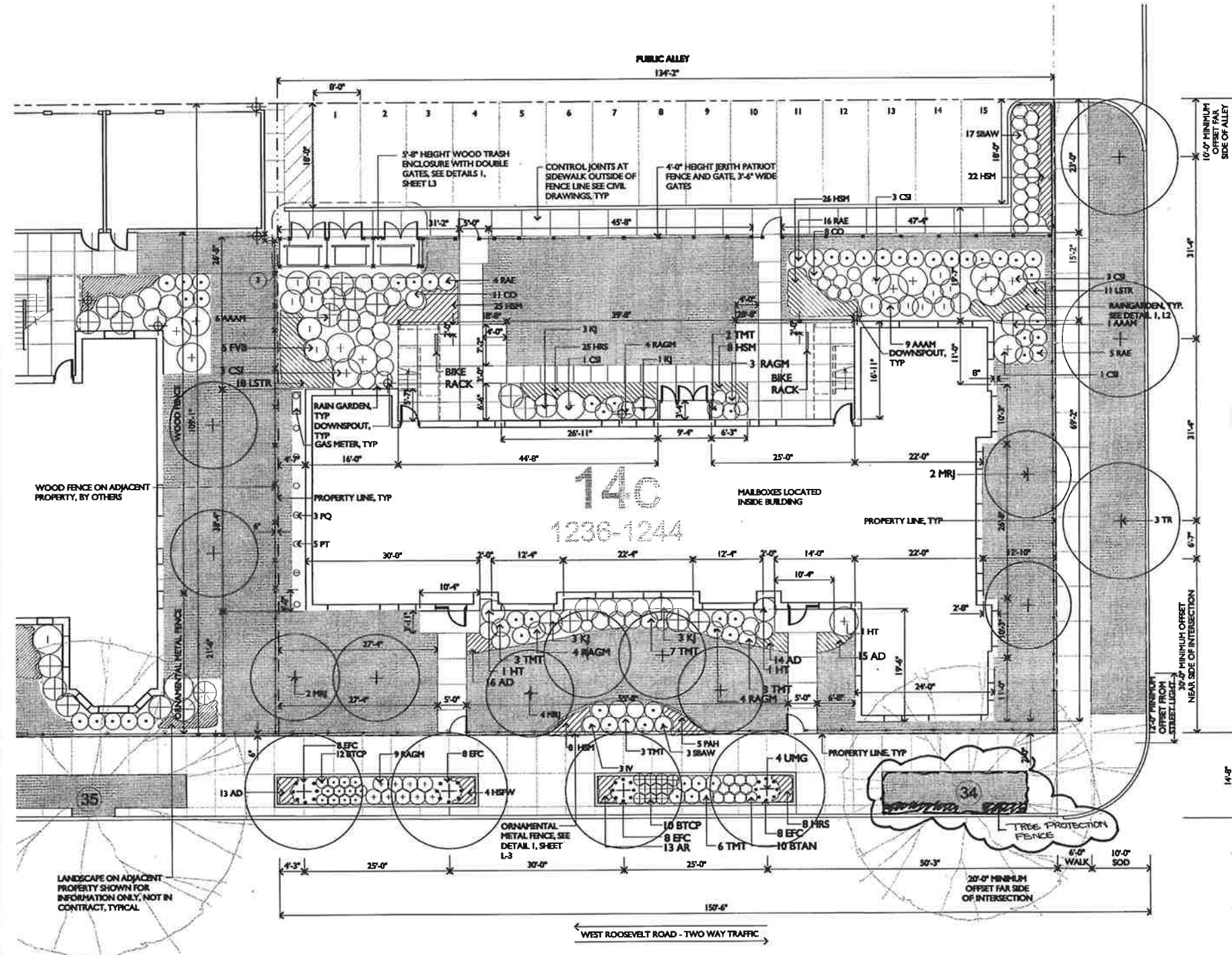
WOLFF LANDSCAPE
ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE
PLAN

15 08-12-08

14C-L1.2

2008

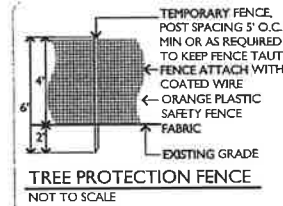
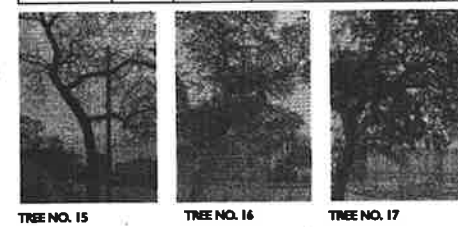


LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

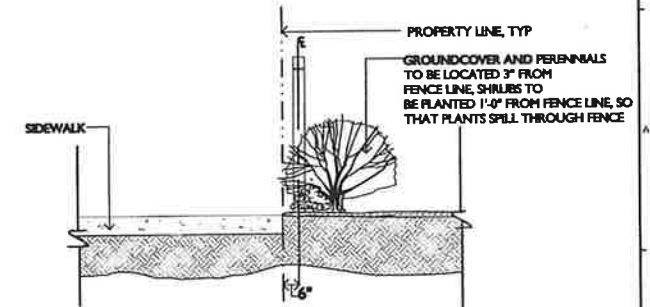


EXISTING TREE KEY

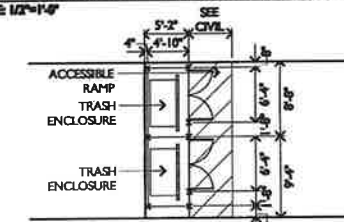
NUMBER	SIZE	SPECIES	CONDITION	REMARKS
15	21"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
16	24"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
17	23"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



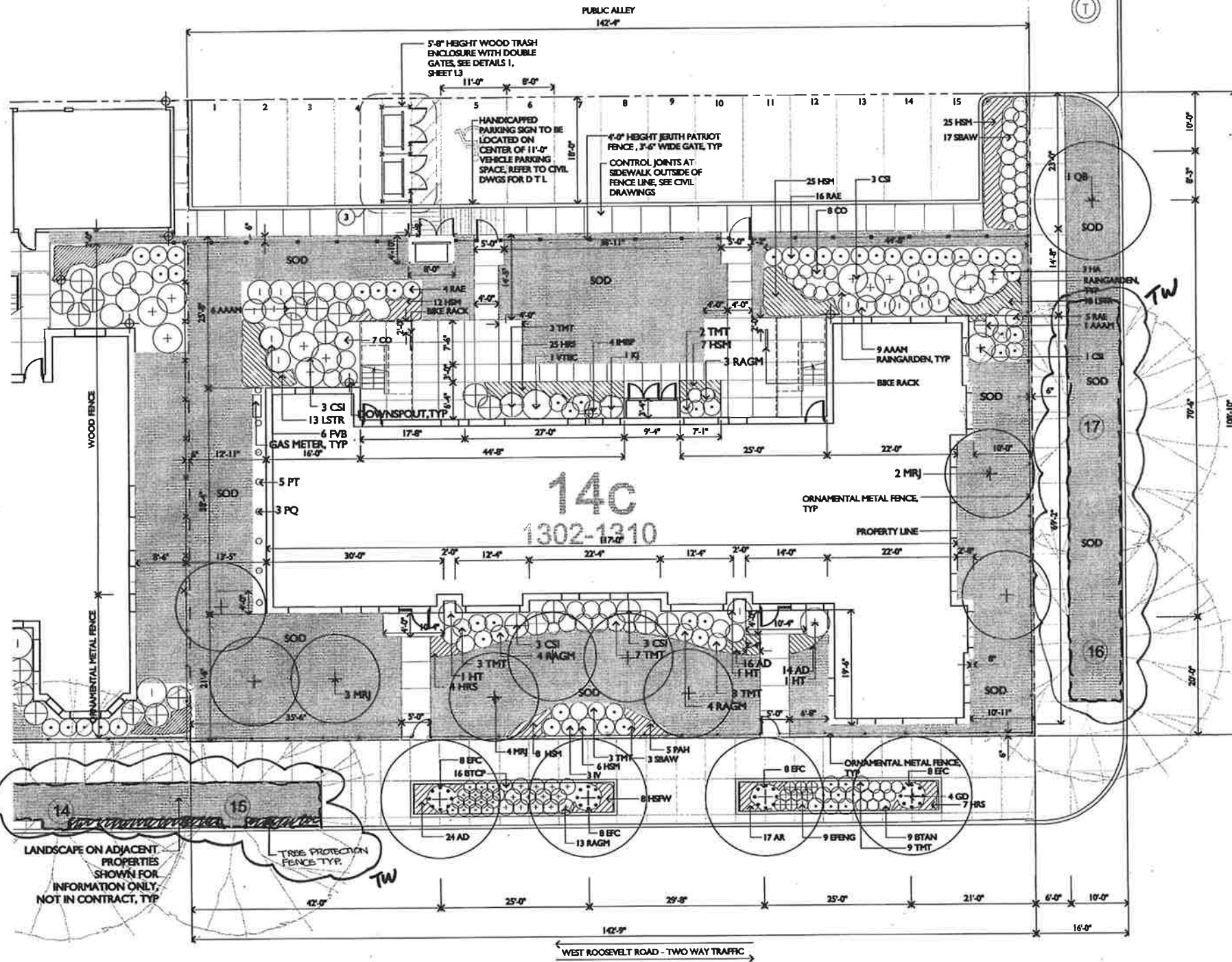
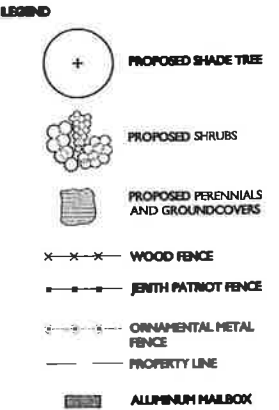
TREE PROTECTION FENCE
NOT TO SCALE



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE 1/8"=1'-0"



LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WEST ROOSEVELT ROAD	142'-0"
LENGTH (LINEAR FEET)	5
NUMBER OF TREES REQUIRED (1 PER 25 LF)	1
NUMBER OF EXISTING TREES TO REMAIN	4
NUMBER OF ADDITIONAL TREES PROVIDED	4

THROOP

LENGTH (LINEAR FEET)	188'-10"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	4
NUMBER OF EXISTING TREES TO REMAIN	1
NUMBER OF ADDITIONAL TREES PROVIDED	3

VEHICULAR USE AREA SCREENING

THROOP STREET	18'-0"
LENGTH (LINEAR FEET)	0
NUMBER OF TREES REQUIRED (1 PER 25 LF)	0
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	0

THROOP STREET IS SCREENED BY A CONTINUOUS HEDGE OF DECIDUOUS SHRUBS

VEHICULAR USE AREA INTERNAL PLANTING

NOT REQUIRED, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1302 AND 1310 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1302 AND 1310 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLF, REGISTERED LANDSCAPE ARCHITECT, NO. 157-001190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLF, PRINCIPAL, WOLF LANDSCAPE ARCHITECTS, INC.

DATE 2-12-07

DATE

15		
14		
13		
12		
11		
10		
9		
8		
7	ISSUE FOR PROJECT 2 REVIEW	12-15-05
6	ISSUE FOR PROJECT 2 REVIEW	07-20-05
5	ISSUE FOR PROJECT 2 REVIEW	04-05-05
4	ISSUE FOR PROJECT 2 REVIEW	05/12/05
3	100% CD	01/15/05
2	90% CD	11/28/04
1	100% CD	10/17/04

ROOSEVELT SQUARE
PHASE 2
BUILDING 14C
1302/1310 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP



DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
MECHANICAL ENGINEERS

DESIEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

WOLF LANDSCAPE
ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE
PLAN

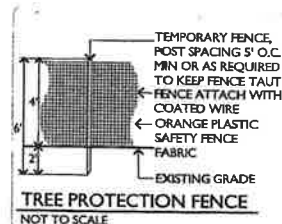
KL	05-12-06
SL	
TL	
WL	
00063	

LANDSCAPE PLAN
SCALE 1/8"=1'-0"



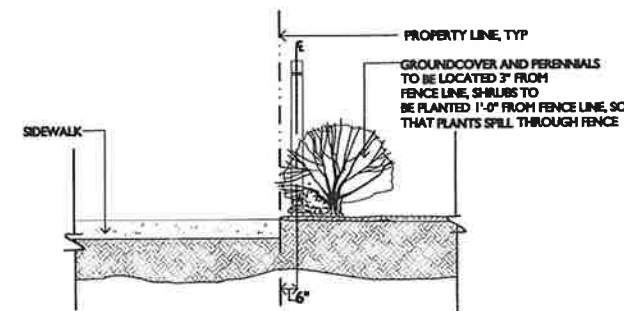
EXISTING TREE KEY

NUMBER	SIZE	SPECIES	CONDITION	REMARKS
51	3"	KENTUCKY CORNETREE	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
52	3"	KENTUCKY CORNETREE	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION

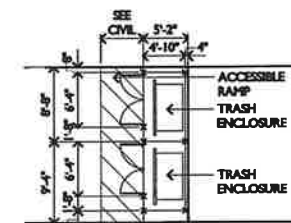


TREE NO. 51

TREE NO. 52



2 TYPICAL FENCE/SIDEWALK CROSS SECTION
SCALE: 1/2"=1'-0"



3 TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8"=1'-0"

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WEST ROOSEVELT ROAD	140'-11"
LENGTH (LINEAR FEET)	6
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	2

THROOP STREET

LENGTH (LINEAR FEET)	109'-10"
NUMBER OF TREES REQUIRED (1 PER 25 LF)	4
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	3

VEHICULAR USE AREA SCREENING

THROOP STREET	18'-0"
LENGTH (LINEAR FEET)	1
NUMBER OF TREES REQUIRED (1 PER 25 LF)	0
NUMBER OF EXISTING TREES TO REMAIN	0
NUMBER OF ADDITIONAL TREES PROVIDED	0

THROOP IS SCREENED BY A CONTINUOUS HEDGE OF DECIDUOUS SHRUBS

VEHICULAR USE AREA INTERNAL PLANTING

NOT REQUIRED, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1303 AND 1311 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008

BY (OWNER)

(DATE)

LANDSCAPE ARCHITECT'S SWORN STATEMENT

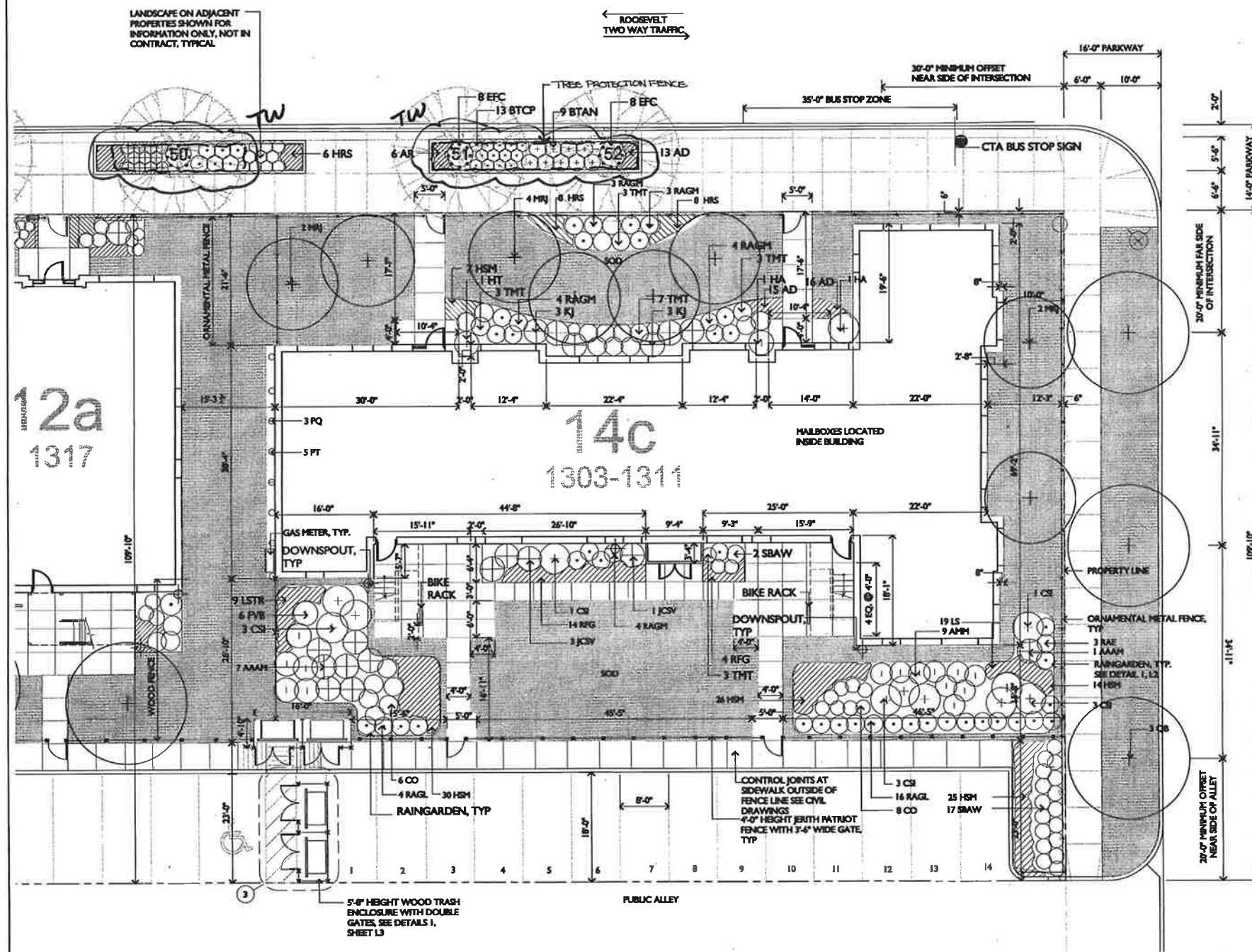
THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1303 AND 1311 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000189 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007

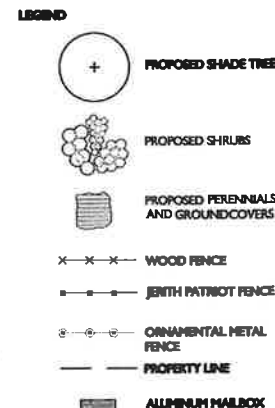
TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE

2-12-07

DATE



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



15		
14		
13		
12		
11		
10		
9		
8		
7	ISSUE FOR PART 2 REVIEW	12-15-08
6	ISSUE FOR PERMIT	07-10-08
5	ISSUE FOR PART 2 REVIEW	04-19-08
4	ISSUE FOR BID	03/17/08
3	100% CD	01/08/08
2	80% CD	11/29/07
1	100% CD	10/17/07

ROOSEVELT SQUARE
PHASE 2
BUILDING 14C
1303/1311 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

UW
URBANWORKS

UrbanWorks Ltd.
213 W. Institute Place
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES

STRUCTURAL ENGINEERS

HMS ENGINEERING

M.E.P.E. ENGINEERS

DESTEFANO AND PARTNERS, LTD.

MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.

CIVIL ENGINEERS

WOLFF LANDSCAPE

ARCHITECTURE INC.

LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE

PLAN

IN 05-12-06

IL

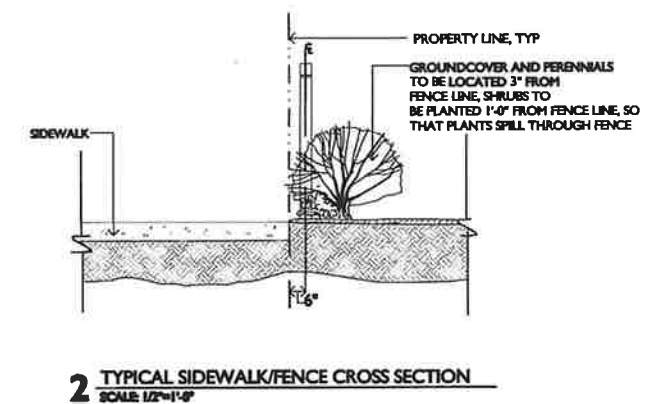
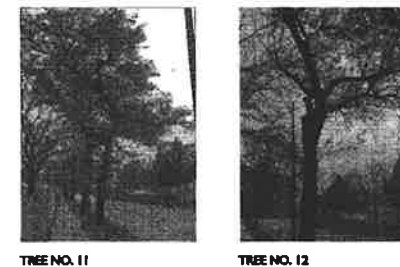
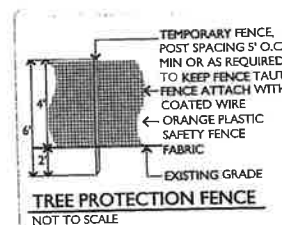
IN

14C-L1.4

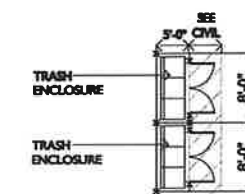
05013

EXISTING TREE KEY

NUMBER	SIZE	SPECIES	CONDITION	REMARKS
11	21"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION
12	25"	LOCUST	GOOD	TO REMAIN AND BE PROTECTED DURING CONSTRUCTION



2 TYPICAL SIDEWALK/FENCE CROSS SECTION
SCALE: 1/2\"/>



3 TYPICAL TRASH ENCLOSURE ENLARGED PLAN
SCALE: 1/8\"/>

LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

WEST ROOSEVELT ROAD	134'-5"
LENGTH (LINEAR FEET)	5
NUMBER OF TREES REQUIRED (1 PER 25 LF)	2
NUMBER OF EXISTING TREES TO REMAIN	3
NUMBER OF ADDITIONAL TREES PROVIDED	

VEHICULAR USE AREA SCREENING

NOT REQUIRED, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT REQUIRED, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1336 AND 1344 WEST ROOSEVELT ROAD, CHICAGO, ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER(S) IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE

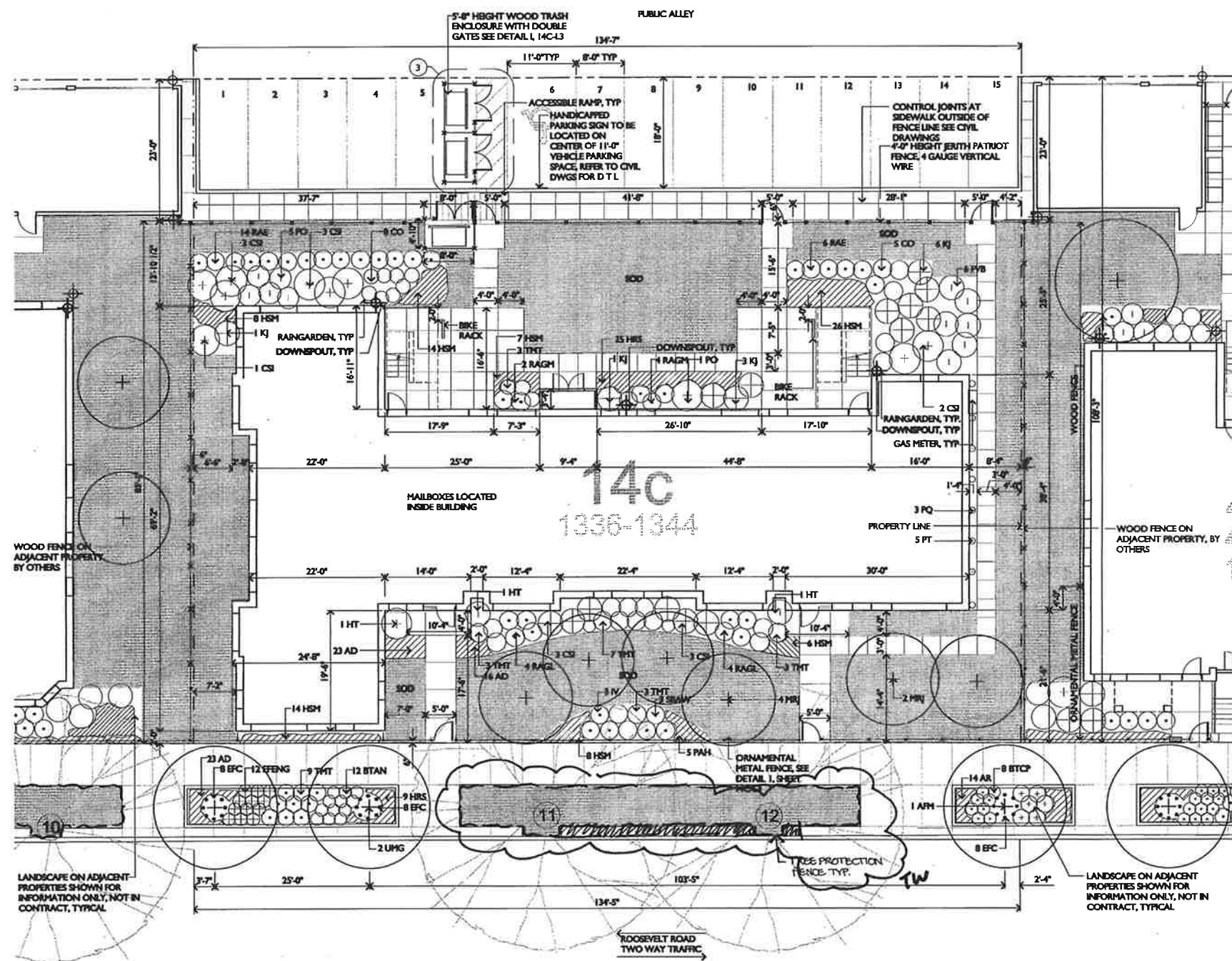
LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1336 AND 1344 WEST ROOSEVELT ROAD, CHICAGO, ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

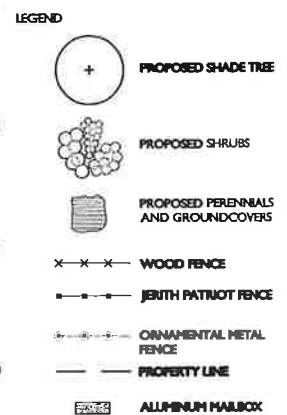
I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-0001190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2007.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTS, INC.
2.12.07

DATE



LANDSCAPE PLAN
SCALE: 1/8\"/>



15		
14		
13		
12		
11		
10		
9		
8		
7	ISSUE FOR PERMIT & REVIEW	12-15-08
6	ISSUE FOR PERMIT	07/10/08
5	ISSUE FOR DISSEMINATION	05/12/08
4	ISSUE FOR BID	03/10/08
3	100% CD / REVIEW	02/01/08
2	80% CD	11/28/05
1	100% CD	10/17/05

ROOSEVELT SQUARE
PHASE 2
BUILDING 14C
1336-1344 WEST ROOSEVELT ROAD
CHICAGO, IL

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

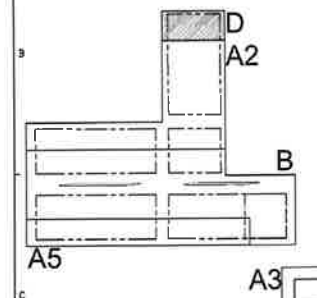
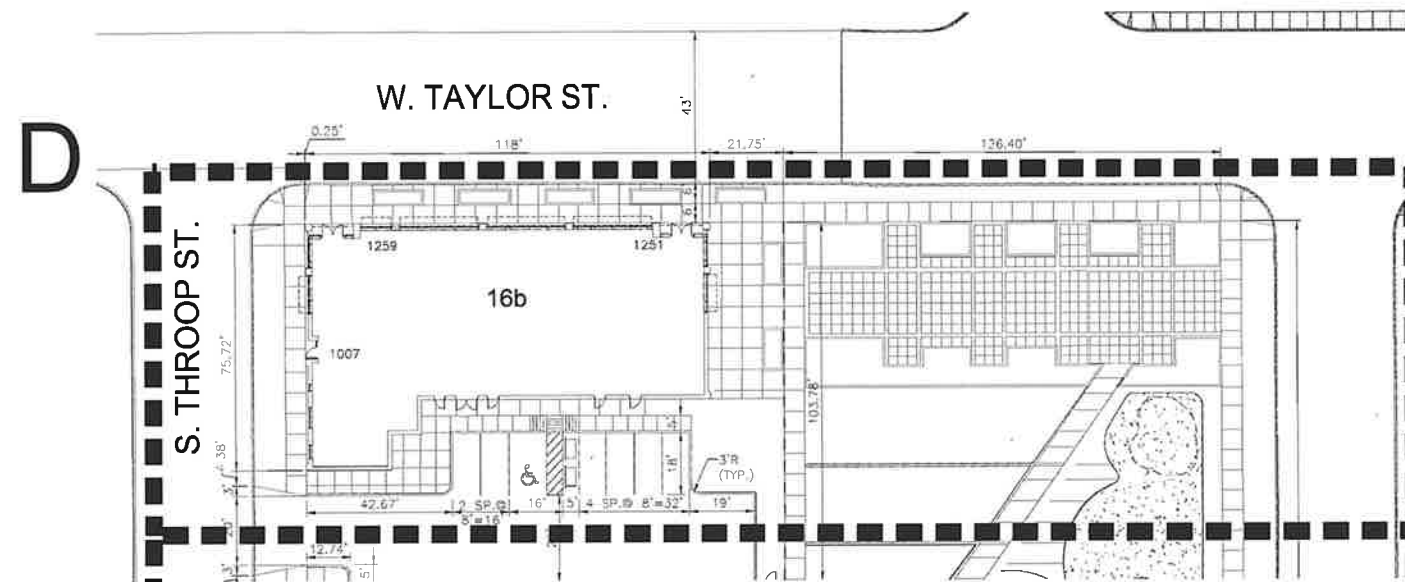


DAVID MASON & ASSOCIATES
STRUCTURAL ENGINEERS
HMS ENGINEERING
M.E.P.E. ENGINEERS
DESTAFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE
PLAN

104	04-03-06
11	
12	
13	
14	
15	

14C-L1.5



7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	08-28-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-25-06
2	ISSUED FOR PART 2-REVIEW	04-18-06
1	ISSUED FOR DPS - PHASE 2 - SITE PLAN APPROVAL	02-09-05

**ROOSEVELT SQUARE
PHASE 2**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
443 East Madison Street
Chicago, Illinois 60611

Architect
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEP/ELECTRICAL ENGINEER

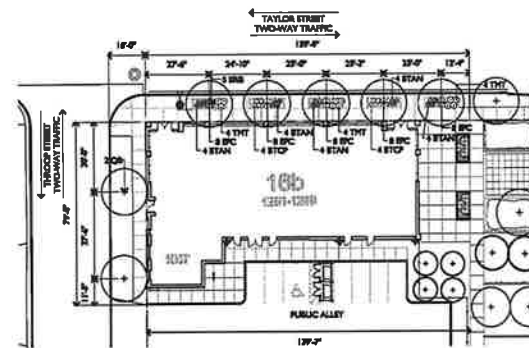
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

**PHASE 2
SUB AREA D
SITE PLAN**

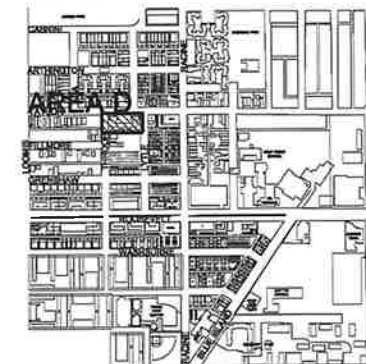
PDII-D



SUB AREA D LANDSCAPE PLAN - SOUTH OF TAYLOR STREET
SCALE 1"=30'-0"



KEYPLAN



GENERAL NOTES

LEGEND

- RAIN GARDEN
- ORNAMENTAL PLANTING
- LAWN
- PROPOSED TREE
- WOOD FENCE
- 4' HIGH JEWELL PATRIOT FENCE
- ORNAMENTAL METAL FENCE
- MAILBOX
- RECYCLING CENTER
- TRASH ENCLOSURE

FENCE TYPE AND LOCATION

- ORNAMENTAL METAL FENCE TYPE
A. SOLID FENCE
B. SOLID FENCE WITH
C. SOLID FENCE WITH
D. SOLID FENCE WITH
E. SOLID FENCE WITH
F. SOLID FENCE WITH
G. SOLID FENCE WITH
H. SOLID FENCE WITH
I. SOLID FENCE WITH
J. SOLID FENCE WITH
K. SOLID FENCE WITH
L. SOLID FENCE WITH
M. SOLID FENCE WITH
N. SOLID FENCE WITH
O. SOLID FENCE WITH
P. SOLID FENCE WITH
Q. SOLID FENCE WITH
R. SOLID FENCE WITH
S. SOLID FENCE WITH
T. SOLID FENCE WITH
U. SOLID FENCE WITH
V. SOLID FENCE WITH
W. SOLID FENCE WITH
X. SOLID FENCE WITH
Y. SOLID FENCE WITH
Z. SOLID FENCE WITH

8		
7		
6		
5		
4	ISSUE FOR SITE PLAN APPROVAL	1-30-07
3	ISSUE FOR PART 2 REVIEW	12-15-06
2	ISSUE FOR PART 2 REVIEW	06-23-06
1	ISSUE FOR REVIEW	12-03-05
ISSUE	DESCRIPTION	DATE
LICENSURE SEAL		

ROOSEVELT SQUARE PHASE TWO

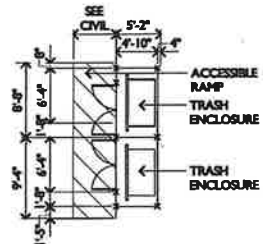
ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

DRAWN BY:	KN
REVIEWED BY:	TW
DATE:	04-19-06
SCALE:	AS NOTED
PROJECT NUMBER:	05063

SUB AREA D LANDSCAPE PLAN

LI01-D

OUC REVIEW AND WATER DEPARTMENT REQUIREMENTS FOR THE EXISTING WATERMAIN RUNNING ALONG THE SOUTH PARKWAY OF TAYLOR STREET REQUIRE TREES TO NOT BE TALLER THAN 15' MATURE HEIGHT AND ROOTBALL TO BE LESS THAN 2'-6" DEEP, THEREFORE IVORY SILK TREE LILAC WAS USED RATHER THAN A SHADE TREE SPECIES.



LANDSCAPE ORDINANCE ANALYSIS

PARKWAY PLANTING

TAYLOR
LENGTH (LINEAR FEET)
NUMBER OF TREES REQUIRED (1 PER 25 LF)
NUMBER OF EXISTING TREES TO REMAIN
NUMBER OF ADDITIONAL TREES PROVIDED

78'-0"
3
0
2 TREES ARE PROVIDED.
ADDITIONAL TREES BEYOND THIS
NUMBER CANNOT BE PROVIDED
DUE TO MINIMUM SETBACK
REQUIREMENTS

THROOP
LENGTH (LINEAR FEET)
NUMBER OF TREES REQUIRED (1 PER 25 LF)
NUMBER OF EXISTING TREES TO REMAIN
NUMBER OF ADDITIONAL TREES PROVIDED

VEHICULAR USE AREA SCREENING

NOT REQUIRED, VEHICULAR USE AREA NOT ADJACENT TO PUBLIC RIGHT OF WAY

VEHICULAR USE AREA INTERNAL PLANTING

NOT REQUIRED, VEHICULAR USE AREA LESS THAN 3,000 SF

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1251 AND 1259 WEST TAYLOR STREET, CHICAGO ILLINOIS 60608, HAS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS, IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY DECEMBER 15, 2008.

BY (OWNER)

DATE _____

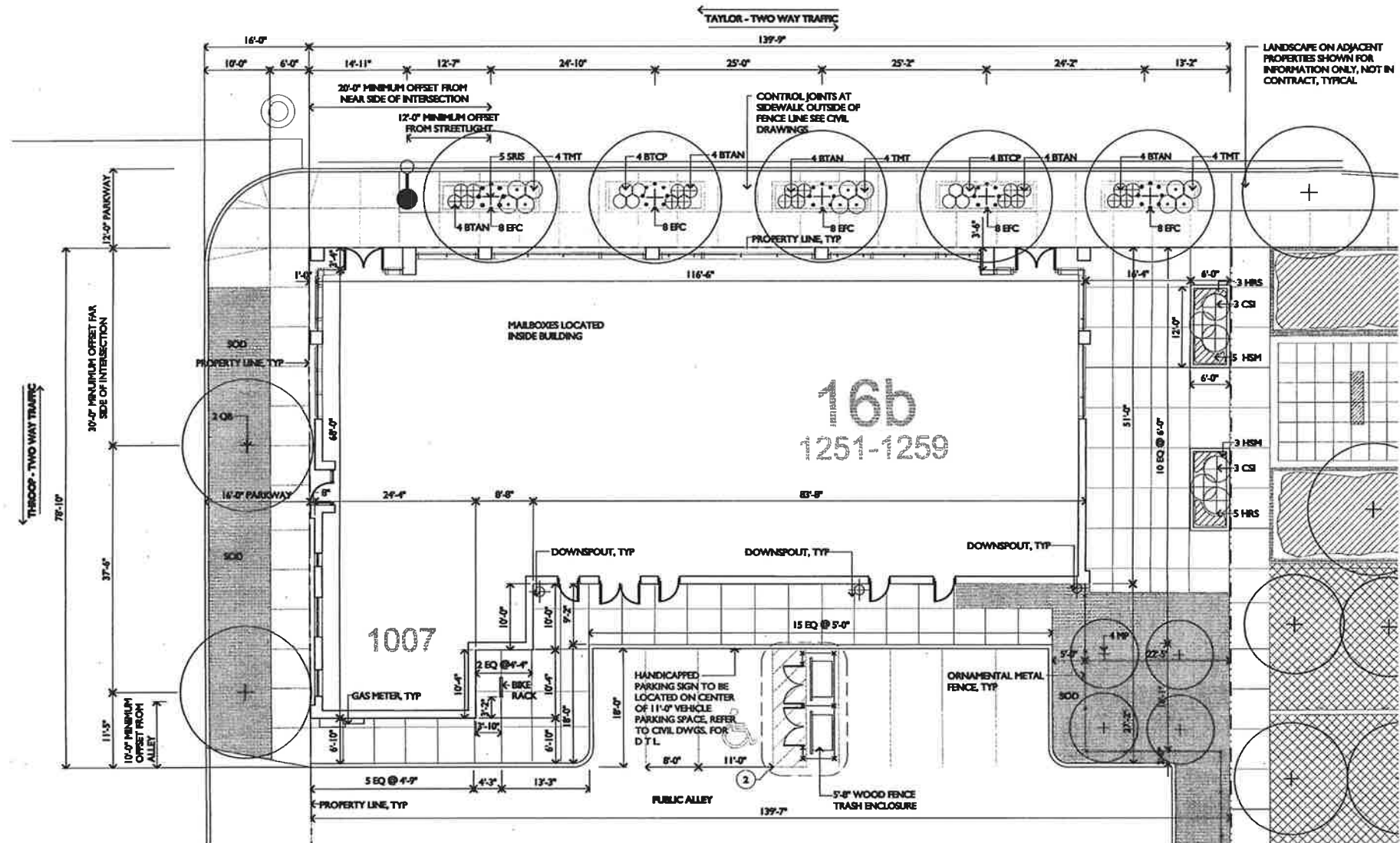
LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT 1251 AND 1259 WEST ROOSEVELT ROAD, CHICAGO ILLINOIS 60608, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 17, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE."

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2017

TED WOLF, PRINCIPAL, WOLF LANDSCAPE ARCHITECTURE INC.

DATE _____



LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

PROPOSED SHADE TREE

PROPOSED SHRUBS

PROPOSED PERENNIALS AND GROUNDCOVERS

WOOD FENCE

JENITH PATRIOT FENCE

ORNAMENTAL METAL FENCE

PROPERTY LINE

ALUMINUM MAILBOX

15		
14		
13		
12		
11		
10		
9		
8		
7		
6		
5		
4	ISSUE FOR POST & RETURN	02-25-20
3	ISSUE FOR POST	05-24-20
2	100% CDs	04/7/2008
1	80% CDs	02/28/08

ROOSEVELT SQUARE

PHASE 2

BUILDING 108
1251-1269 WEST TAYLOR
AND 1007 SOUTH THROOP
CHICAGO, ILLINOIS

**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**

UrbanWorks Ltd.
213 W. Jackson Plaza
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES

STRUCTURAL ENGINEERING

HMS ENGINEERING

MAFPP BUSINESS

STEFANO AND PARTNERS, LTD.

—DISPATCHED BY AIR

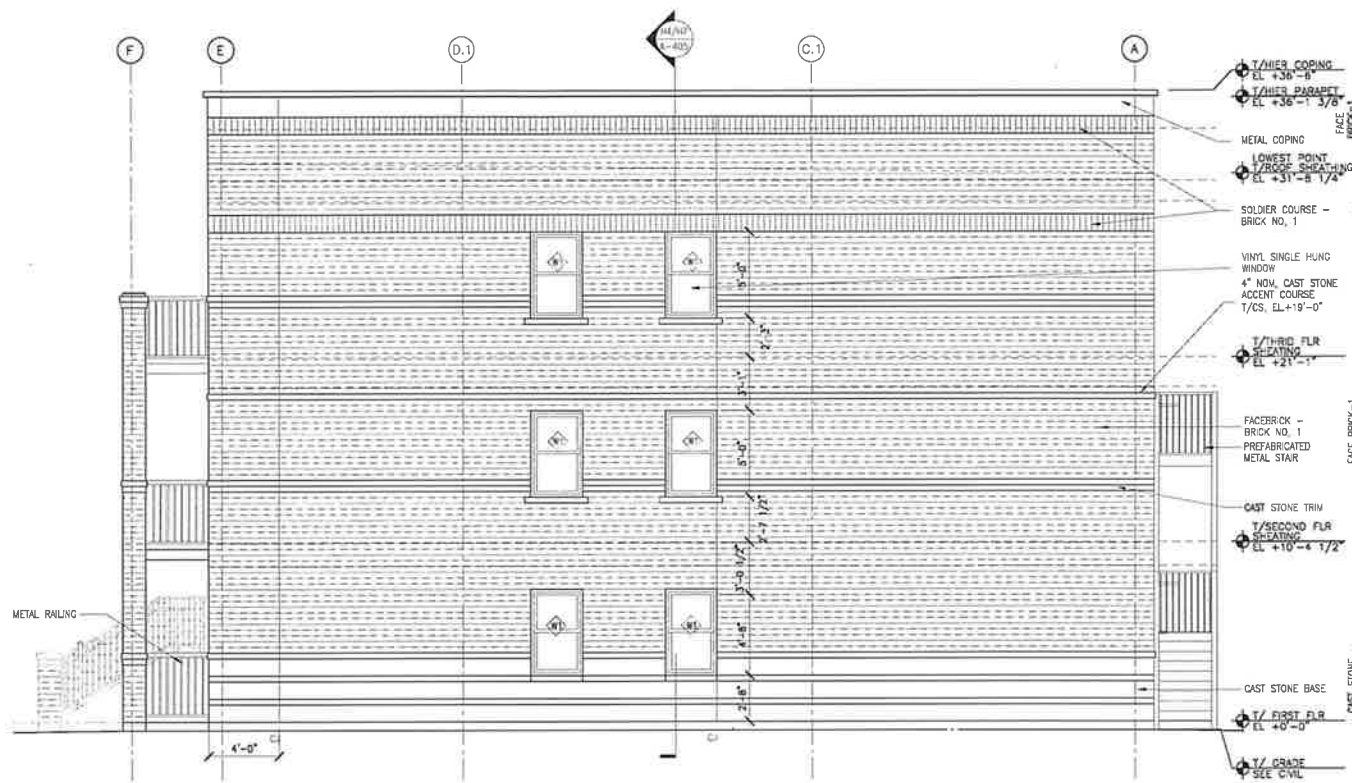
PROS ENGINEERING INC.
CIVIL ENGINEERING

Landscape Architecture

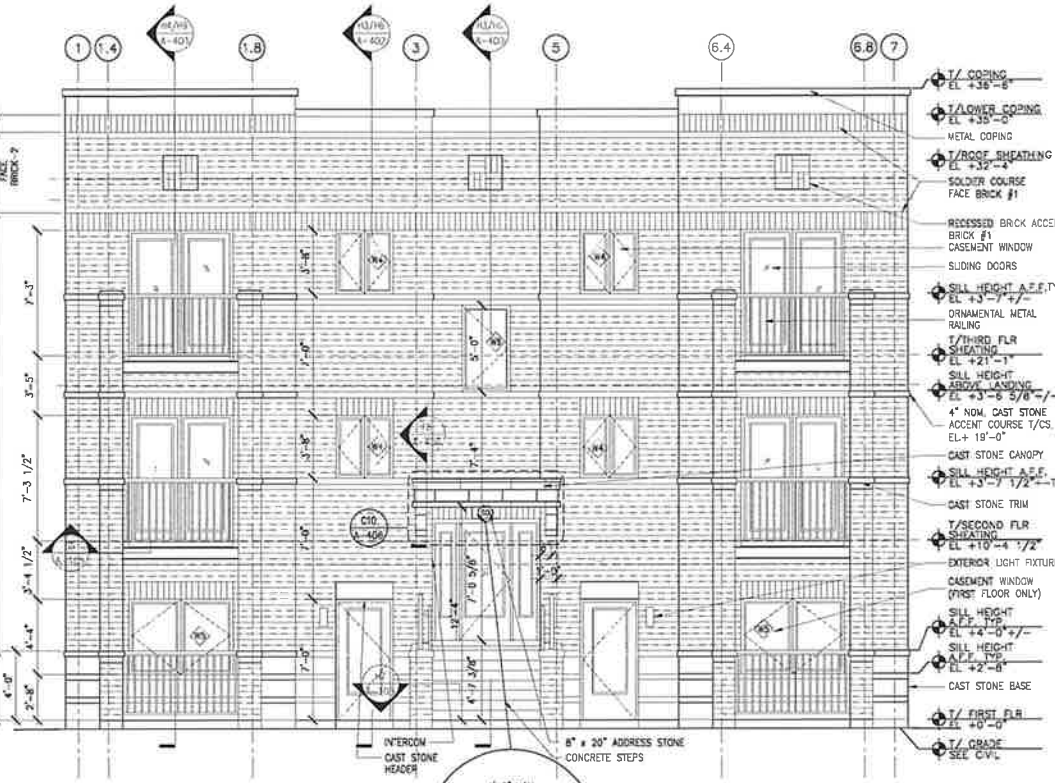
LANDSCAPE ARCHITECTS

LANDSCAPE AND SITE
PLAN

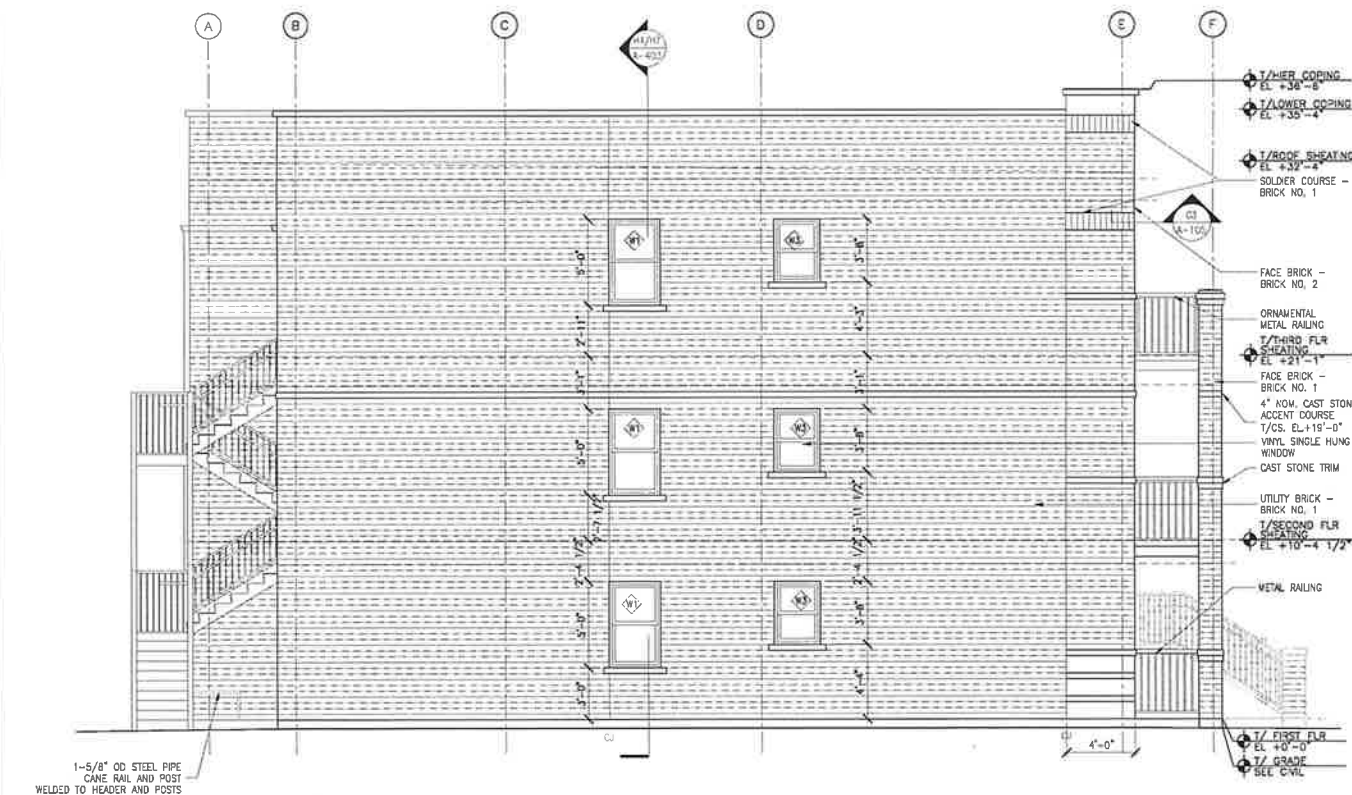
16B-L1



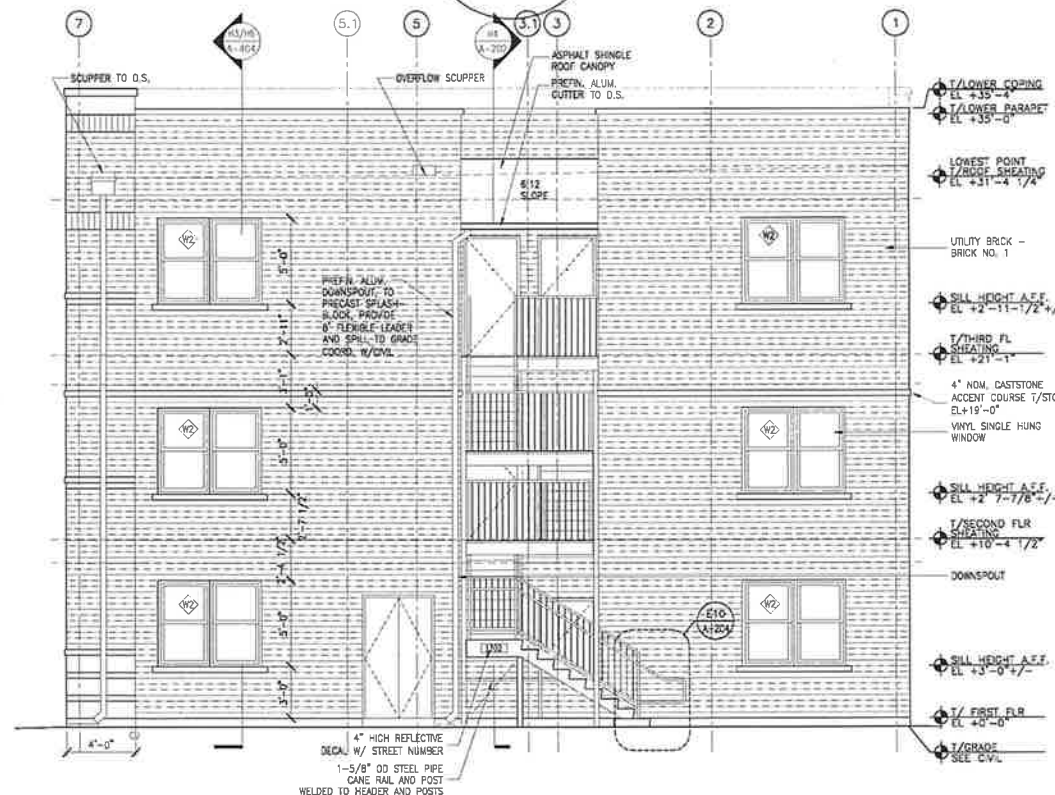
D9 SOUTH ELEVATION
SCALE: 1/4"=1'-0"



D4 WEST ELEVATION
SCALE: 1/4"=1'-0"



H9 NORTH ELEVATION
SCALE: 1/4"=1'-0"



H4 EAST ELEVATION
SCALE: 1/4"=1'-0"

NOTE
DOORS, SIDELIGHTS, GLAZED PANELS TO HAVE SAFETY GLAZING

General Notes

1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
-SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES, SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
-SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
-SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS, LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
-SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

2. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0".
-SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
-COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
-RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

3. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT.

COLOR SCHEDULE

- BRICK NO. 1: MESABA VELOUR
MORTAR COLOR FOR BRICK NO. 1: 30A LIGHT BROWN
SEALANT COLOR FOR BRICK NO. 1: REDWOOD TAN
STEEL LINTEL: SPICED WINE 52B-7
- BRICK NO. 2: MESABA VELOUR
MORTAR COLOR: 30A LIGHT BROWN
SEALANT COLOR: REDWOOD TAN
LINTEL: SPICED WINE 52B-7

- CAST STONE: WHITE SMOOTH
MORTAR COLOR: PLAIN CEMENT
SEALANT COLOR:
LINTEL: SILVER DOLLAR 521-4
- SIMULATED STONE: WHITE SMOOTH
MORTAR COLOR: PLAIN CEMENT
SEALANT COLOR:

- REAR/SCREEN DOOR & JAMB COLOR: DUSTY TRAIL
FRONT EXTERIOR DOOR COLOR: T.S.D.
CLADDING/JAMB ENTRY DOOR: FRONT LINE BRONZE

- BALCONY RAILING COLOR: OSWEGO TEA 520-8
METAL STAIRS & LANDING: OSWEGO TEA 520-8

- DOWNSPOUT & GUTTER COLOR: ALMOND
PREFINISHED COPING/FLASHING/FASCIA: ALMOND

- CONCRETE PAVES COLOR: N/A

2	ISSUED FOR SITE PLAN APPROVAL	01-30-07
1	ISSUE FOR PART 2 REVIEW	05-15-06
No.	Description	Date

ROOSEVELT SQUARE PHASE II BUILDING 2A

ROOSEVELT SQUARE II LLC

BROOK ARCHITECTURE INC.
1301 N. WILSON AVE. SUITE 1000
CHICAGO, IL 60642
TEL: 312.329.1541 FAX: 312.329.1541

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS
HMS ENGINEERING
MECHANICAL ENGINEERS
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING, INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

Building Title

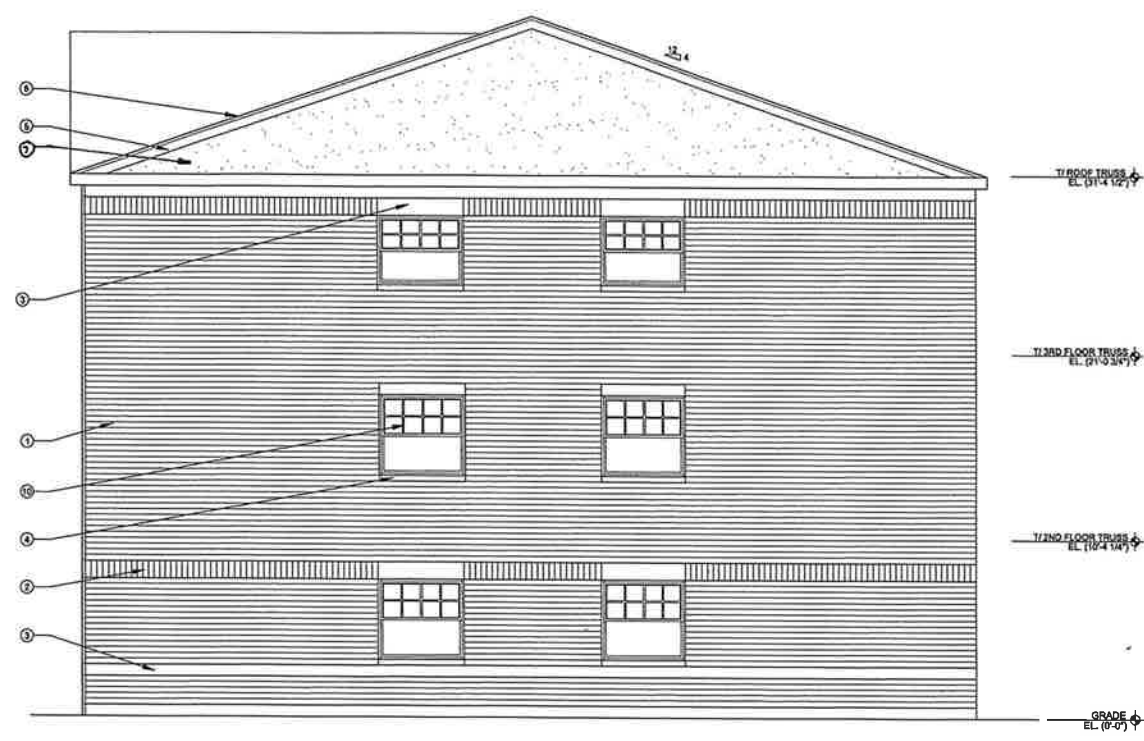
BUILDING ELEVATIONS

Drawn	Date
TL	
Checked By	Drawing Number
JW	
Approved	
RWD	
Job Number	2A-A300
0308	

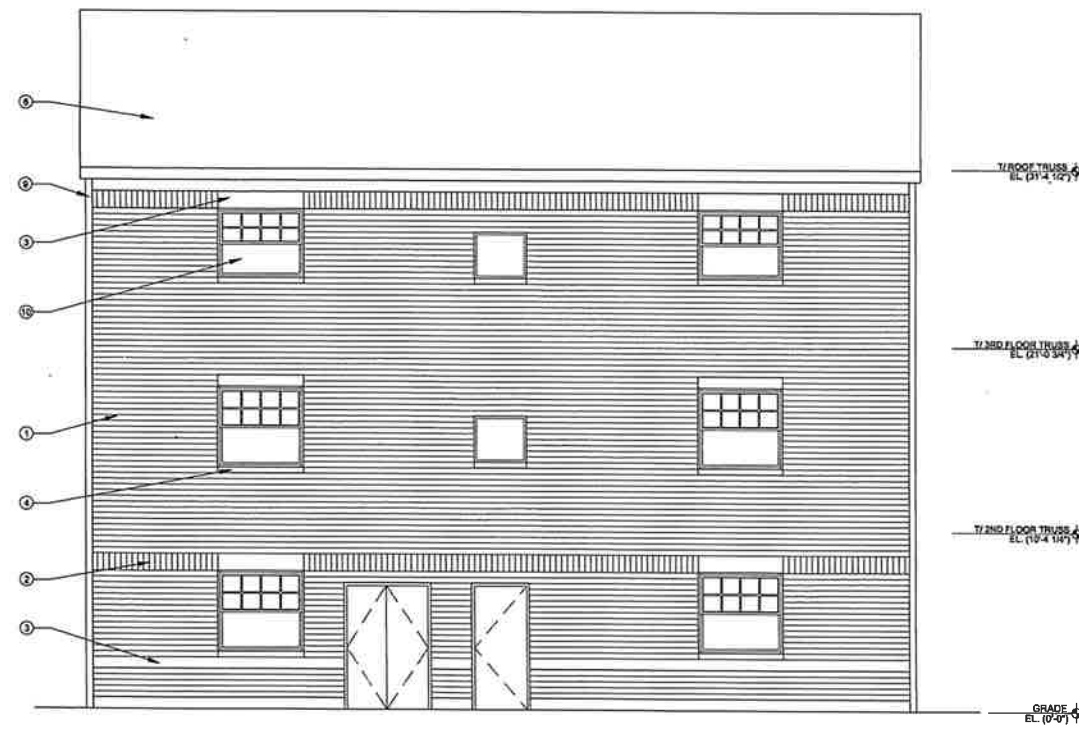
FILE NAME: K:\PROJECTS\0308-ABLA\CON\DOC. BLDG-2A\



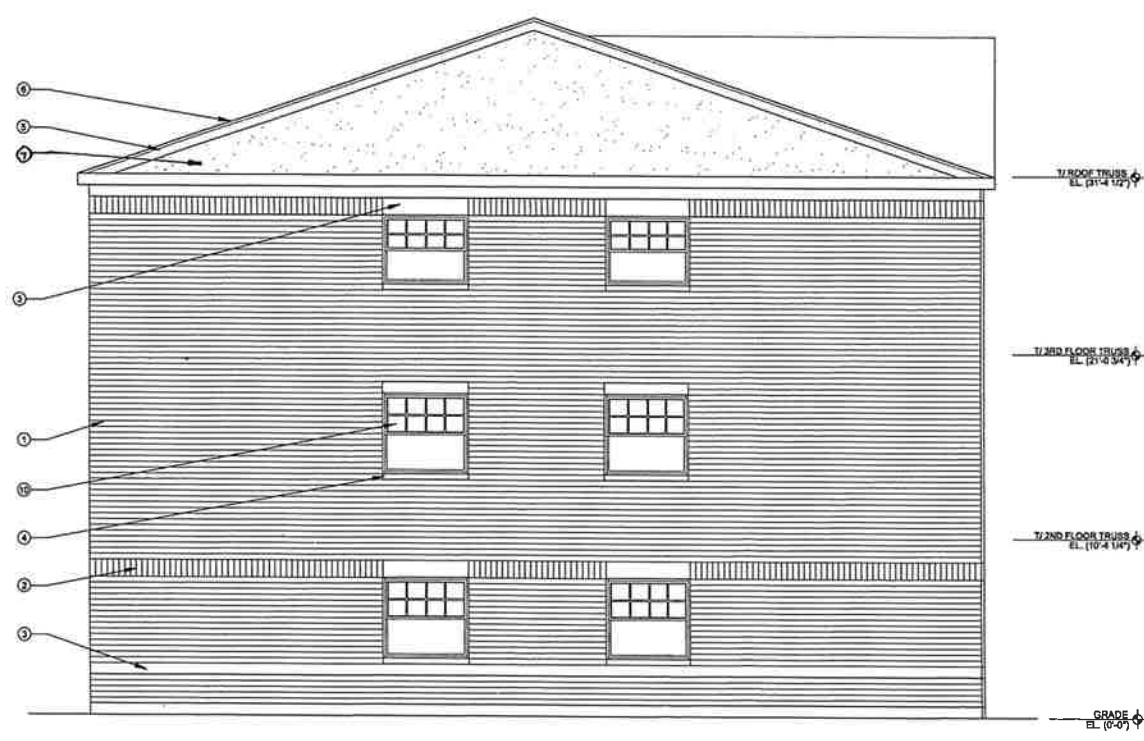
4 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

- MATERIALS LEGEND**
1. UTILITY FACE BRICK
 2. BRICK SOLDIER COURSE
 3. CAST STONE
 4. CAST STONE SILL
 5. CONCRETE BOARD TRIM
 6. ASPHALT SHINGLES
 7. STUCCO
 8. LOUVER
 9. PRE-FINISHED ALUMINUM GUTTER & DOWNSPOUT
 10. SINGLE HUNG WINDOW W/ EXTERIOR APPLIED MUNTINS
 11. EXTERIOR LIGHT FIXTURE
 12. BRICK STACK BOND ALTERNATE COLORS

General Notes	
1	SITE PLAN APPROVAL
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	
22	
23	
24	
25	
26	
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	
41	
42	
43	
44	
45	
46	
47	
48	
49	
50	
51	
52	
53	
54	
55	
56	
57	
58	
59	
60	
61	
62	
63	
64	
65	
66	
67	
68	
69	
70	
71	
72	
73	
74	
75	
76	
77	
78	
79	
80	
81	
82	
83	
84	
85	
86	
87	
88	
89	
90	
91	
92	
93	
94	
95	
96	
97	
98	
99	
100	

**ROOSEVELT SQUARE
PHASE II
BUILDING 2B**

ROOSEVELT SQUARE II LLC

**SULLIVAN
GOULETTE
& WILSON**

ARCHITECTS
750 N. FRANKLIN STREET SUITE 203
CHICAGO, ILLINOIS 60610
P: 312.988.7412
F: 312.988.7409
www.sullivan-goulette.com

PROFESSIONAL DESIGN FIRM
License Number: 154-001505
Expiration Date: April 30, 2007

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
MECHANICAL ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING, INC.
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

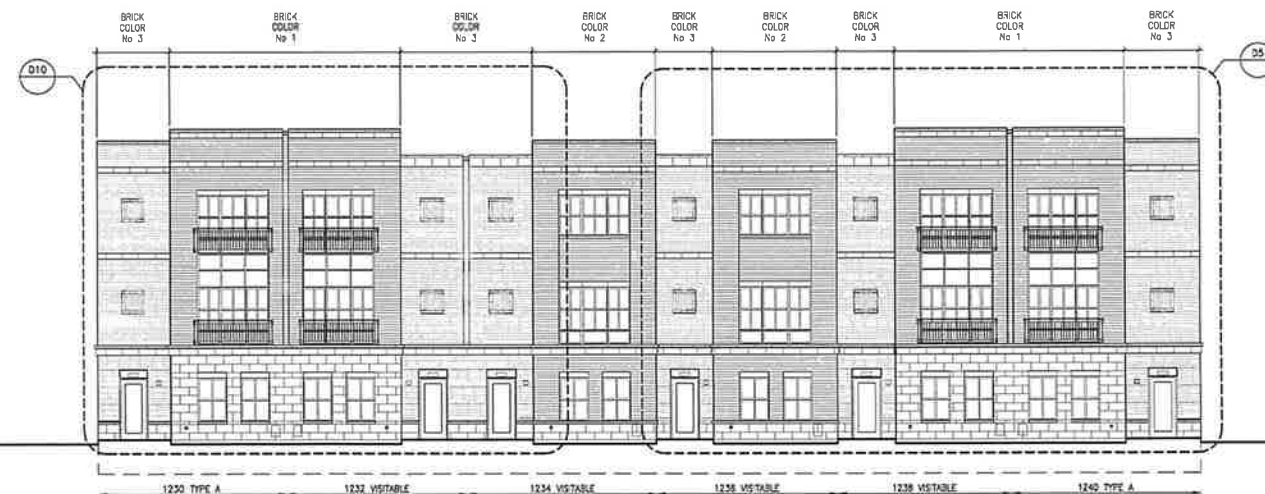
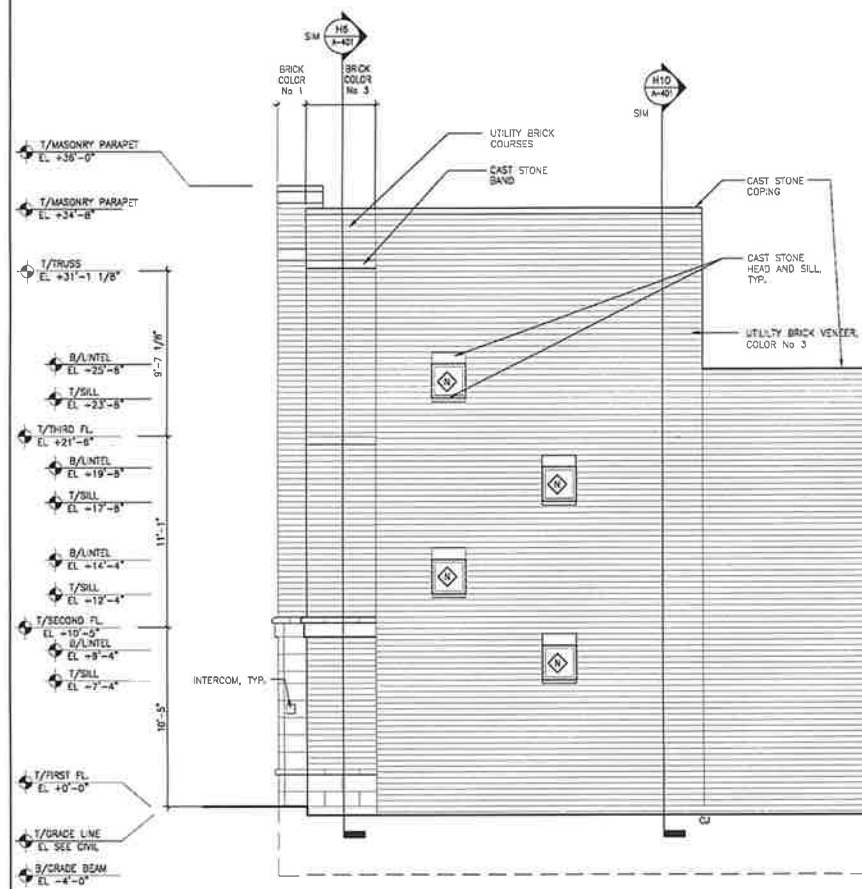
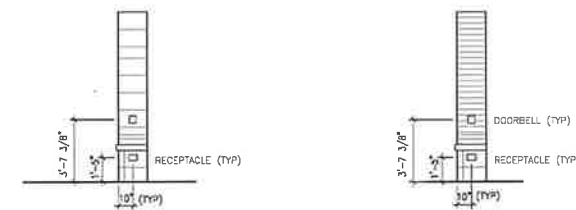
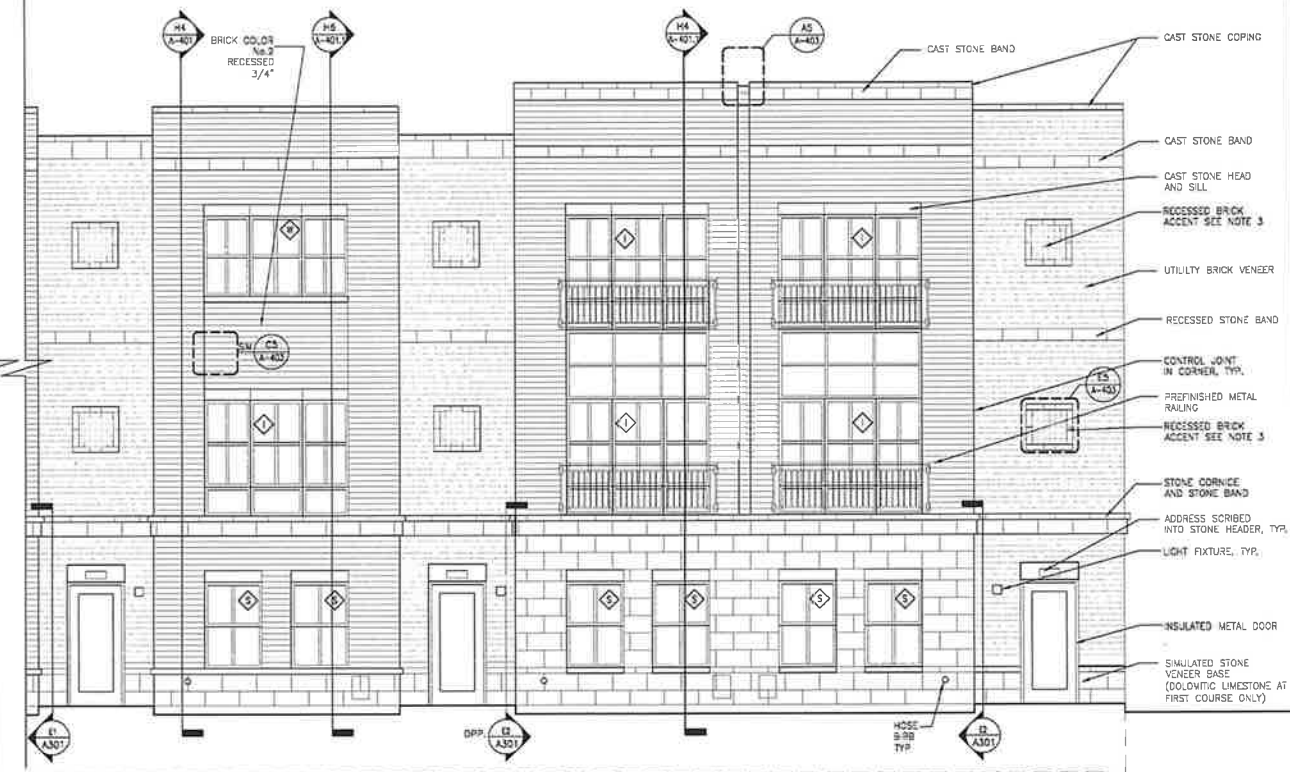
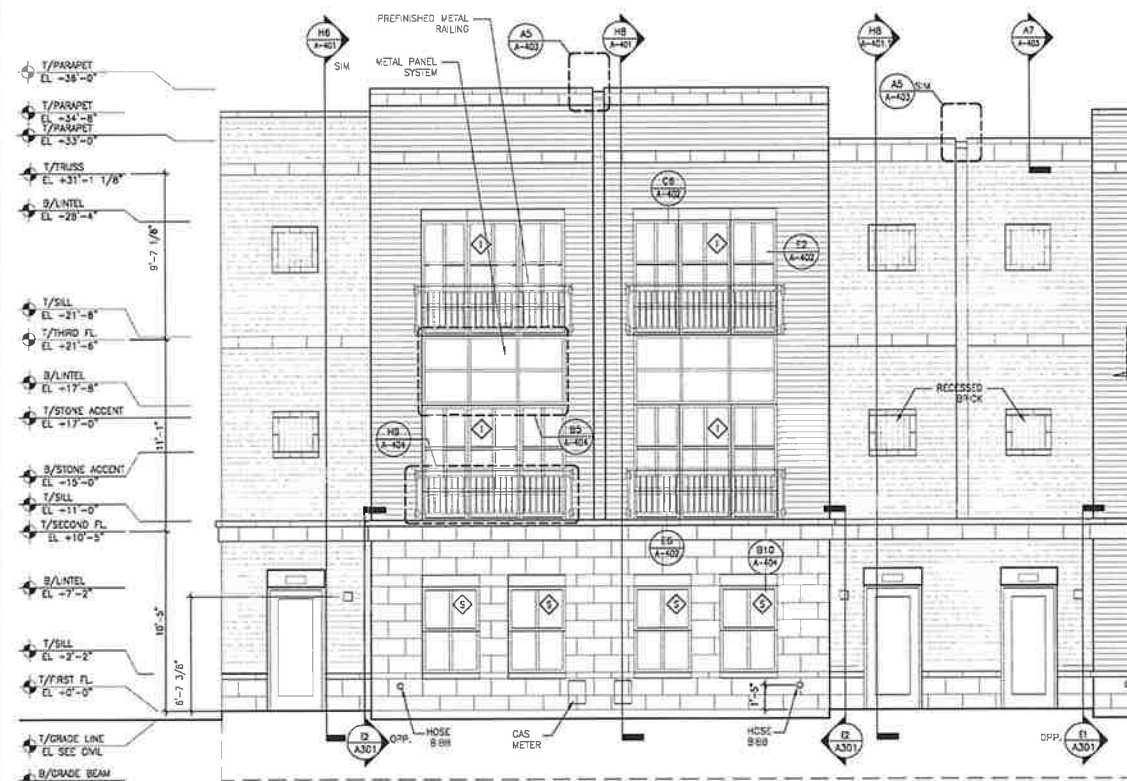
Drawing Title
BUILDING ELEVATIONS

Drawn By _____ Date _____

Checked By _____ Drawing Number _____

Approved _____

Job Number **2B-A300**



REFERENCES:

1. SEE SHEET G-001 FOR GENERAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES, SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE WHEELCHAIR HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
4. SEE SECTIONS, AND DETAILS KEVD TO THE ELEVATION. LARGER SCALE DETAILS TAKE PRECEDENT OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

LAYOUT

1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY VALVES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES:

1. SEE A402, A404, AND A503 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS
2. SEE STRUCTURAL DRAWINGS FOR STEEL UNITS
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHINGS AND MATERIALS
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4"

PERMIT NOTES

1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
5. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.

7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	08-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-28-06
2	ISSUED FOR PART 2 REVIEW	04-19-06
1	ISSUED FOR DPO - PHASE 2 - SITE PLAN APPROVAL	02-03-06

ROOSEVELT SQUARE
PHASE 2
BUILDING 3A

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeJongh and Partners, Ltd.
445 East Illinois Street
Chicago, Illinois 60611

Architects:
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEPFP ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

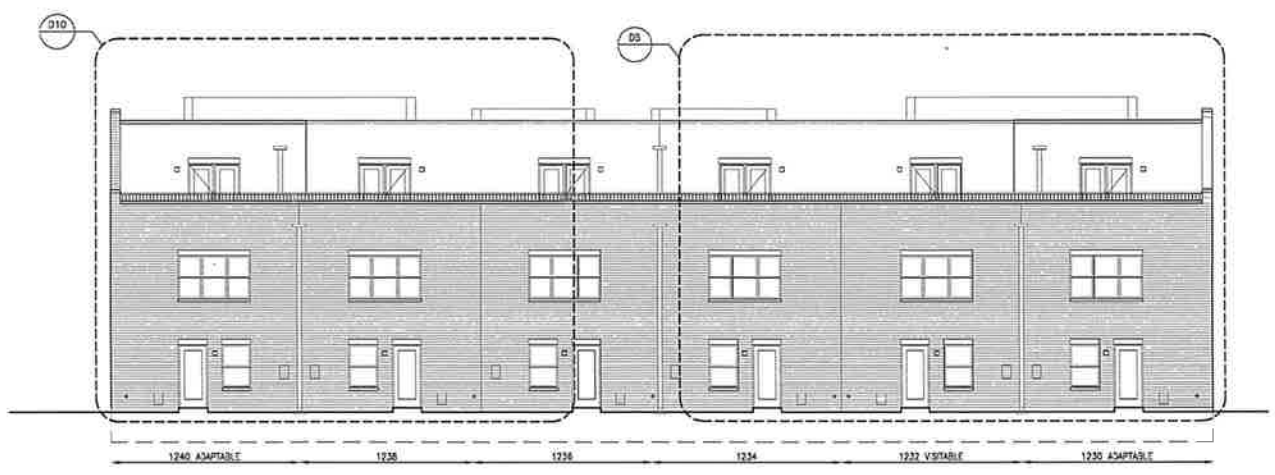
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS



D10 PARTIAL REAR ELEVATION
SCALE: 1/4"=1'-0"

D5 PARTIAL REAR ELEVATION
SCALE: 1/4"=1'-0"



H7 REAR ELEVATION
SCALE: 1/8"=1'-0"

BUILDING 0'-0" = +15.90 CCD
FOR CCD COORDINATION SEE
SPECIFIC BUILDING LOCATIONS
ON THE SITE PAVING AND
GRADING PLAN

REFERENCES
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE U.L. FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
4. SEE SECTIONS, AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A501 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

LAYOUT
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES
1. SEE A402, A404, AND A403 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR STEEL LINTELS.
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHES AND MATERIALS
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".

PERMIT NOTES
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASHES.
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LINTER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
5. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.

7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
8	ISSUED FOR PART 2-REVIEW	12-15-08
3	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR PART 2-REVIEW	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 3A**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

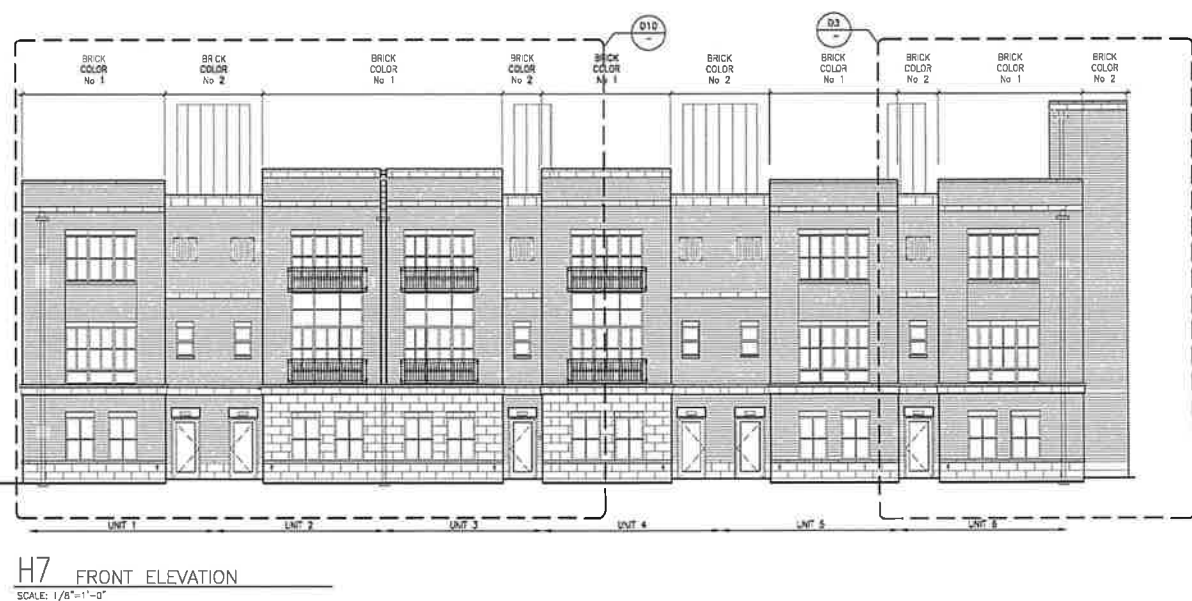
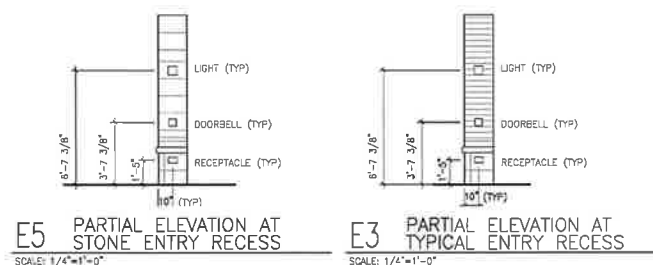
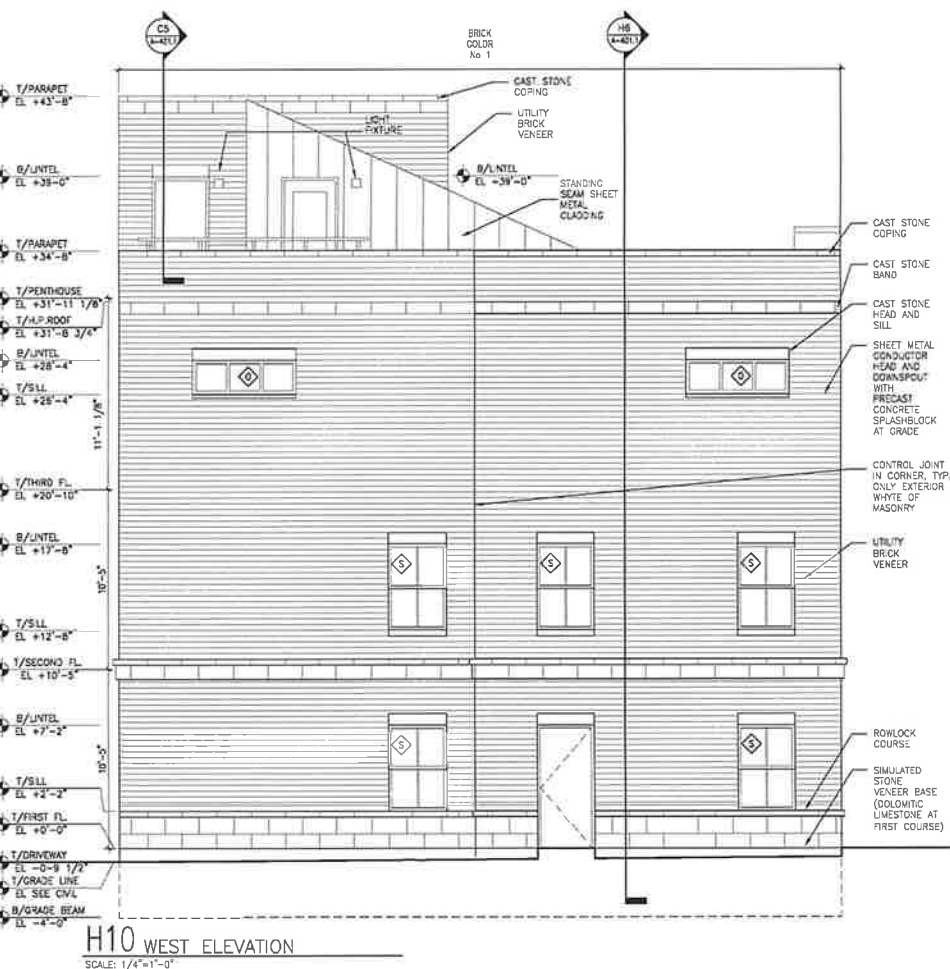
DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
112 East Wacker Drive
Chicago, Illinois 60601

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS
HMS ENGINEERING
MEP ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

3A-A302
2524
FILE NAME: ABLA 2\DWG SETS\FOR SALE\3A\3A-A301-2.d



REFERENCES

- SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
- SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
- SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
- SEE SECTIONS AND DETAILS KEYS TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENT OVER SMALLER SCALE DRAWINGS.
- SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

LAYOUT

- TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
- COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
- MECHANICAL AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBES, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES:

- SEE A402, A404, AND A503 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
- SEE STRUCTURAL DRAWINGS FOR STEEL UNITS.
- RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
- SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHES AND MATERIALS

- PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT, NUMBER HEIGHT NO LESS THAN 4".

PERMIT NOTES

- ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
- ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
- ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 8 INCHES OPENING.
- DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.

NO.	DESCRIPTION	DATE
7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-28-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR GPD - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 3D**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
444 East Madison Street
Chicago, Illinois 60611

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEP/FP ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

1/4"=1'-0"

1/8"=1'-0"

1/4"=1'-0"

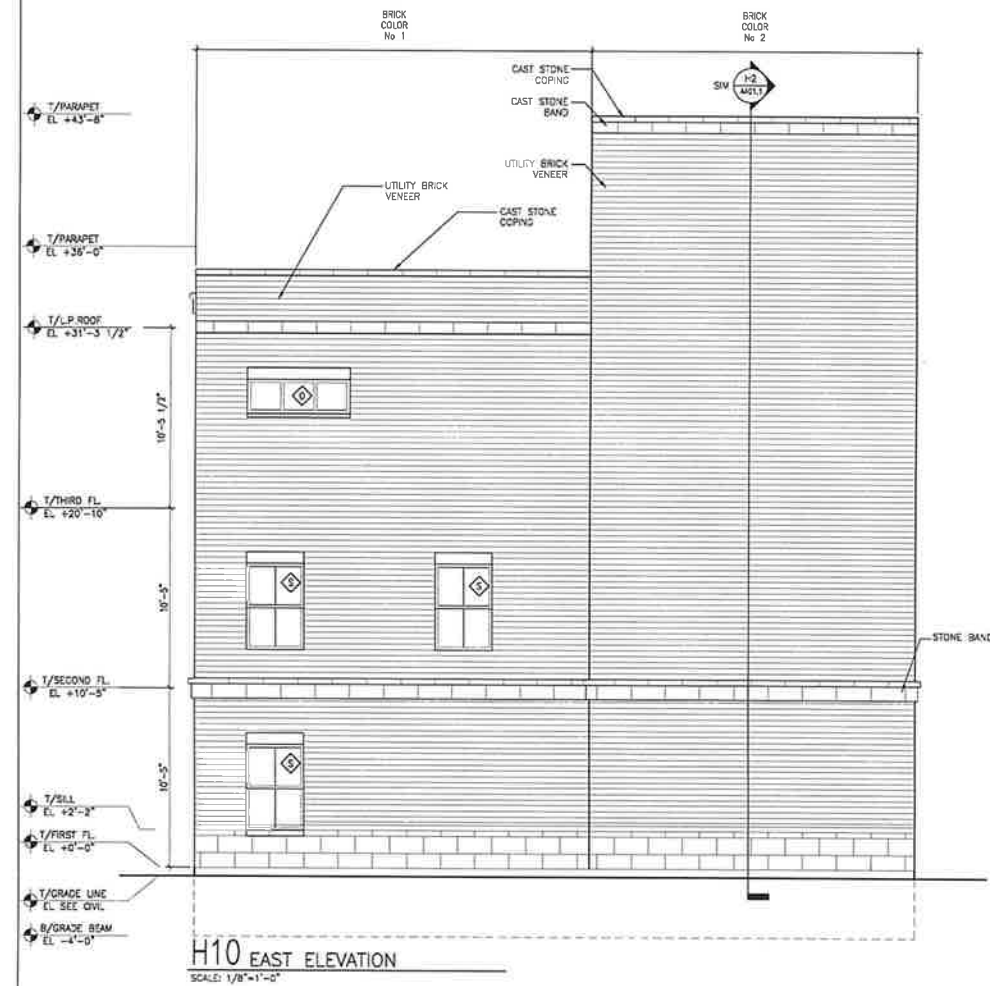
1/8"=1'-0"

2661

FILE NAME:

3D-A301

© 2005 DeStefano + Partners



REFERENCES:

1. SEE SHEET Q-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BEYOND.
2. SEE SHEET Q-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES, SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE U. L. FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET Q-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
4. SEE SECTIONS, AND DETAILS KEYS TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A003 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

LAYOUT

1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0".
2. SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DRAINAGE REFERENCES.
3. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES:

1. SEE ADD. A002, A003, AND A003 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR STEEL LINTELS.
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET S02 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHES AND MATERIALS

1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET Q-003 FOR MOUNTING HEIGHT, NUMBER HEIGHT NO LESS THAN 4".

OPENING NOTES

1. ALL DOORS AND ALL GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHERE THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 8 INCHES OPENING.
5. SCREENS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.

7	ISSUED FOR SITE PLAN APPROVAL	01-30-01
8	ISSUED FOR PART 2-REVIEW	12-15-08
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2 REVIEW	04-19-06
1	ISSUED FOR EPO - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 3D**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO | PARTNERS

DeStefano and Parkins, Eds.
 255 East Illinois Street
 Chicago, Illinois 60611

Architects:
 Planning:
 Interior Design:

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEPFP ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

3D-A302

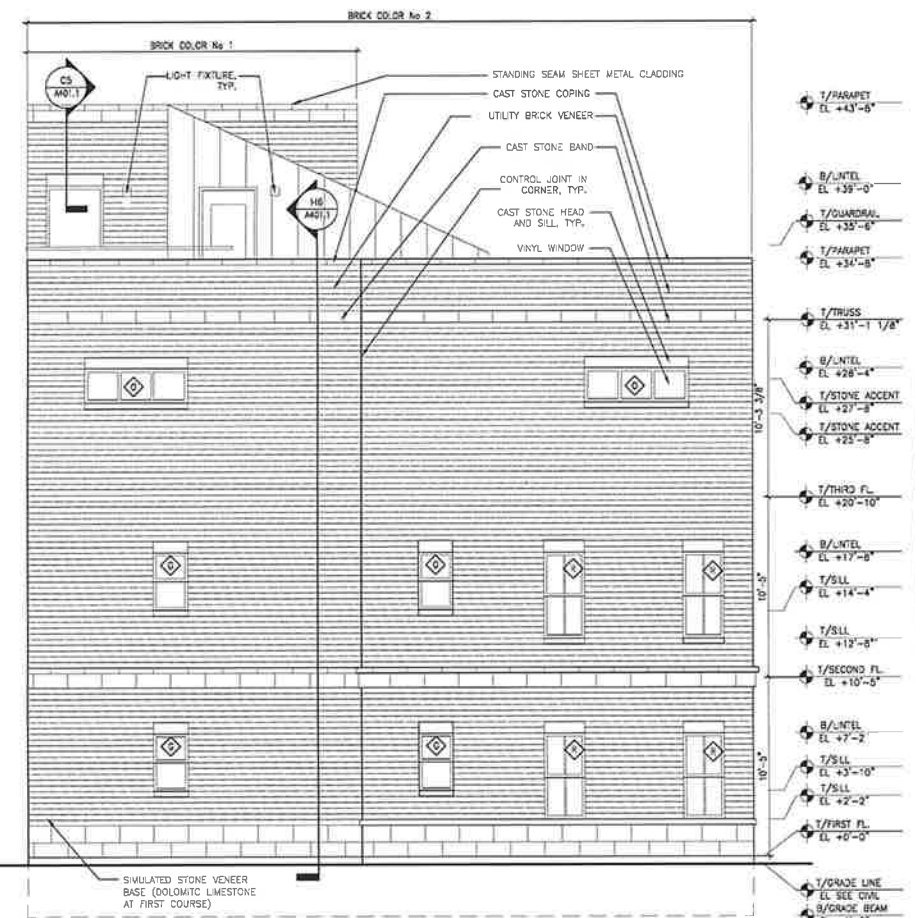


D10 FRONT ELEVATION
SCALE: 1/4"=1'-0"

D3 FRONT ELEVATION
SCALE: 1/4"=1'-0"

E3 PATIAL ELEVATION AT
TYPICAL ENTRY RECESS
SCALE: 1/4"=1'-0"

E1 PATIAL ELEVATION AT
STONE ENTRY RECESS
SCALE: 1/4"=1'-0"



H10 EAST ELEVATION
SCALE: 1/4"=1'-0"



H8 FRONT ELEVATION
SCALE: 1/8"=1'-0"

REFERENCES
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
4. SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A303 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

LAYOUT
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL EVENTS SUCH AS HOSE BIBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES:
1. SEE A402, A404, AND A503 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR STEEL LINTELS.
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHES AND MATERIALS
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET C-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".

PERMITS NOTES
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 8 INCHES OPENING.
4. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.

Rev.	Description	Date
7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-29-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR DPD - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 3E**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Inc.
414 East Wacker Drive
Chicago, Illinois 60601

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEP/P E ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

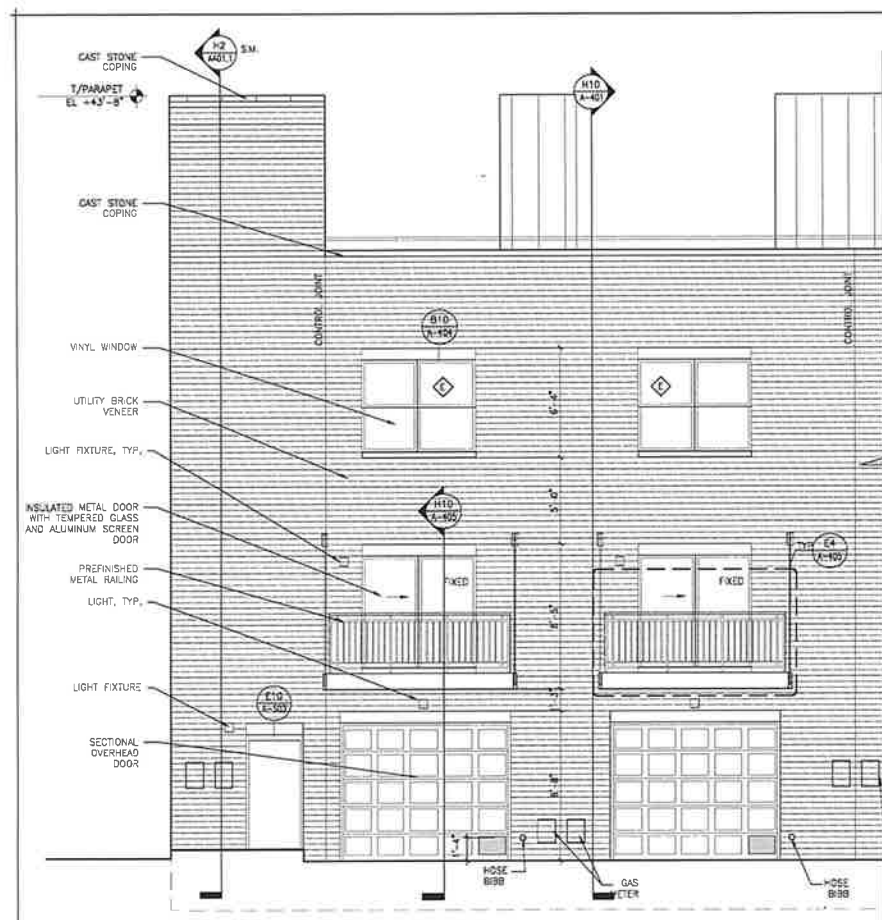
PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

1. Elevation
2. Elevation
3. Elevation
4. Elevation
5. Elevation
6. Elevation
7. Elevation
8. Elevation
9. Elevation
10. Elevation
11. Elevation
12. Elevation
13. Elevation
14. Elevation
15. Elevation
16. Elevation
17. Elevation
18. Elevation
19. Elevation
20. Elevation
21. Elevation
22. Elevation
23. Elevation
24. Elevation
25. Elevation
26. Elevation
27. Elevation
28. Elevation
29. Elevation
30. Elevation
31. Elevation
32. Elevation
33. Elevation
34. Elevation
35. Elevation
36. Elevation
37. Elevation
38. Elevation
39. Elevation
40. Elevation
41. Elevation
42. Elevation
43. Elevation
44. Elevation
45. Elevation
46. Elevation
47. Elevation
48. Elevation
49. Elevation
50. Elevation
51. Elevation
52. Elevation
53. Elevation
54. Elevation
55. Elevation
56. Elevation
57. Elevation
58. Elevation
59. Elevation
60. Elevation
61. Elevation
62. Elevation
63. Elevation
64. Elevation
65. Elevation
66. Elevation
67. Elevation
68. Elevation
69. Elevation
70. Elevation
71. Elevation
72. Elevation
73. Elevation
74. Elevation
75. Elevation
76. Elevation
77. Elevation
78. Elevation
79. Elevation
80. Elevation
81. Elevation
82. Elevation
83. Elevation
84. Elevation
85. Elevation
86. Elevation
87. Elevation
88. Elevation
89. Elevation
90. Elevation
91. Elevation
92. Elevation
93. Elevation
94. Elevation
95. Elevation
96. Elevation
97. Elevation
98. Elevation
99. Elevation
100. Elevation
101. Elevation
102. Elevation
103. Elevation
104. Elevation
105. Elevation
106. Elevation
107. Elevation
108. Elevation
109. Elevation
110. Elevation
111. Elevation
112. Elevation
113. Elevation
114. Elevation
115. Elevation
116. Elevation
117. Elevation
118. Elevation
119. Elevation
120. Elevation
121. Elevation
122. Elevation
123. Elevation
124. Elevation
125. Elevation
126. Elevation
127. Elevation
128. Elevation
129. Elevation
130. Elevation
131. Elevation
132. Elevation
133. Elevation
134. Elevation
135. Elevation
136. Elevation
137. Elevation
138. Elevation
139. Elevation
140. Elevation
141. Elevation
142. Elevation
143. Elevation
144. Elevation
145. Elevation
146. Elevation
147. Elevation
148. Elevation
149. Elevation
150. Elevation
151. Elevation
152. Elevation
153. Elevation
154. Elevation
155. Elevation
156. Elevation
157. Elevation
158. Elevation
159. Elevation
160. Elevation
161. Elevation
162. Elevation
163. Elevation
164. Elevation
165. Elevation
166. Elevation
167. Elevation
168. Elevation
169. Elevation
170. Elevation
171. Elevation
172. Elevation
173. Elevation
174. Elevation
175. Elevation
176. Elevation
177. Elevation
178. Elevation
179. Elevation
180. Elevation
181. Elevation
182. Elevation
183. Elevation
184. Elevation
185. Elevation
186. Elevation
187. Elevation
188. Elevation
189. Elevation
190. Elevation
191. Elevation
192. Elevation
193. Elevation
194. Elevation
195. Elevation
196. Elevation
197. Elevation
198. Elevation
199. Elevation
200. Elevation
201. Elevation
202. Elevation
203. Elevation
204. Elevation
205. Elevation
206. Elevation
207. Elevation
208. Elevation
209. Elevation
210. Elevation
211. Elevation
212. Elevation
213. Elevation
214. Elevation
215. Elevation
216. Elevation
217. Elevation
218. Elevation
219. Elevation
220. Elevation
221. Elevation
222. Elevation
223. Elevation
224. Elevation
225. Elevation
226. Elevation
227. Elevation
228. Elevation
229. Elevation
230. Elevation
231. Elevation
232. Elevation
233. Elevation
234. Elevation
235. Elevation
236. Elevation
237. Elevation
238. Elevation
239. Elevation
240. Elevation
241. Elevation
242. Elevation
243. Elevation
244. Elevation
245. Elevation
246. Elevation
247. Elevation
248. Elevation
249. Elevation
250. Elevation
251. Elevation
252. Elevation
253. Elevation
254. Elevation
255. Elevation
256. Elevation
257. Elevation
258. Elevation
259. Elevation
260. Elevation
261. Elevation
262. Elevation
263. Elevation
264. Elevation
265. Elevation
266. Elevation
267. Elevation
268. Elevation
269. Elevation
270. Elevation
271. Elevation
272. Elevation
273. Elevation
274. Elevation
275. Elevation
276. Elevation
277. Elevation
278. Elevation
279. Elevation
280. Elevation
281. Elevation
282. Elevation
283. Elevation
284. Elevation
285. Elevation
286. Elevation
287. Elevation
288. Elevation
289. Elevation
290. Elevation
291. Elevation
292. Elevation
293. Elevation
294. Elevation
295. Elevation
296. Elevation
297. Elevation
298. Elevation
299. Elevation
300. Elevation
301. Elevation
302. Elevation
303. Elevation
304. Elevation
305. Elevation
306. Elevation
307. Elevation
308. Elevation
309. Elevation
310. Elevation
311. Elevation
312. Elevation
313. Elevation
314. Elevation
315. Elevation
316. Elevation
317. Elevation
318. Elevation
319. Elevation
320. Elevation
321. Elevation
322. Elevation
323. Elevation
324. Elevation
325. Elevation
326. Elevation
327. Elevation
328. Elevation
329. Elevation
330. Elevation
331. Elevation
332. Elevation
333. Elevation
334. Elevation
335. Elevation
336. Elevation
337. Elevation
338. Elevation
339. Elevation
340. Elevation
341. Elevation
342. Elevation
343. Elevation
344. Elevation
345. Elevation
346. Elevation
347. Elevation
348. Elevation
349. Elevation
350. Elevation
351. Elevation
352. Elevation
353. Elevation
354. Elevation
355. Elevation
356. Elevation
357. Elevation
358. Elevation
359. Elevation
360. Elevation
361. Elevation
362. Elevation
363. Elevation
364. Elevation
365. Elevation
366. Elevation
367. Elevation
368. Elevation
369. Elevation
370. Elevation
371. Elevation
372. Elevation
373. Elevation
374. Elevation
375. Elevation
376. Elevation
377. Elevation
378. Elevation
379. Elevation
380. Elevation
381. Elevation
382. Elevation
383. Elevation
384. Elevation
385. Elevation
386. Elevation
387. Elevation
388. Elevation
389. Elevation
390. Elevation
391. Elevation
392. Elevation
393. Elevation
394. Elevation
395. Elevation
396. Elevation
397. Elevation
398. Elevation
399. Elevation
400. Elevation
401. Elevation
402. Elevation
403. Elevation
404. Elevation
405. Elevation
406. Elevation
407. Elevation
408. Elevation
409. Elevation
410. Elevation
411. Elevation
412. Elevation
413. Elevation
414. Elevation
415. Elevation
416. Elevation
417. Elevation
418. Elevation
419. Elevation
420. Elevation
421. Elevation
422. Elevation
423. Elevation
424. Elevation
425. Elevation
426. Elevation
427. Elevation
428. Elevation
429. Elevation
430. Elevation
431. Elevation
432. Elevation
433. Elevation
434. Elevation
435. Elevation
436. Elevation
437. Elevation
438. Elevation
439. Elevation
440. Elevation
441. Elevation
442. Elevation
443. Elevation
444. Elevation
445. Elevation
446. Elevation
447. Elevation
448. Elevation
449. Elevation
450. Elevation
451. Elevation
452. Elevation
453. Elevation
454. Elevation
455. Elevation
456. Elevation
457. Elevation
458. Elevation
459. Elevation
460. Elevation
461. Elevation
462. Elevation
463. Elevation
464. Elevation
465. Elevation
466. Elevation
467. Elevation
468. Elevation
469. Elevation
470. Elevation
471. Elevation
472. Elevation
473. Elevation
474. Elevation
475. Elevation
476. Elevation
477. Elevation
478. Elevation
479. Elevation
480. Elevation
481. Elevation
482. Elevation
483. Elevation
484. Elevation
485. Elevation
486. Elevation
487. Elevation
488. Elevation
489. Elevation
490. Elevation
491. Elevation
492. Elevation
493. Elevation
494. Elevation
495. Elevation
496. Elevation
497. Elevation
498. Elevation
499. Elevation
500. Elevation
501. Elevation
502. Elevation
503. Elevation
504. Elevation
505. Elevation
506. Elevation
507. Elevation
508. Elevation
509. Elevation
510. Elevation
511. Elevation
512. Elevation
513. Elevation
514. Elevation
515. Elevation
516. Elevation
517. Elevation
518. Elevation
519. Elevation
520. Elevation
521. Elevation
522. Elevation
523. Elevation
524. Elevation
525. Elevation
526. Elevation
527. Elevation
528. Elevation
529. Elevation
530. Elevation
531. Elevation
532. Elevation
533. Elevation
534. Elevation
535. Elevation
536. Elevation
537. Elevation
538. Elevation
539. Elevation
540. Elevation
541. Elevation
542. Elevation
543. Elevation
544. Elevation
545. Elevation
546. Elevation
547. Elevation
548. Elevation
549. Elevation
550. Elevation
551. Elevation
552. Elevation
553. Elevation
554. Elevation
555. Elevation
556. Elevation
557. Elevation
558. Elevation
559. Elevation
560. Elevation
561. Elevation
562. Elevation
563. Elevation
564. Elevation
565. Elevation
566. Elevation
567. Elevation
568. Elevation
569. Elevation
570. Elevation
571. Elevation
572. Elevation
573. Elevation
574. Elevation
575. Elevation
576. Elevation
577. Elevation
578. Elevation
579. Elevation
580. Elevation
581. Elevation
582. Elevation
583. Elevation
584. Elevation
585. Elevation
586. Elevation
587. Elevation
588. Elevation
589. Elevation
590. Elevation
591. Elevation
592. Elevation
593. Elevation
594. Elevation
595. Elevation
596. Elevation
597. Elevation
598. Elevation
599. Elevation
600. Elevation
601. Elevation
602. Elevation
603. Elevation
604. Elevation
605. Elevation
606. Elevation
607. Elevation
608. Elevation
609. Elevation
610. Elevation
611. Elevation
612. Elevation
613. Elevation
614. Elevation
615. Elevation
616. Elevation
617. Elevation
618. Elevation
619. Elevation
620. Elevation
621. Elevation
622. Elevation
623. Elevation
624. Elevation
625. Elevation
626. Elevation
627. Elevation
628. Elevation
629. Elevation
630. Elevation
631. Elevation
632. Elevation
633. Elevation
634. Elevation
635. Elevation
636. Elevation
637. Elevation
638. Elevation
639. Elevation
640. Elevation
641. Elevation
642. Elevation
643. Elevation
644. Elevation
645. Elevation
646. Elevation
647. Elevation
648. Elevation
649. Elevation
650. Elevation
651. Elevation
652. Elevation
653. Elevation
654. Elevation
655. Elevation
656. Elevation
657. Elevation
658. Elevation
659. Elevation
660. Elevation
661. Elevation
662. Elevation
663. Elevation
664. Elevation
665. Elevation
666. Elevation
667. Elevation
668. Elevation
669. Elevation
670. Elevation
671. Elevation
672. Elevation
673. Elevation
674. Elevation
675. Elevation
676. Elevation
677. Elevation
678. Elevation
679. Elevation
680. Elevation
681. Elevation
682. Elevation
683. Elevation
684. Elevation
685. Elevation
686. Elevation
687. Elevation
688. Elevation
689. Elevation
690. Elevation
691. Elevation
692. Elevation
693. Elevation
694. Elevation
695. Elevation
696. Elevation
697. Elevation
698. Elevation
699. Elevation
700. Elevation
701. Elevation
702. Elevation
703. Elevation
704. Elevation
705. Elevation
706. Elevation
707. Elevation
708. Elevation
709. Elevation
710. Elevation
711. Elevation
712. Elevation
713. Elevation
714. Elevation
715. Elevation
716. Elevation
717. Elevation
718. Elevation
719. Elevation
720. Elevation
721. Elevation
722. Elevation
723. Elevation
724. Elevation
725. Elevation
726. Elevation
727. Elevation
728. Elevation
729. Elevation
730. Elevation
731. Elevation
732. Elevation
733. Elevation
734. Elevation
735. Elevation
736. Elevation
737. Elevation
738. Elevation
739. Elevation
740. Elevation
741. Elevation
742. Elevation
743. Elevation
744. Elevation
745. Elevation
746. Elevation
747. Elevation
748. Elevation
749. Elevation
750. Elevation
751. Elevation
752. Elevation
753. Elevation
754. Elevation
755. Elevation
756. Elevation
757. Elevation
758. Elevation
759. Elevation
760. Elevation
761. Elevation
762. Elevation
763. Elevation
764. Elevation
765. Elevation
766. Elevation
767. Elevation
768. Elevation
769. Elevation
770. Elevation
771. Elevation
772. Elevation
773. Elevation
774. Elevation
775. Elevation
776. Elevation
777. Elevation
778. Elevation
779. Elevation
780. Elevation
781. Elevation
782. Elevation
783. Elevation
784. Elevation
785. Elevation
786. Elevation
787. Elevation
788. Elevation
789. Elevation
790. Elevation
791. Elevation
792. Elevation
793. Elevation
794. Elevation
795. Elevation
796. Elevation
797. Elevation
798. Elevation
799. Elevation
800. Elevation
801. Elevation
802. Elevation
803. Elevation
804. Elevation
805. Elevation
806. Elevation
807. Elevation
808. Elevation
809. Elevation
810. Elevation
811. Elevation
812. Elevation
813. Elevation
814. Elevation
815. Elevation
816. Elevation
817. Elevation
818. Elevation
819. Elevation
820. Elevation
821. Elevation
822. Elevation
823. Elevation
824. Elevation
825. Elevation
826. Elevation
827. Elevation
828. Elevation
829. Elevation
830. Elevation
831. Elevation
832. Elevation
833. Elevation
834. Elevation
835. Elevation
836. Elevation
837. Elevation
838. Elevation
839. Elevation
840. Elevation
841. Elevation
842. Elevation
843. Elevation
844. Elevation
845. Elevation
846. Elevation
847. Elevation
848. Elevation
849. Elevation
850. Elevation
851. Elevation
852. Elevation
853. Elevation
854. Elevation
855. Elevation
856. Elevation
857. Elevation
858. Elevation
859. Elevation
860. Elevation
861. Elevation
862. Elevation
863. Elevation
864. Elevation
865. Elevation
866. Elevation
867. Elevation
868. Elevation
869. Elevation
870. Elevation
871. Elevation
872. Elevation
873. Elevation
874. Elevation
875. Elevation
876. Elevation
877. Elevation
878. Elevation
879. Elevation
880. Elevation
881. Elevation
882. Elevation
883. Elevation
884. Elevation
885. Elevation
886. Elevation
887. Elevation
888. Elevation
889. Elevation
890. Elevation
891. Elevation
892. Elevation
893. Elevation
894. Elevation
895. Elevation
896. Elevation
897. Elevation
898. Elevation
899. Elevation
900. Elevation
901. Elevation
902. Elevation
903. Elevation
904. Elevation
905. Elevation
906. Elevation
907. Elevation
908. Elevation
909. Elevation
910. Elevation
911. Elevation
912. Elevation
913. Elevation
914. Elevation
915. Elevation
916. Elevation
917. Elevation
918. Elevation
919. Elevation
920. Elevation
921. Elevation
922. Elevation
923. Elevation
924. Elevation
925. Elevation
926. Elevation
927. Elevation
928. Elevation
929. Elevation
930. Elevation
931. Elevation
932. Elevation
933. Elevation
934. Elevation
935. Elevation
936. Elevation
937. Elevation
938. Elevation
939. Elevation
940. Elevation
941. Elevation
942. Elevation
943. Elevation
944. Elevation
945. Elevation
946. Elevation
947. Elevation
948. Elevation
949. Elevation
950. Elevation
951. Elevation
952. Elevation
953. Elevation
954. Elevation
955. Elevation
956. Elevation
957. Elevation
958. Elevation
959. Elevation
960. Elevation
961. Elevation
962. Elevation
963. Elevation
964. Elevation
965. Elevation
966. Elevation
967. Elevation
968. Elevation
969. Elevation
970. Elevation
971. Elevation
972. Elevation
973. Elevation
974. Elevation
975. Elevation
976. Elevation
977. Elevation
978. Elevation
979. Elevation
980. Elevation
981. Elevation
982. Elevation
983. Elevation
984. Elevation
985. Elevation
986. Elevation
987. Elevation
988. Elevation
989. Elevation
990. Elevation
991. Elevation
992. Elevation
993. Elevation
994. Elevation
995. Elevation
996. Elevation
997. Elevation
998. Elevation
999. Elevation
1000. Elevation

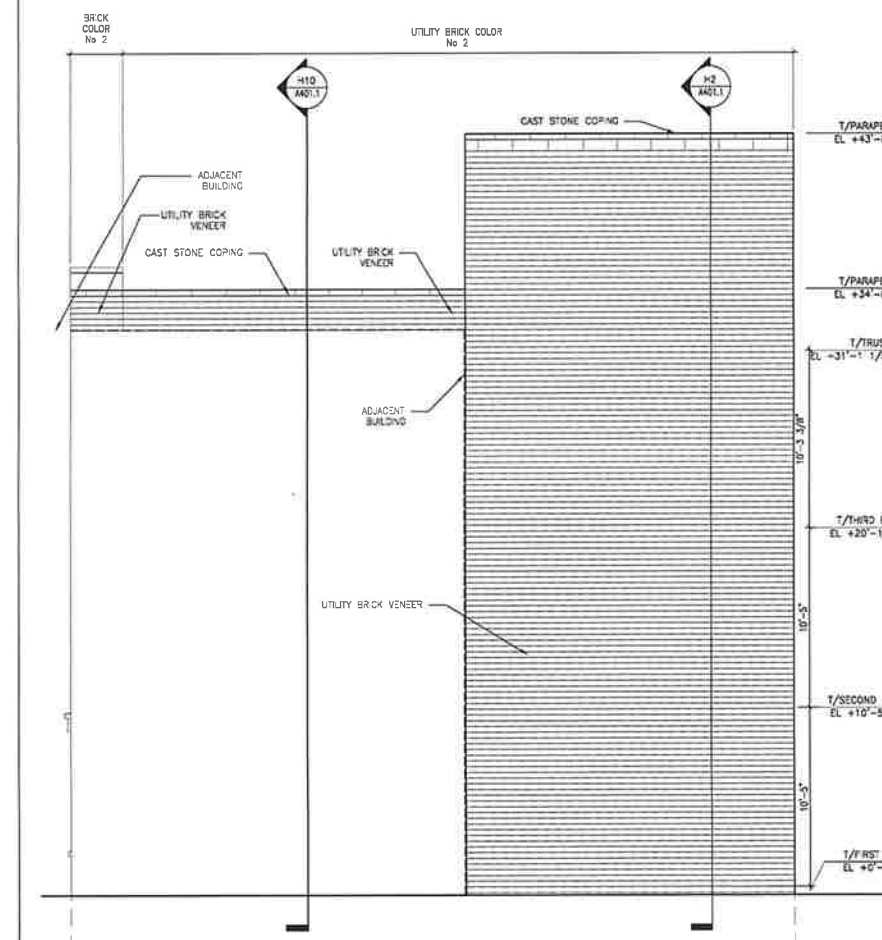
3E-A301



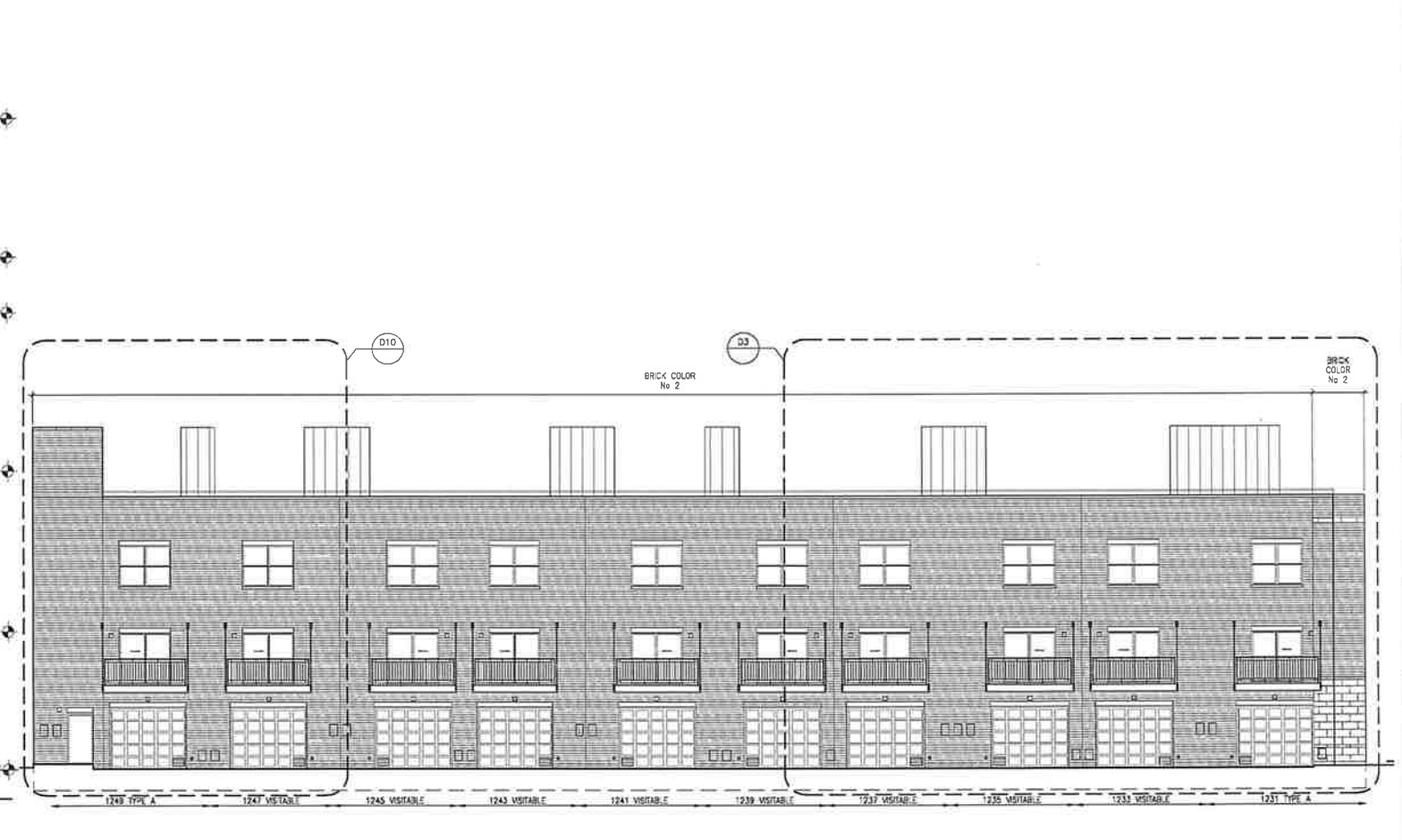
D10 REAR ELEVATION
SCALE: 1/4"=1'-0"



D3 REAR ELEVATION
SCALE: 1/4"=1'-0"



H10 WEST ELEVATION
SCALE: 1/4"=1'-0"



H8 REAR ELEVATION
SCALE: 1/8"=1'-0"

- REFERENCES**
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
 2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE U.L. FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
 3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
 4. SEE SECTIONS, AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
 5. SEE SHEET A-003 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

- NOTES**
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
 2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCOPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
 3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

- ELEVATION NOTES:**
1. SEE A-002, A-004, AND A-003 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
 2. SEE STRUCTURAL DRAWINGS FOR STEEL UNITS.
 3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
 4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

- FINISHES AND MATERIALS**
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".

- PERMITS NOTES**
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
 2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE (SASHES).
 3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
 5. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.

7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR PD - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 3E**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
444 East Wacker Street
Chicago, Illinois 60611

Architectural
Planning
Interior Design

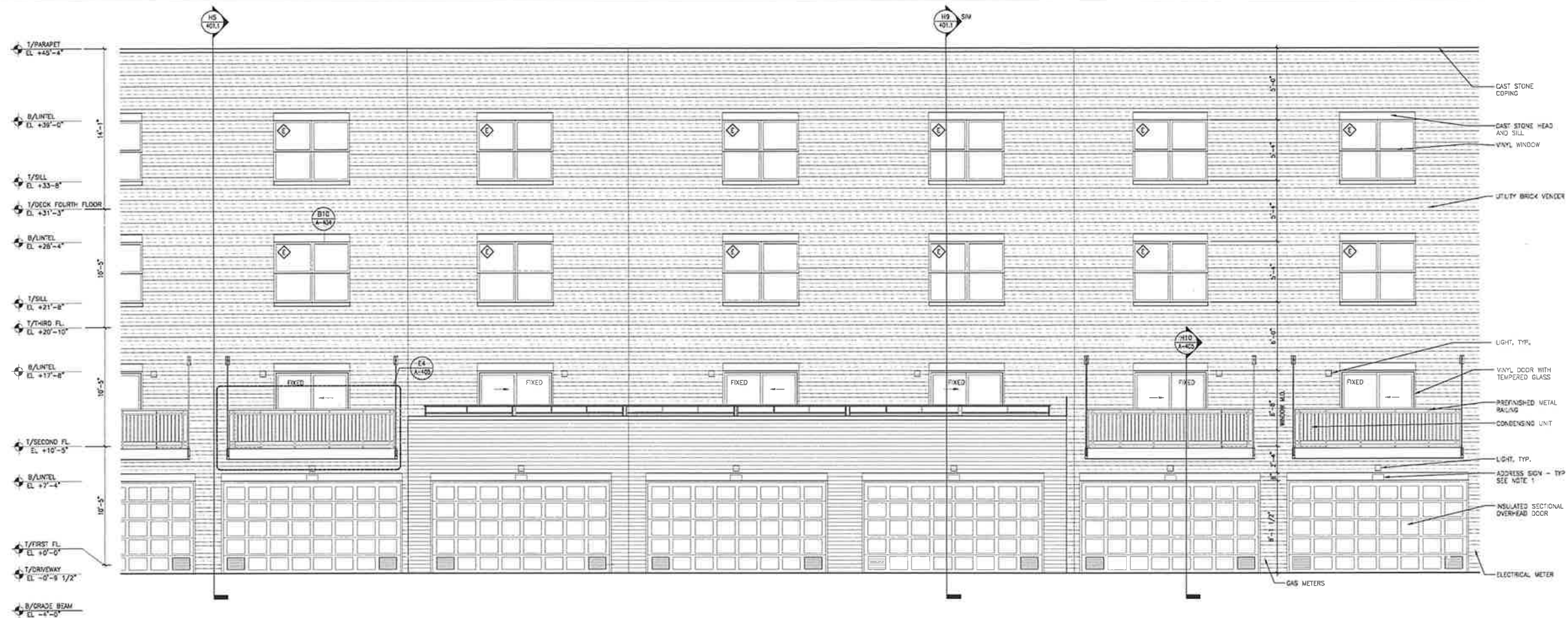
- DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
- HMS ENGINEERING
MEPFP ENGINEER
- DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
- PRISM ENGINEERING INC.
CIVIL ENGINEER
- WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

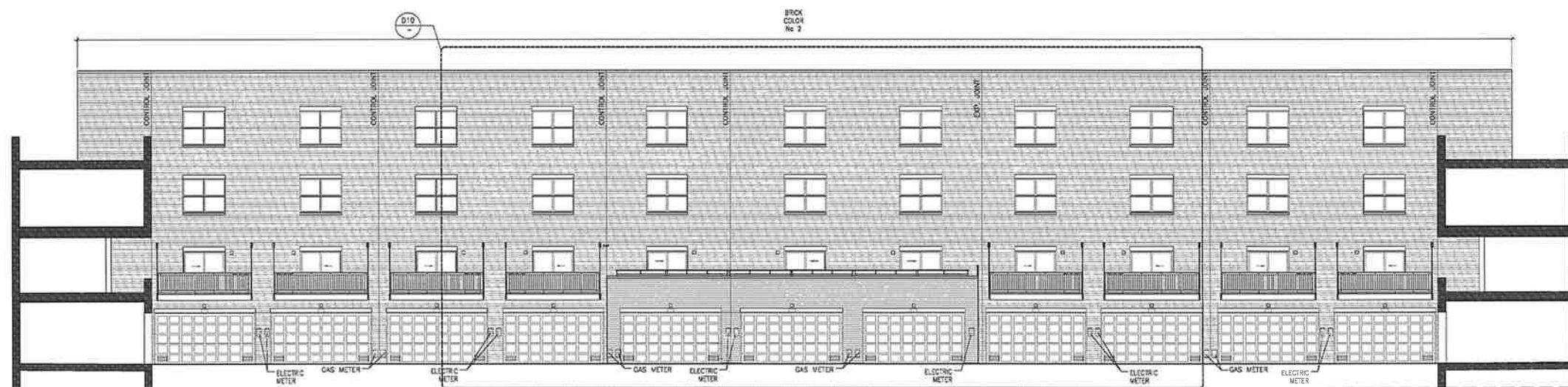
3E-A302

2661

FILE NAME: ABLA2\DWGSET\3E\3E-A301-302



D10 PARTIAL
REAR ELEVATION
SCALE: 1/4"=1'-0"



H10 REAR ELEVATION
SCALE: 1/8"=1'-0"

- REFERENCES**
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
 2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
 3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
 4. SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
 5. SEE SHEET A-001 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
- LAYOUT**
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
 2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCOURERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
 3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
- ELEVATION NOTES**
1. SEE A-002, A-004, AND A-005 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
 2. SEE STRUCTURAL DRAWINGS FOR STEEL UNITS.
 3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
 4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.
- FINISHES AND MATERIALS**
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT, NUMBER HEIGHT NO LESS THAN 4".
- SPRINT NOTES**
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
 2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
 3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
 5. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.
 4. THIRD AND FOURTH FLOOR HABITABLE ROOMS SHALL HAVE A MINIMUM OF 1 OPERABLE WINDOW SASH WITH A MAXIMUM SILL HEIGHT OF 44 INCHES AND A MINIMUM CLEAR OPENING OF 6 SQUARE FEET WITH EITHER A MINIMUM 24 INCHES CLEAR HORIZONTAL DIMENSION OR A MINIMUM 36 INCHES CLEAR VERTICAL DIMENSION.

NO.	DESCRIPTION	DATE
7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-28-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR DPD - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 3F**

1111/1113 S. THROOP ST.
1112/1114 S. LYTLE ST.
CHICAGO, ILLINOIS

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
Architectural
1111/1113 S. Throop St.
Chicago, Illinois 60611

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEP/PF ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

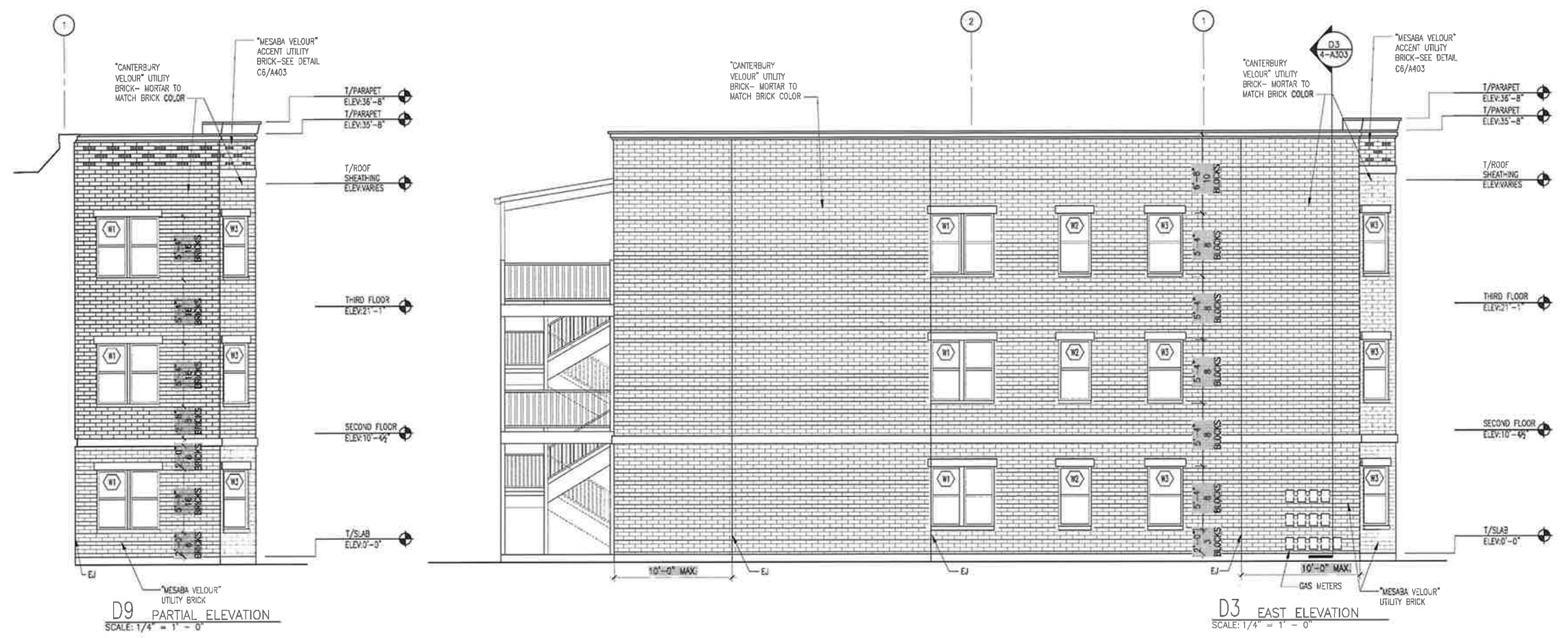
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

3F-A302

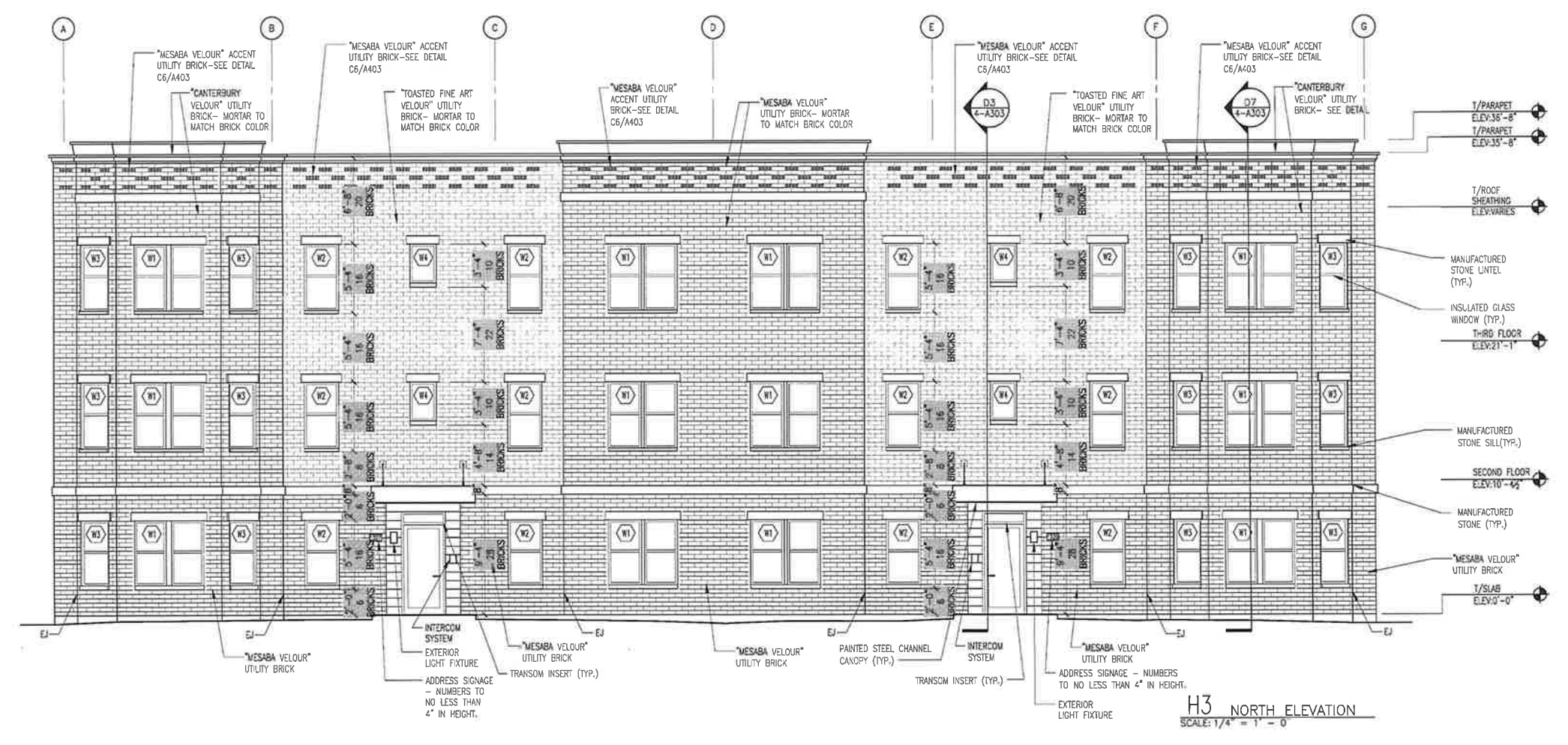
2661
FILE NAME:

© 2005 De Stefano + Partners



D9 PARTIAL ELEVATION
SCALE: 1/4" = 1' - 0"

D3 EAST ELEVATION
SCALE: 1/4" = 1' - 0"



H3 NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

1	ISSUE FOR SITE PLAN APPROVAL	04-25-2007
No.	Description	Date

ROOSEVELT SQUARE PHASE II BUILDING 4

CHICAGO, ILLINOIS
ROOSEVELT SQUARE II LLC

ARCHITECTURE • ENGINEERING • PLANNING • DESIGN
ECONOMIC DEVELOPMENT • CONSTRUCTION MANAGEMENT



21 West Lincoln Street, Suite 2000 Chicago, Illinois 60610
Telephone: (312) 644-5500 Facsimile: (312) 644-0356

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

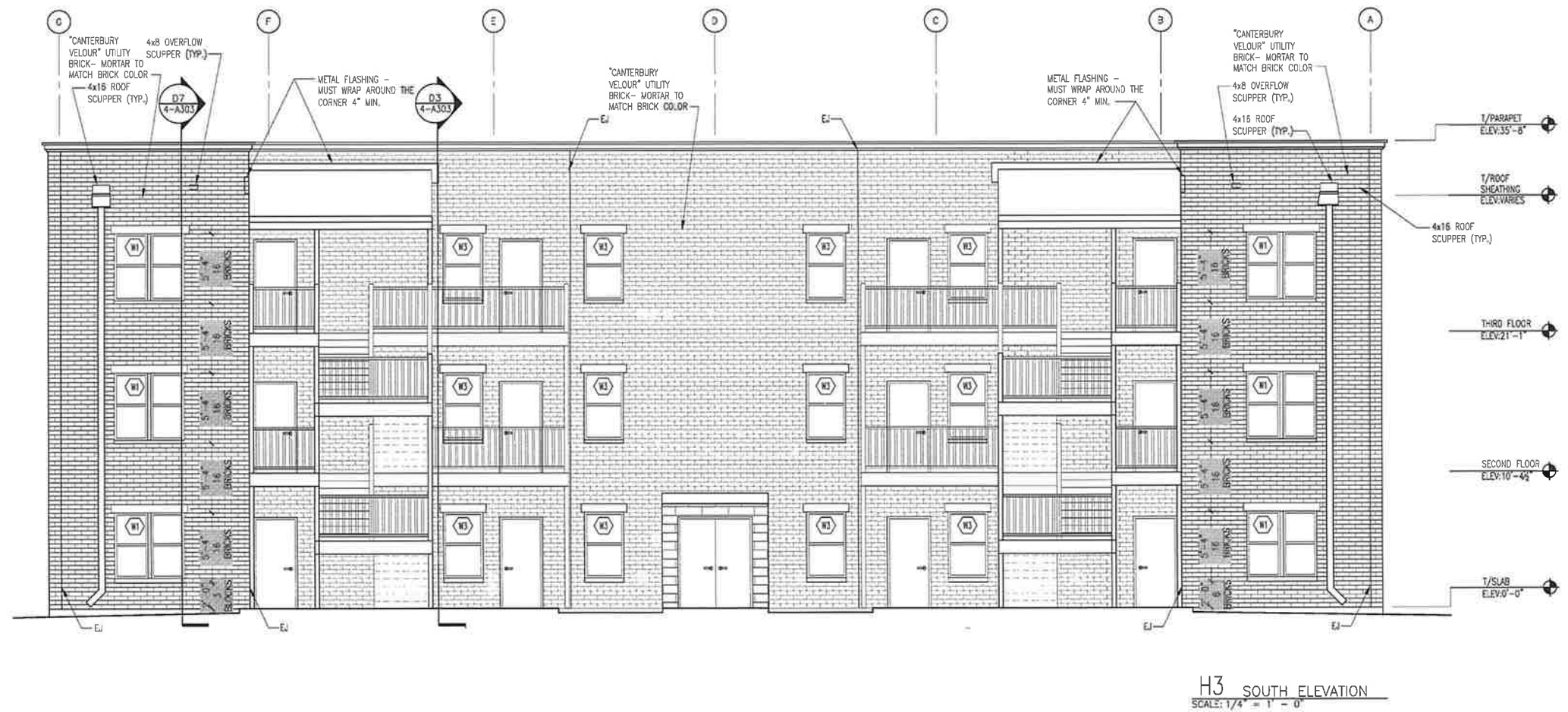
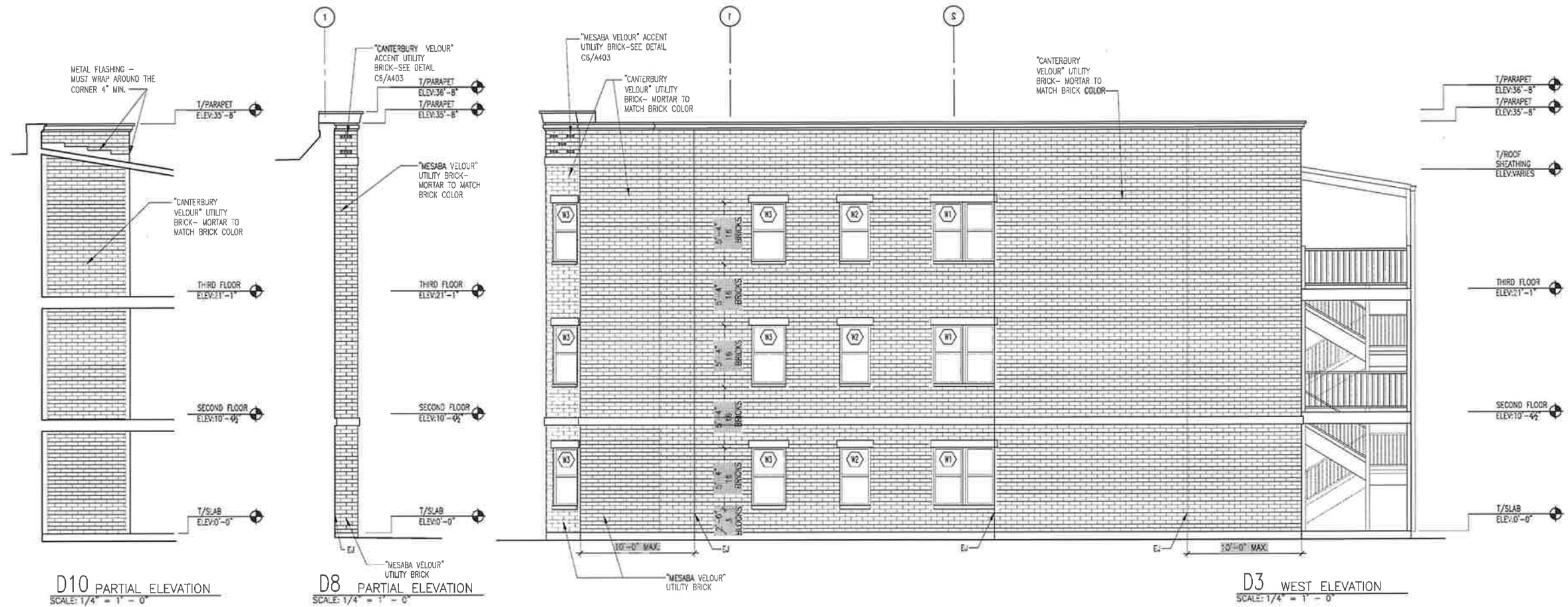
PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

Drawing Title

ELEVATIONS

Drawn	Date
MAC	05-18-06
Checked By	Drawing Number
HK	
Approved	
HK	
Job Number	
2524	



General Notes

1. ISSUE FOR SITE PLAN APPROVAL 07-30-2007

ROOSEVELT SQUARE PHASE II BUILDING 4

CHICAGO, ILLINOIS
ROOSEVELT SQUARE II LLC

ARCHITECTURE • ENGINEERING • PLANNING • URBAN DESIGN
ECONOMIC DEVELOPMENT • CONSTRUCTION MANAGEMENT



21 West Wabash Street, Suite 2000 Chicago, Illinois 60610
Telephone: (312) 644-3500 Facsimile: (312) 644-0356

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

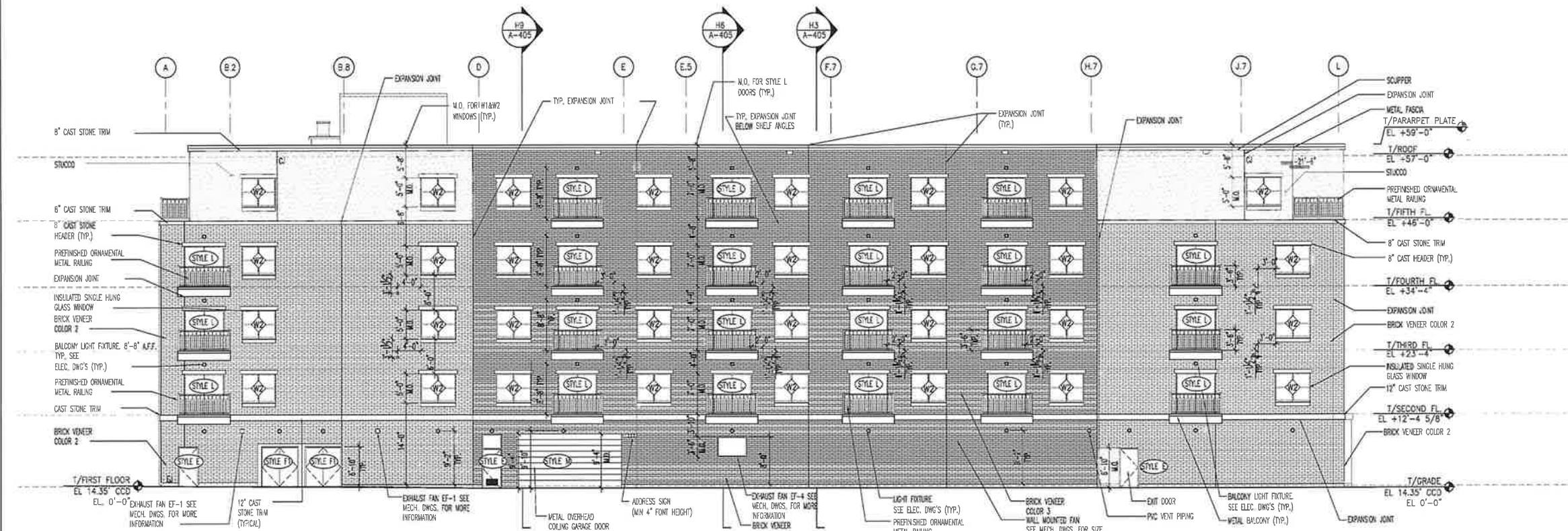
Drawing Title

ELEVATIONS

Drawn	DATE
MAC	05-18-06
Checked By	Drawing Number
MX	
Approved	
HK	
Job Number	
2524	

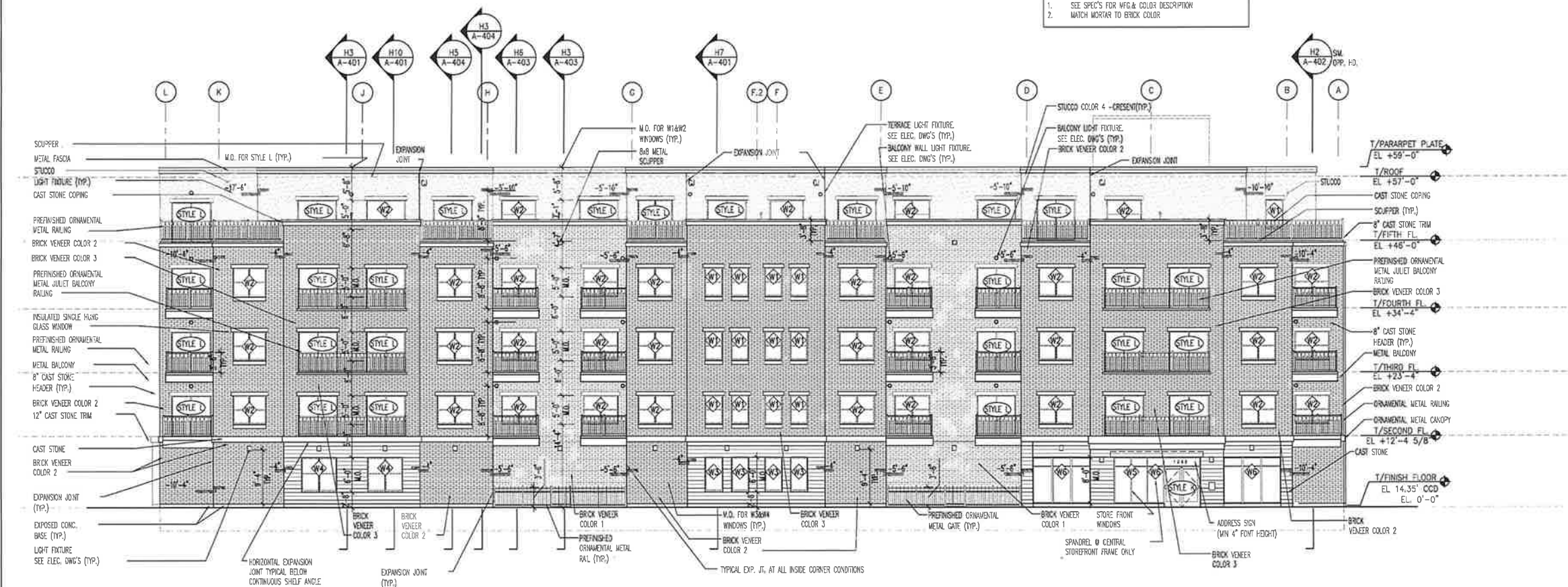
4-A302

FILE NAME: 2524_Abln\Drawings\2524_4-A301



D5 SOUTH ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE:
COLOR 1=MESABA VELOUR(DARK)
COLOR 2=TOASTED FINE ART VELOUR(LIGHT)
COLOR 3=CANTERBURY VELOUR(MEDIUM)
COLOR 4=CRESNET(ETG)
1. SEE SPEC'S FOR WFG & COLOR DESCRIPTION
2. MATCH MORTAR TO BRICK COLOR



H5 NORTH ELEVATION
SCALE: 1/8" = 1' - 0"

General Notes

1. SEE SHEET A-503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW COLORS, AND DOOR FRAME DETAILS.
2. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
3. STUCCO COLOR TO MATCH STONE
4. ALL OPERABLE WINDOWS WITHIN 20 FEET OF THE GROUND LEVEL OR 10 FEET OF AN ADJACENT ROOF TO HAVE OPEN LIMITER.

1	ISSUE FOR SITE PLAN APPROVAL	01-30-2007
2	Revised	
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

ROOSEVELT SQUARE PHASE 2 BUILDING 5A-THROOP 1255 WEST ROOSEVELT ROAD CHICAGO, ILLINOIS **RS HOMES II LLC**

ARCHITECTURE • ENGINEERING • PLANNING • URBAN DESIGN
ECONOMIC DEVELOPMENT • CONSTRUCTION MANAGEMENT

MACONDO
corp.

21 West Illinois Street, Suite 2000 Chicago, Illinois 60610
Telephone: (312) 644-5000 Facsimile: (312) 644-0355

SAMARTANO AND COMPANY
STRUCTURAL ENGINEERS

W-T ENGINEERING, LLC.
MECHANICAL ENGINEERS

DESTEFANO PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

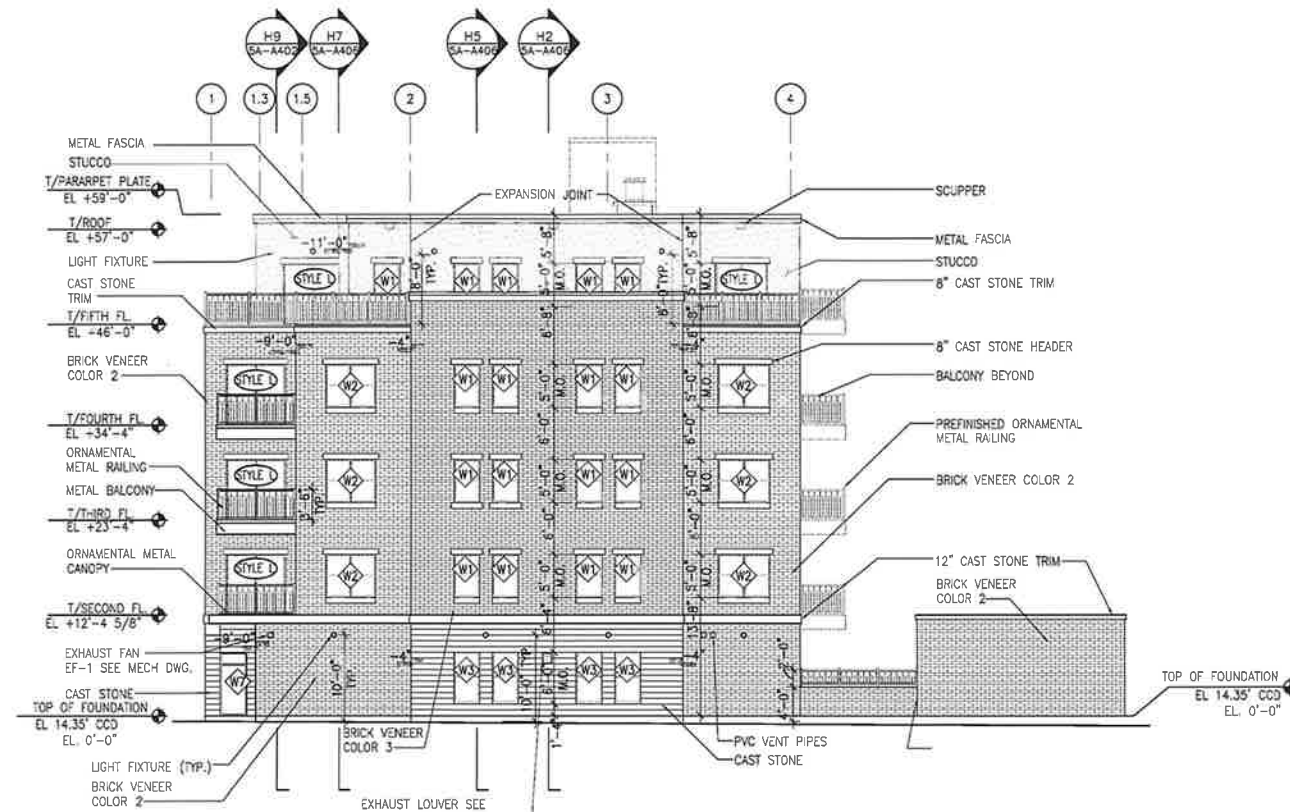
PRISM ENGINEERING, INC.
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

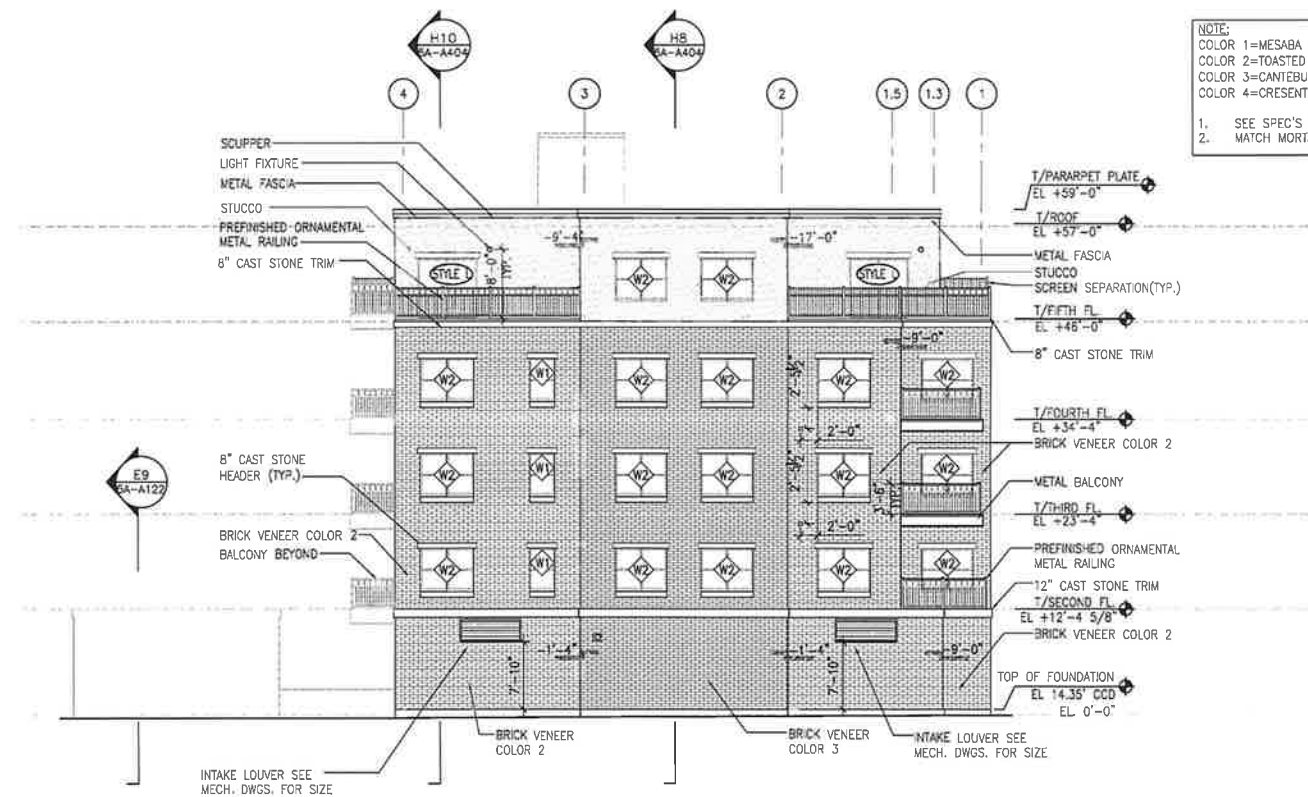
BUILDING ELEVATIONS

Drawn	Date
MAC	04-19-2006
Checked By	Drawing Number
MA	
Approved	
HK	
John Peabody	
2513	
FILE NAME: 5A-A301	

5A-A301



D6 WEST ELEVATION
SCALE: 1/8" = 1' - 0"



H6 EAST ELEVATION
SCALE: 1/8" = 1' - 0"

NOTE:
COLOR 1=MESABA VELOUR(DARK)
COLOR 2=TOASTED FINE ART VELOUR(LIGHT)
COLOR 3=CANTEBURY VELOUR(MEDIUM)
COLOR 4=CRESENT(EFIS)
1. SEE SPEC'S FOR MFG. & COLOR DESCRIPTION
2. MATCH MORTAR TO BRICK COLOR

General Notes

- SEE SHEET A-503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW COLORS, AND DOOR FRAME DETAILS.
- TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
- STUCCO COLOR TO MATCH STONE
- ALL OPERABLE WINDOWS WITHIN 20 FEET OF THE GROUND LEVEL OR 10 FEET OF AN ADJACENT ROOF TO HAVE OPEN LIMITER.

1	ISSUE FOR SITE PLAN APPROVAL	01-30-2007
Rev.	Description	Date

**ROOSEVELT SQUARE
PHASE 2
BUILDING 5A-THROOP**
1255 WEST ROOSEVELT ROAD
CHICAGO, ILLINOIS
RS HOMES II LLC

ARCHITECTURE • ENGINEERING • PLANNING • URBAN DESIGN
ECONOMIC DEVELOPMENT • CONSTRUCTION MANAGEMENT

MACONDO
corp.
21 West Illinois Street, Suite 2000 Chicago, Illinois 60610
Telephone: (312) 544-5500 Facsimile: (312) 544-0358

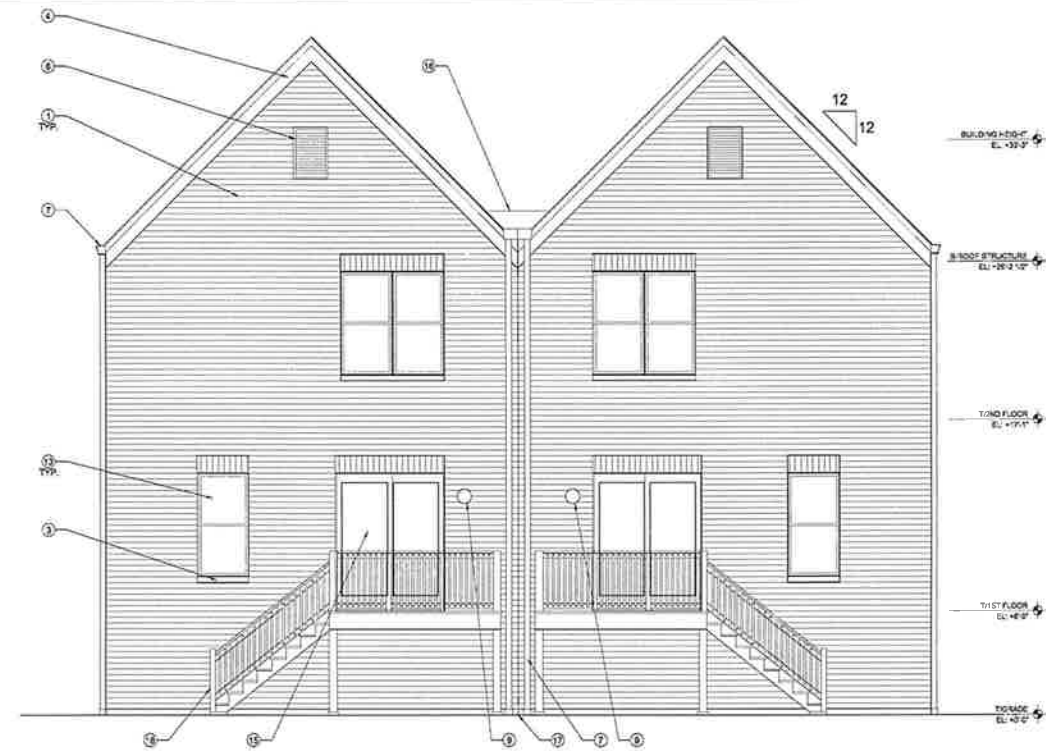
SAMARTANO AND COMPANY
STRUCTURAL ENGINEERS
W-T ENGINEERING, LLC.
MEPEP ENGINEERS
DESTEFANO PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING, INC.
CIVIL ENGINEERS
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

Drawing Title
BUILDING ELEVATIONS

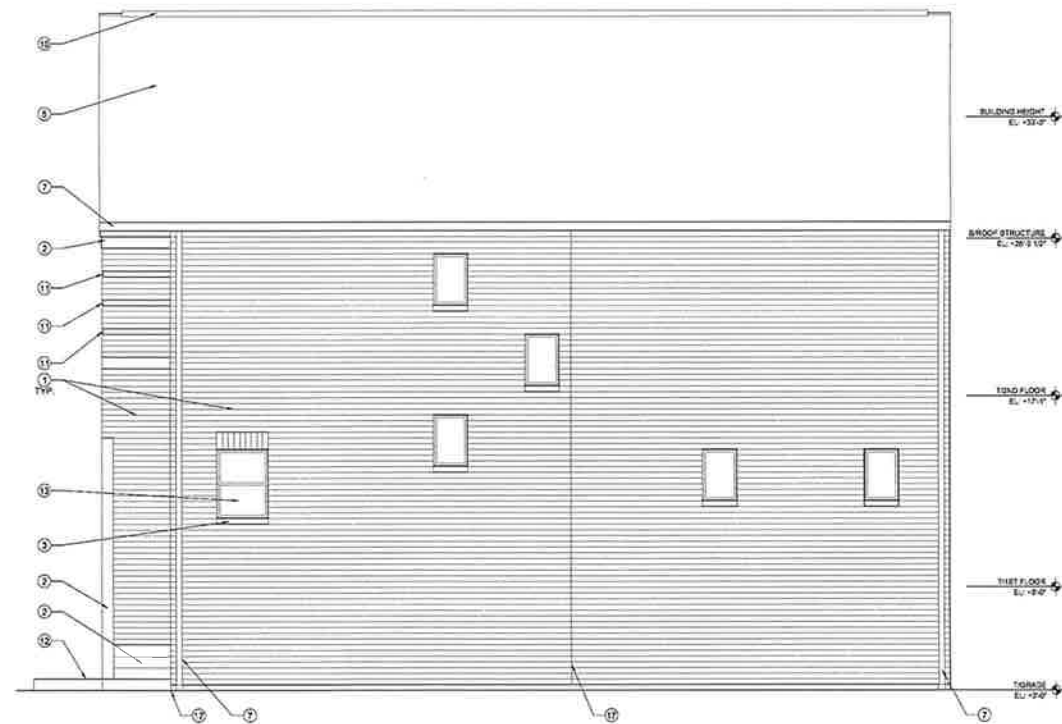
Drawn: MAC Date: 04-10-2006
Checked By: MA Drawing Number:
Approved: HK
Job Number: 5A-A302
2513
FILE NAME: 5A-A302



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- MATERIALS LEGEND**
1. UTILITY FACE BRICK
 2. CAST STONE
 3. CAST STONE SILL
 4. CONCRETE BOARD TRIM
 5. ASPHALT SHINGLES
 6. PRE-FINISHED LOUVER
 7. PRE-FINISHED ALUMINUM GUTTER & DOWNSPOUT
 8. INSULATED VINYL FIXED WINDOW
 9. EXTERIOR LIGHT FIXTURE
 10. RIDGE VENT
 11. RECESSED BRICK COURSE
 12. CONCRETE STOOP
 13. INSULATED VINYL SINGLE-HUNG WINDOW
 14. INSULATED VINYL ENTRY DOOR
 15. INSULATED VINYL SLIDE DOOR
 16. CRICKET
 17. MASONRY JOINT
 18. WOOD DECK & STAIR

General Notes

No.	Description	Date
1	SITE PLAN APPROVAL	02-08-07

ROOSEVELT SQUARE
PHASE II
BUILDING 8A

ROOSEVELT SQUARE II LLC

**SULLIVAN
GOULETTE
& WILSON**

ARCHITECTS
760 N. FRANKLIN STREET SUITE 203
CHICAGO, ILLINOIS 60610
P: 312.988.7412
F: 312.988.7409
www.sullivan-goulette.com

PROFESSIONAL DESIGN FIRM
License Number: 164-001305
Expiration Date: April 30, 2007

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
MECHANICAL ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING, INC.
CIVIL ENGINEERS

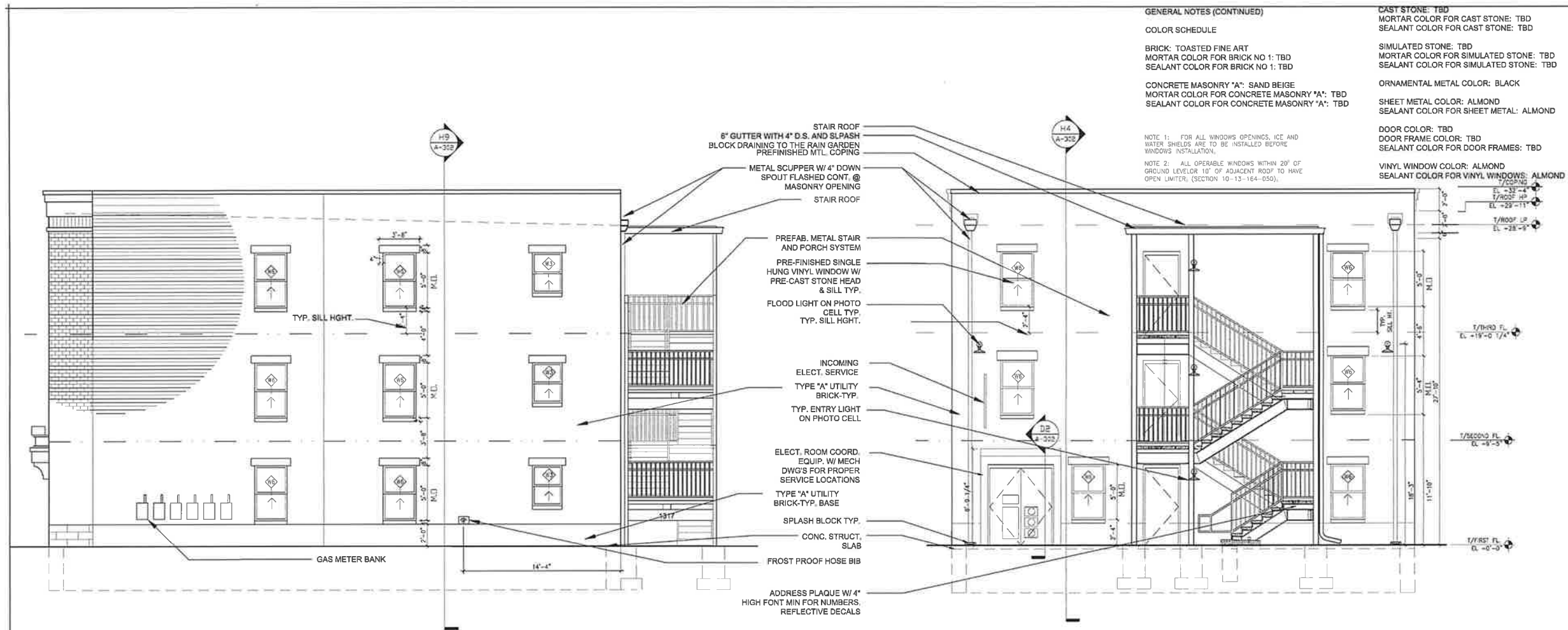
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECTS

Drawing Title

EXTERIOR ELEVATIONS

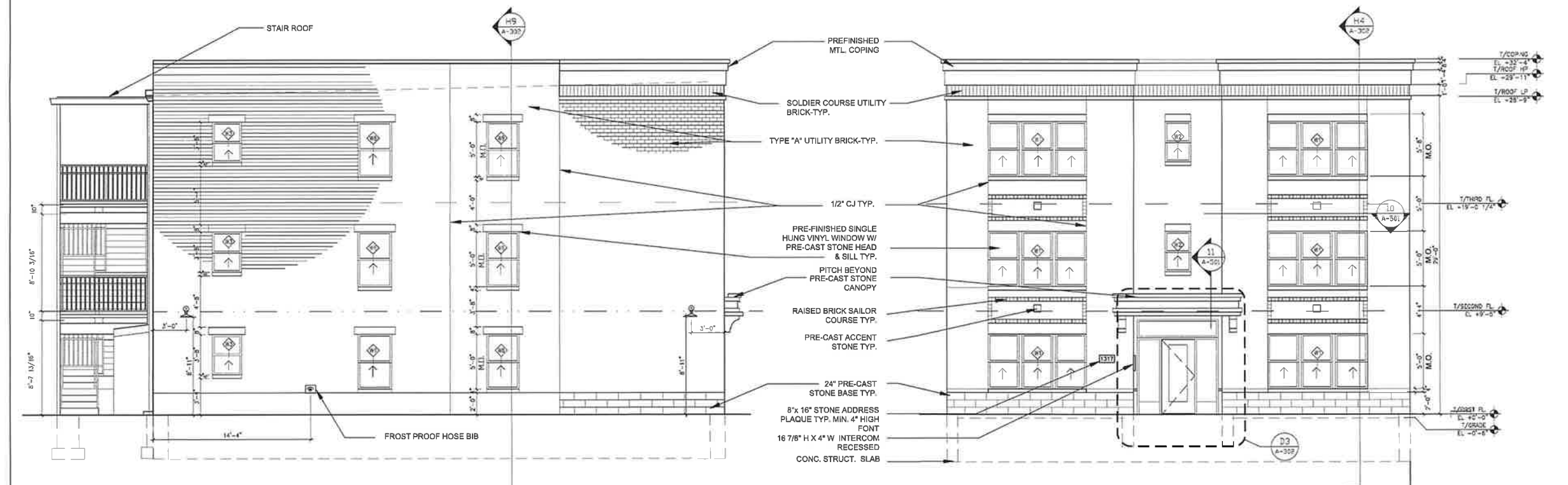
Drawn	Date
TJ, MB	
Checked By	Drawing Number
XX	
Approved	
XX	
Job Number	

8A-A301



D9 REAR ELEVATION
SCALE: 1/4"=1'-0"

D3 LEFT ELEVATION
SCALE: 1/4"=1'-0"



H9 FRONT ELEVATION
SCALE: 1/4"=1'-0"

H3 RIGHT ELEVATION
SCALE: 1/4"=1'-0"

- General Notes**
- REFERENCES**
- SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
 - SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
 - SEE SHEET G-003 AND G-004 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
 - SEE SECTIONS, AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENT OVER SMALLER SCALE DRAWINGS.
 - SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
- LAYOUT**
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
 2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
 3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
 4. CONTROL JOINTS NOT TO EXCEED 25'-0"
- FURNISHINGS AND MATERIALS**
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT.
- (CONTINUED ON SHEET)

No.	Description	Date
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2	ISSUED FOR SITE PLAN APPROVAL	01-30-07
1	ISSUED FOR PART 2 REVIEW	05-23-08

**ROOSEVELT SQUARE
PHASE 2**

CHICAGO, IL. 60607

**BUILDING TYPE 12A
ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**



DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEERS

H.M.S. ENGINEERS
MECHANICAL ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

Drawn Title

BUILDING ELEVATIONS

Drawn **Date** 12/10/2003

Checked By **Drawing Number**

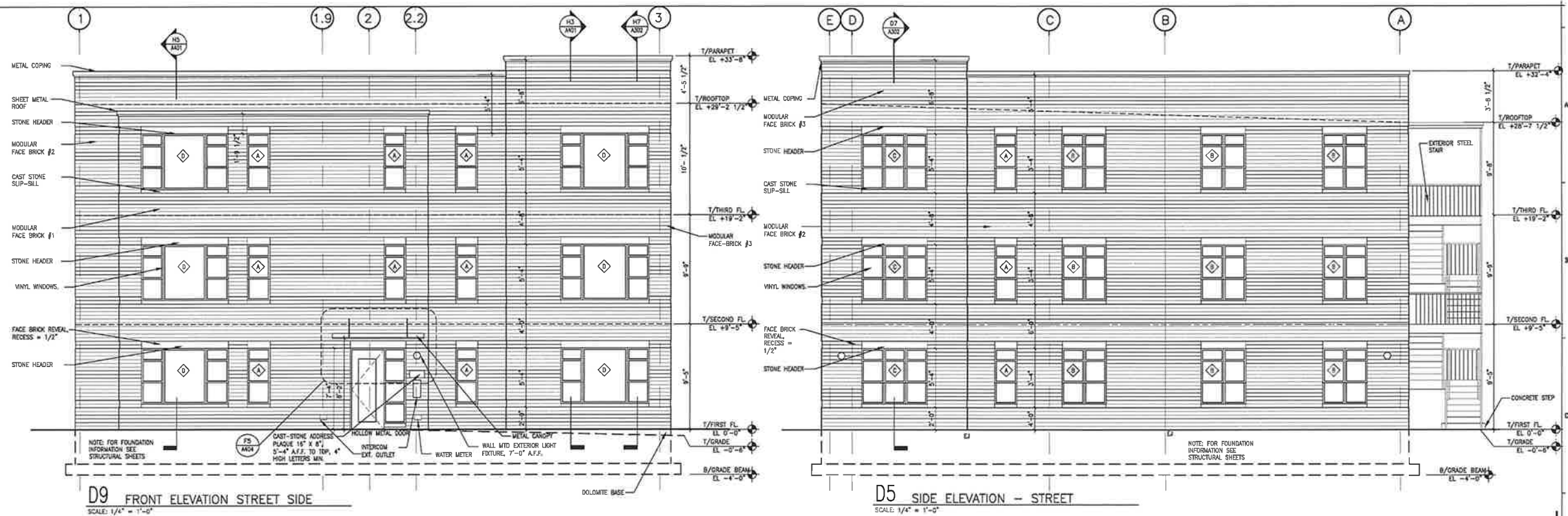
Approved

ES

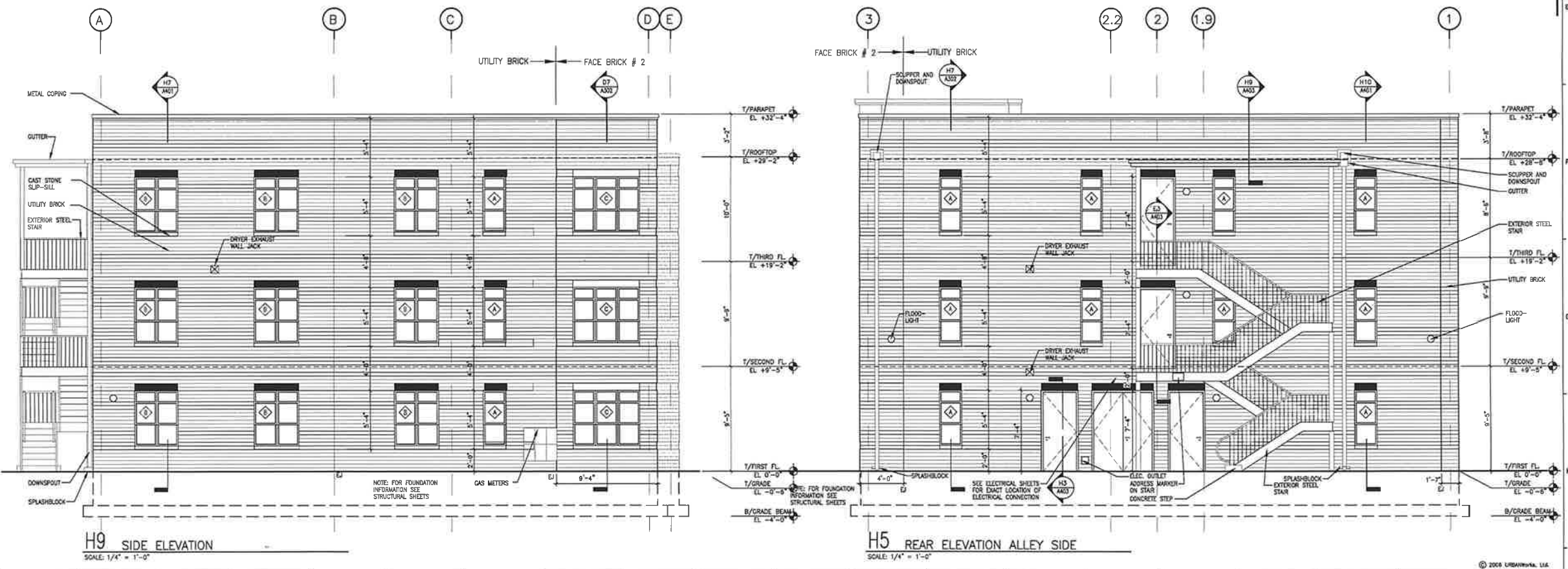
Job Number 12A-A301

040503

FIELDOMABLE



FOR CCD COORDINATION
SEE SPECIFIC BUILDING
LOCATIONS ON THE SITE
PAVING AND GRADING PLAN



General Notes

REFERENCES:
1. SEE SHEET G-001 FOR TYPICAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE/ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS FOR MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
4. SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS (LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS).
5. SEE SHEET A-503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
6. SEE SHEET A-101 FOR ADDITIONAL LOCATIONS OF EXPANSION JOINTS IN BRICK-FACADE.
7. FOR LOCATION OF EXPANSION JOINTS SEE SHEET A101.

LAYOUT:
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC., SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
4. ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED AT 7'-0" A.F.F.

FURNISHING AND MATERIALS:
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT.

15	
14	
13	
12	
11	
10	
9	
8	
7	
6	
5	
4	
3	
2	
1	

ISSUED FOR SITE PLAN APPROVAL 01/20/07
No. Description Date

**ROOSEVELT SQUARE
PHASE 2
BUILDING 12D
CHICAGO, ILLINOIS**

**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**

**UW
URBANWorks**
UrbanWorks Ltd.
213 W. Institute Place
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
M.E.P.F. ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

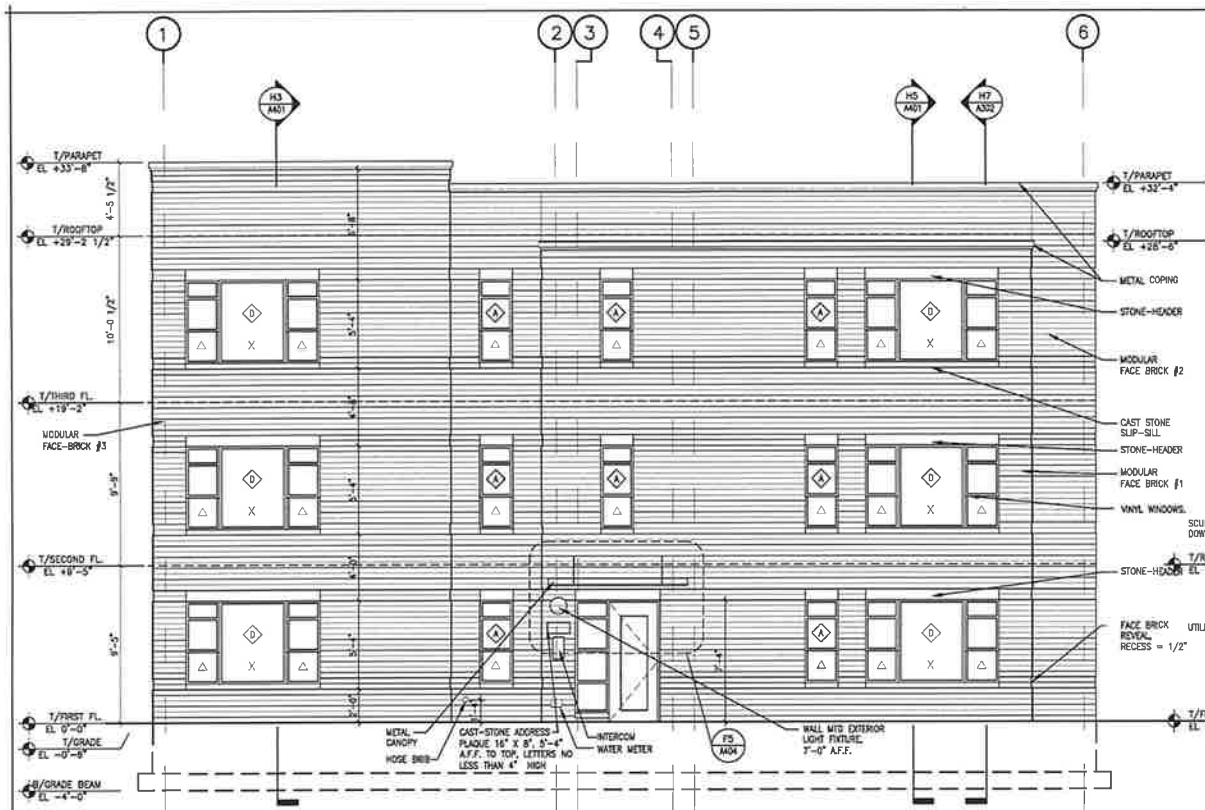
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

Building Title
BUILDING ELEVATIONS

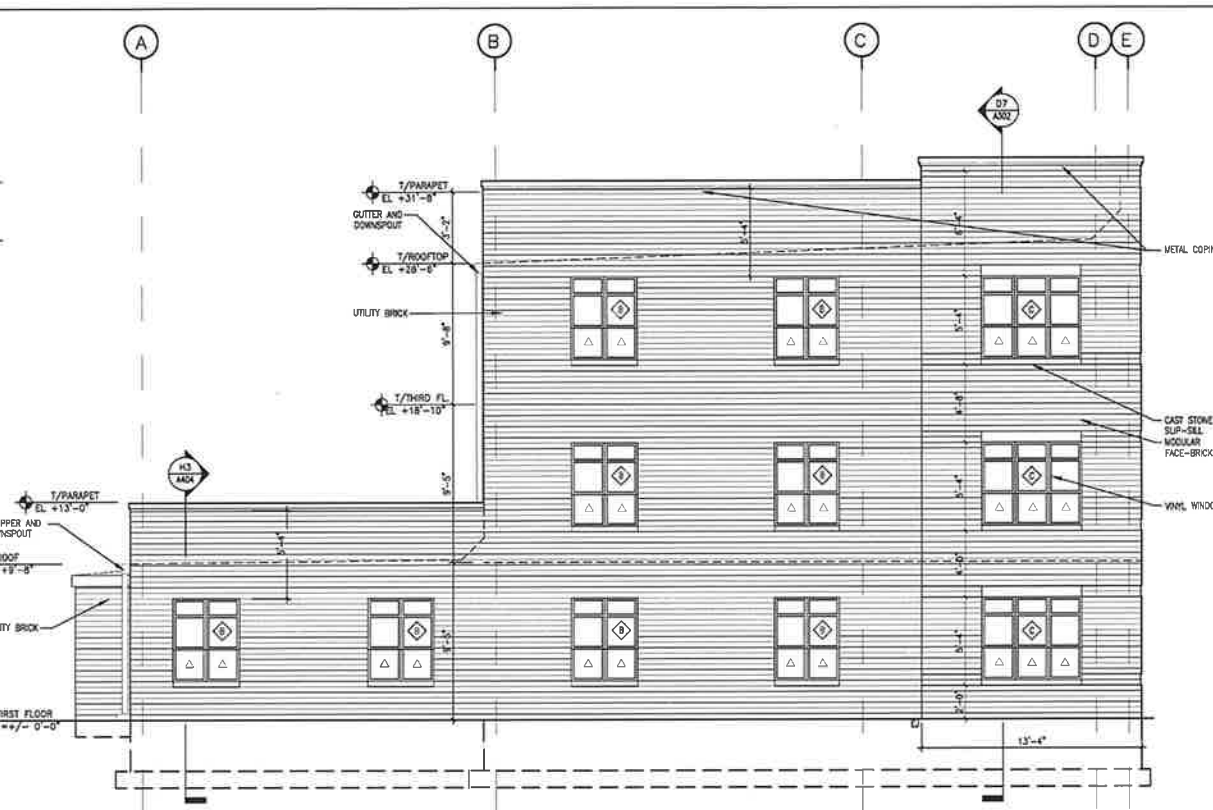
Drawn Date 05-23-06
UT
Checked By Drawing Number
GSA
Approved
PSI
Job Number
P0517

12D-A301

FILE NAME: 12D-A301.dwg

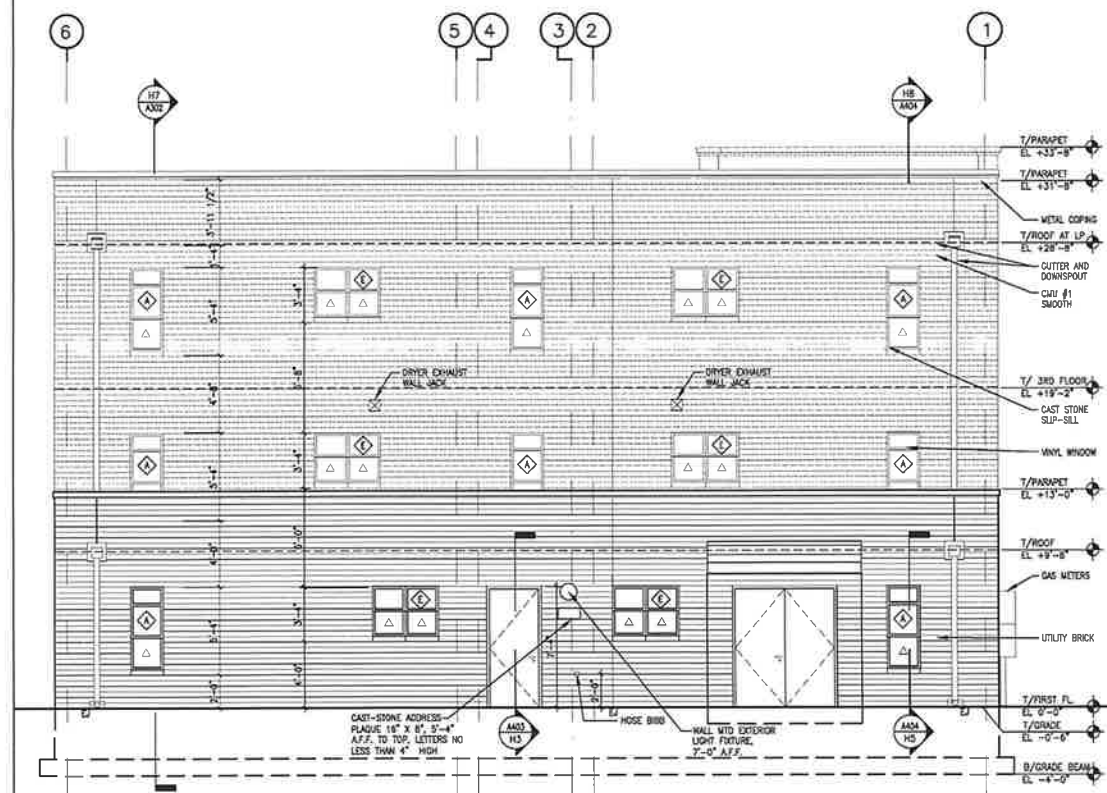


D9 FRONT ELEVATION STREET SIDE
SCALE: 1/4" = 1'-0"

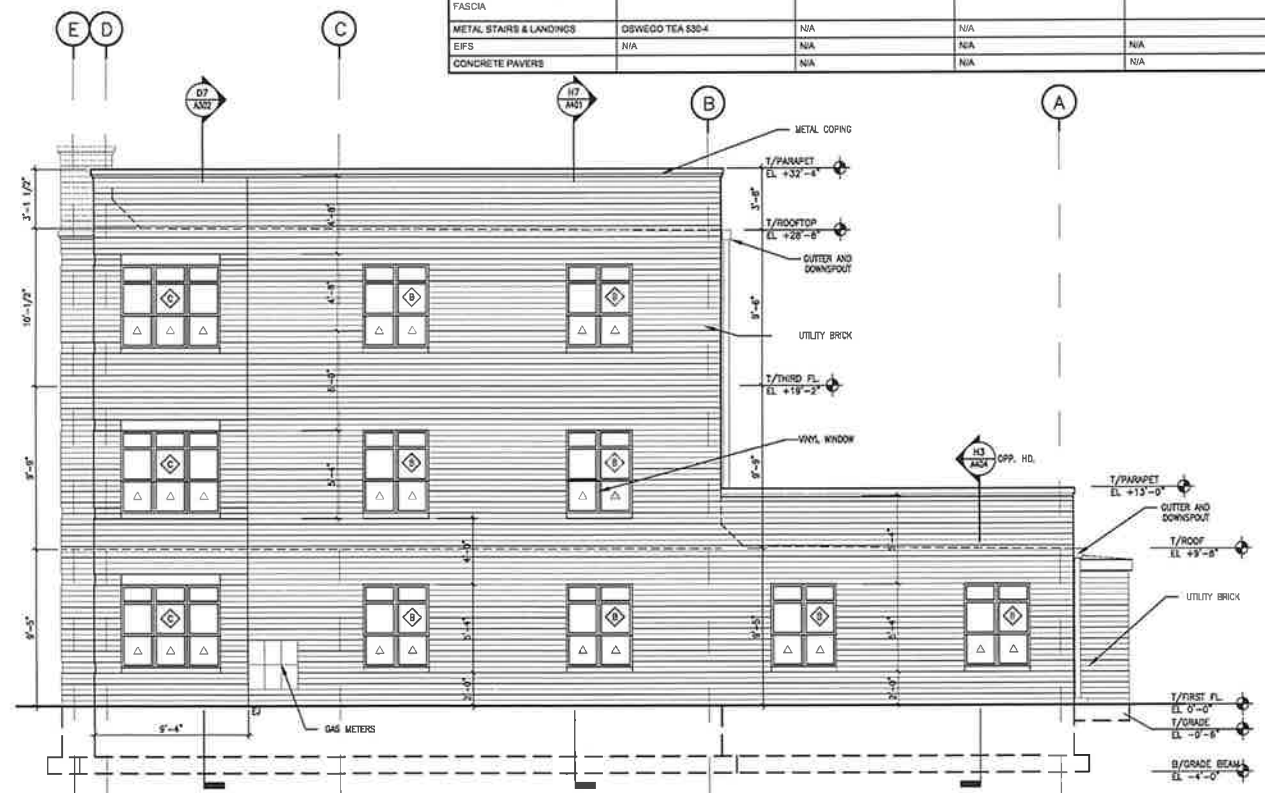


D5 EAST ELEVATION
SCALE: 1/4" = 1'-0"

ITEM	COLOR / MANUFACTURER	MORTAR COLOR (MANUFACTURER)	SEALANT COLOR (SONNEBORN)	STEEL LINTEL COLOR (PITTSBURGH PAINTS)
BRICK NO. 1 (UTILITY BRICK)	CANTERBURY VELDUR / SIOUX CITY	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
BRICK NO. 2 (UTILITY BRICK)	BORDEAUX BURGUNDY / SIOUX CITY	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
BRICK NO. 3 (UTILITY BRICK)	WELSFORD IRONSPOT / SIOUX CITY	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
UTILITY BRICK	TO MATCH MAIN BRICK COLOR	TO MATCH BRICK	TO MATCH BRICK	TO MATCH BRICK
CAST/INSULATED STONE	WHITE SMOOTH /	PLAIN CEMENT	TO MATCH STONE COLOR	SILVER DOLLAR
REAR/SCREEN DOOR & JAMB	TO MATCH CMU	N/A	TO MATCH CMU	TO MATCH CMU
FRONT EXTERIOR DOOR	T & B	N/A	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
CLADDING/JAMB @ ENTRY DOOR	TO MATCH ENTRY DOOR	N/A	N/A	N/A
METAL CANOPY	TO MATCH BRICK COLOR #1	N/A	TO MATCH BRICK COLOR	N/A
BALCONY RAILINGS	N/A	N/A	N/A	N/A
DOWNSPOUTS AND GUTTERS	MUSKET GRAY	N/A	N/A	N/A
PREFINISHED COPING, FLASHING, FASCIA	SILVER	N/A	N/A	N/A
METAL STAIRS & LANDINGS	OSWEGO TEA S30-4	N/A	N/A	N/A
EFS	N/A	N/A	N/A	N/A
CONCRETE PAVERS	N/A	N/A	N/A	N/A



H9 REAR ELEVATION ALLEY SIDE
SCALE: 1/4" = 1'-0"



H5 WEST ELEVATION
SCALE: 1/4" = 1'-0"

FOR CCD COORDINATION
SEE SPECIFIC BUILDING
LOCATIONS ON THE SITE
PAVING AND GRADING PLAN

General Notes

REFERENCES:
1. SEE SHEET G-001 FOR TYPICAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE/ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS TO MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
4. SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A-503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
6. SEE SHEET A-101 FOR ADDITIONAL LOCATIONS OF EXPANSION JOINTS IN BRICK-FACADE.

LAYOUT:
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
4. ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED AT 7'-0" A.F.F.

FURNISHING AND MATERIALS:
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT.

No.	Description	Date
1	ISSUE FOR SITE PLAN APPROVAL	01/30/07
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

**ROOSEVELT SQUARE
PHASE 2
BUILDING 12E**
1333 W. ROOSEVELT ROAD
CHICAGO, ILLINOIS

**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**

UW
URBANWorks

UrbanWorks Ltd.
213 W. Institute Place
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
MECHANICAL ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

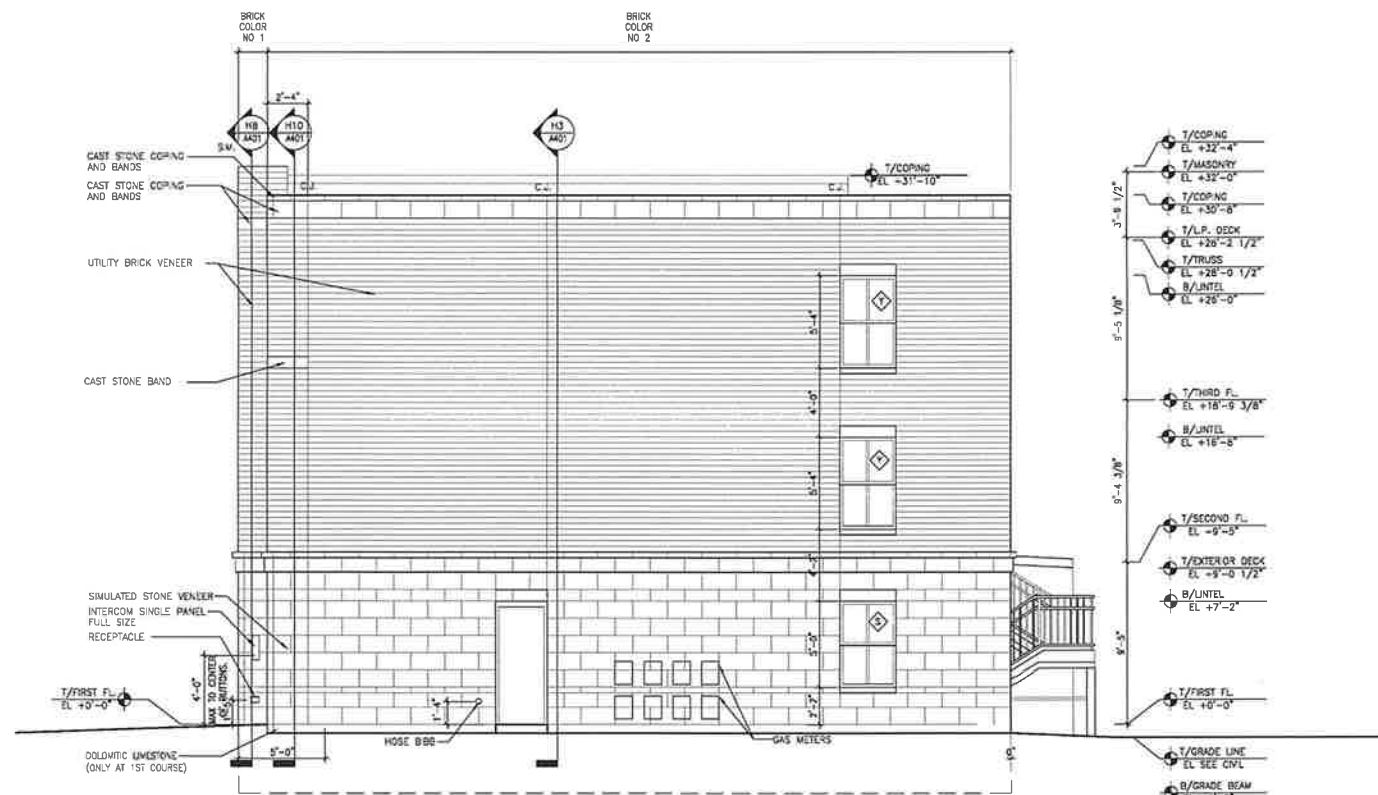
WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

Drawing Title
BUILDING ELEVATIONS

Drawn By: UT Date: 04-19-06
Checked By: GW Drawing Number:
Approved: PDM
Job Number: 12E-A301
P0517
FILE NAME: 12E-A301.dwg



D6 FRONT ELEVATION
SCALE: 1/4"=1'-0"



H5 WEST ELEVATION
SCALE: 1/4"=1'-0"

- REFERENCES**
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
 2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES, SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE U. FIRE RESISTANT RATED ASSEMBLY NUMBERS.
 3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
 4. SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENT OVER SMALLER SCALE DRAWINGS.
 5. SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

- LAYOUT**
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
 2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
 3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

- ELEVATION NOTES:**
1. SEE A402, A404, AND A503 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
 2. SEE STRUCTURAL DRAWINGS FOR STEEL UNTELS.
 3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
 4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

- FINISHES AND MATERIALS**
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".

- PERMIT NOTES**
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
 2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
 3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
 5. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.
 4. THIRD AND FOURTH FLOOR HABITABLE ROOMS SHALL HAVE A MINIMUM OF 1 OPERABLE WINDOW SASH WITH A MAXIMUM SILL HEIGHT OF 44 INCHES AND A MINIMUM CLEAR OPENING OF 6 SQUARE FEET WITH EITHER A MINIMUM 24 INCHES CLEAR HORIZONTAL DIMENSION OR A MINIMUM 36 INCHES CLEAR VERTICAL DIMENSION.

Rev.	Description	Date
7	ISSUED FOR SITE PLAN APPROVAL	01-20-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-28-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-28-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR DPD - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 13E**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd. Architect
443 East Main Street
Chicago, Illinois 60611 Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEPP ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

13E-A301

ELEVATIONS

13E-A301

2662

FILE NAME:

2662

2662

2662

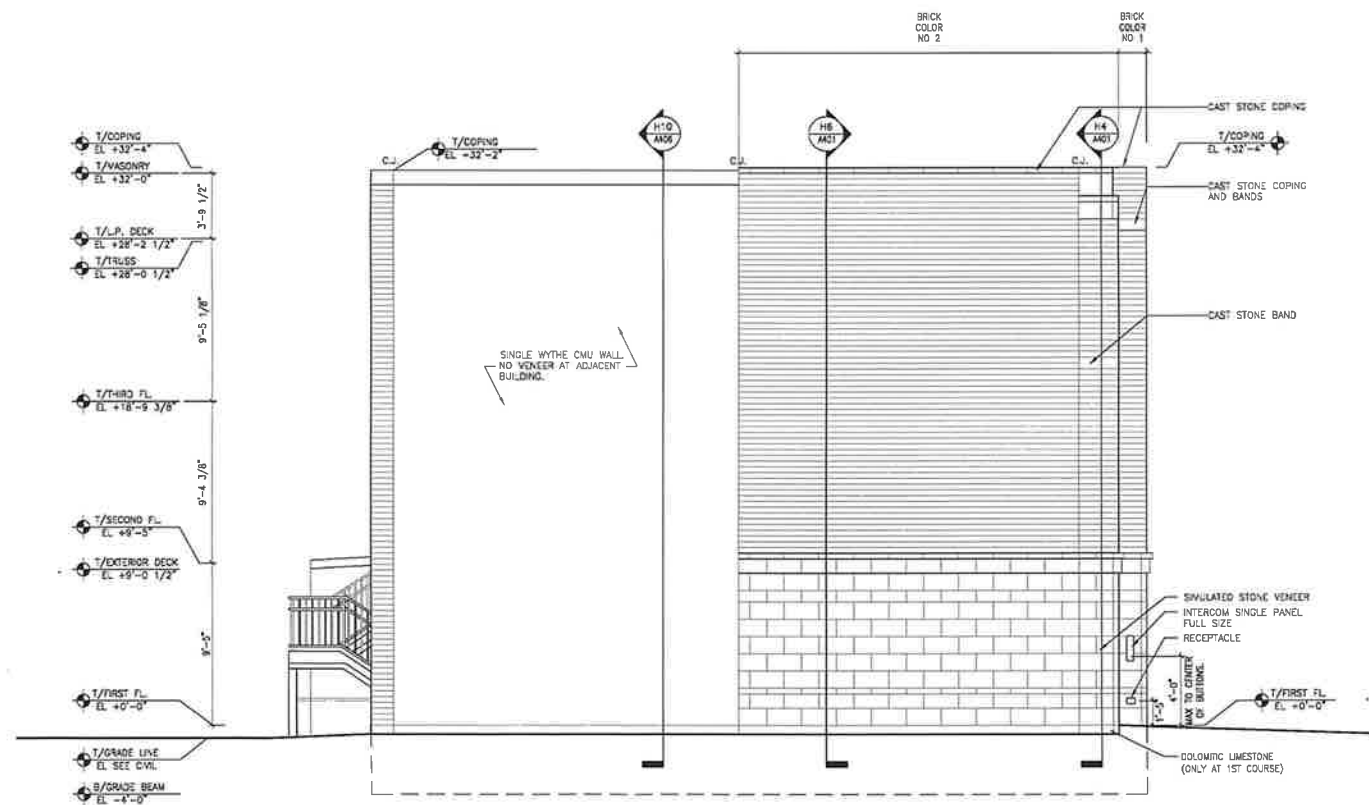
2662

2662

2662



D6 REAR ELEVATION
SCALE: 1/4"=1'-0"



H5 EAST ELEVATION
SCALE: 1/4"=1'-0"

NOTES:
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE U, FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
4. SEE SECTIONS, AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A501 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

LAYOUT:
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND FLOWING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES:
1. SEE A402, A404, AND A503 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR STEEL LITELS.
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHES AND MATERIALS:
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".

PERMIT NOTES:
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASHES.
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
4. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.
5. THIRD AND FOURTH FLOOR HABITABLE ROOMS SHALL HAVE A MINIMUM OF 1 OPERABLE WINDOW SASH WITH A MAXIMUM SILL HEIGHT OF 44 INCHES AND A MINIMUM CLEAR OPENING OF 6 SQUARE FEET WITH EITHER A MINIMUM 24 INCHES CLEAR HORIZONTAL DIMENSION OR A MINIMUM 36 INCHES CLEAR VERTICAL DIMENSION.

No.	Description	Date
7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-06-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2 REVIEW	04-19-06
1	ISSUED FOR DPD - PHASE 2 - SITE PLAN APPROVAL	02-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 13E**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd. Architects
412 East Wacker Street
Chicago, Illinois 60601
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

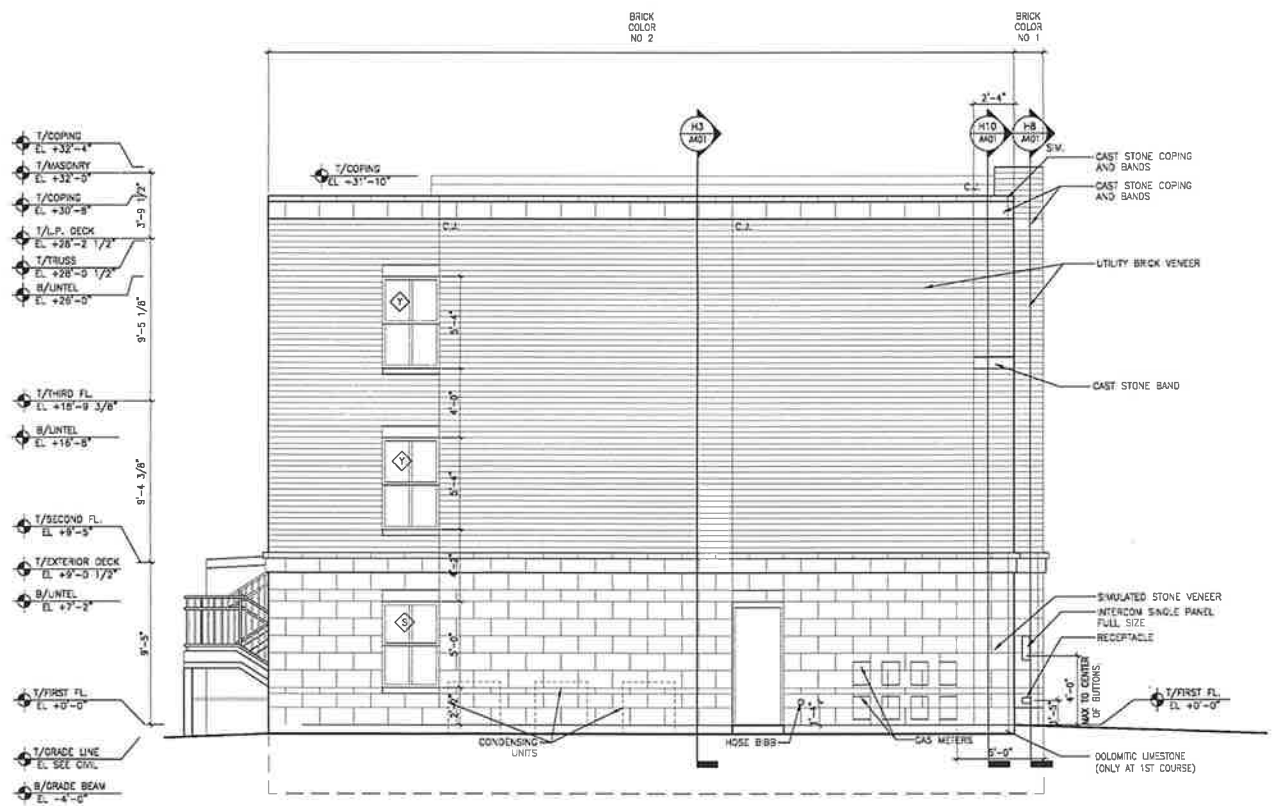
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

Drawing No. **13E-A302**
 OR
 Drawing No. **13E-A302**
 TB
 Date
 2662
 FILE NAME:



D6 FRONT ELEVATION
SCALE: 1/4"=1'-0"



H5 WEST ELEVATION
SCALE: 1/4"=1'-0"

DIFFERENCES
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
4. SEE SECTIONS, AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
LAYOUT
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
ELEVATION NOTES:
1. SEE A402, A404, AND A503 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR STEEL UNTELS.
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.
FINISHES AND MATERIALS
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".
SCREEN NOTES
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASHES.
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
4. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.
5. THIRD AND FOURTH FLOOR HABITABLE ROOMS SHALL HAVE A MINIMUM OF 1 OPERABLE WINDOW SASH WITH A MAXIMUM SILL HEIGHT OF 44 INCHES AND A MINIMUM CLEAR OPENING OF 6 SQUARE FEET WITH EITHER A MINIMUM 24 INCHES CLEAR HORIZONTAL DIMENSION OR A MINIMUM 36 INCHES CLEAR VERTICAL DIMENSION.

7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR DPO - PHASE 2 - SITE PLAN APPROVAL	02-09-06
No.	Revised/Added	Date

**ROOSEVELT SQUARE
PHASE 2
BUILDING 13F**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO | PARTNERS

DeStefano and Partners, Ltd.
445 West Madison Street
Chicago, Illinois 60611

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MEP/FP ENGINEER

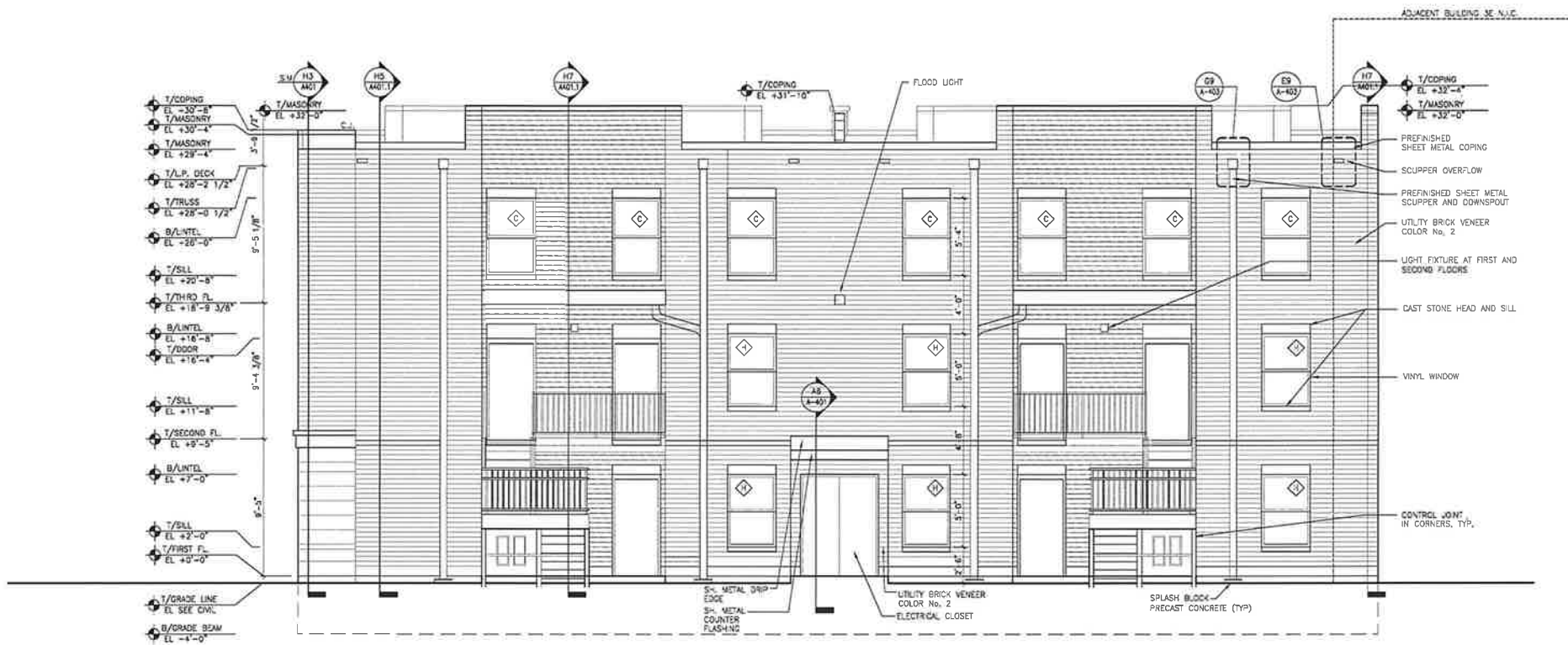
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

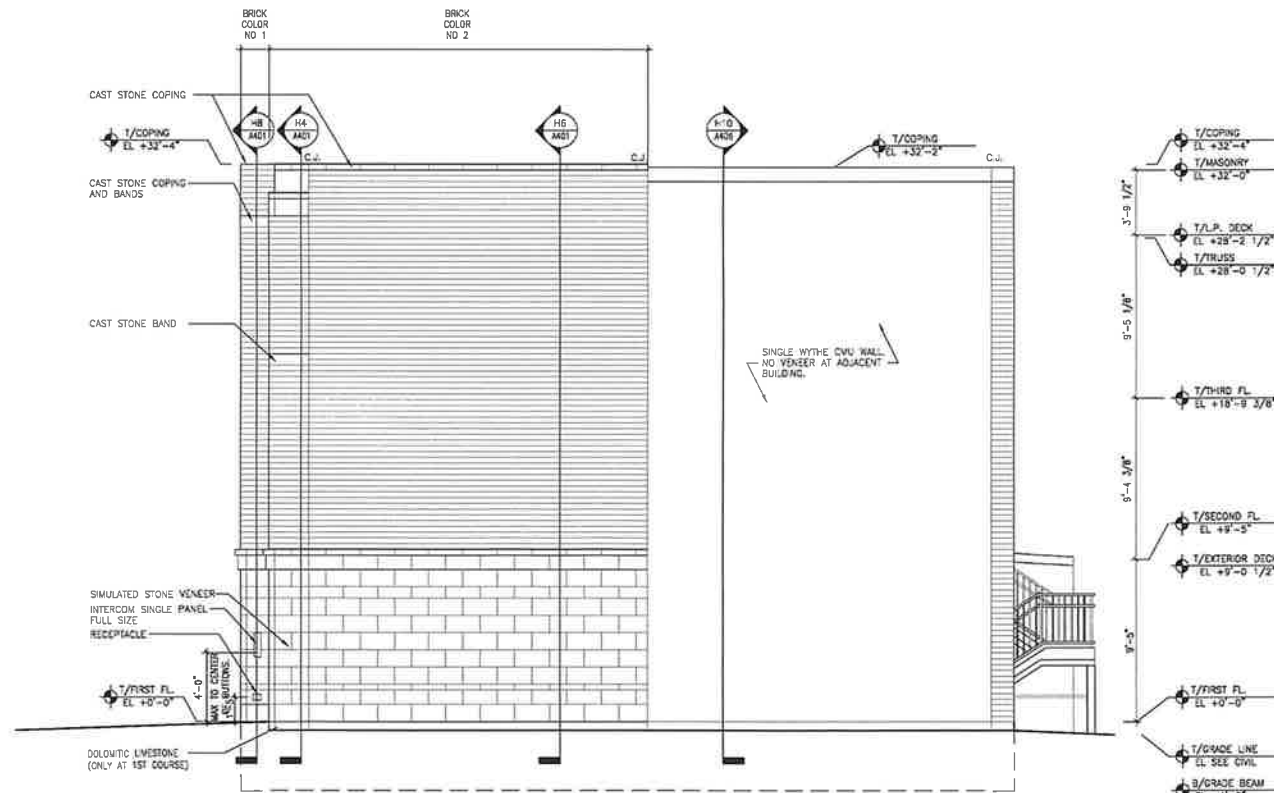
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

13F-A301
2662
FILE NAME:



D6 REAR ELEVATION
SCALE: 1/4"=1'-0"



H5 EAST ELEVATION
SCALE: 1/4"=1'-0"

REFERENCES
1. SEE SHEET G-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET G-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
4. SEE SECTIONS, AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

LAYOUT
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES:
1. SEE A402, A404, AND A503 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR STEEL UNTELS.
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET 502 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHES AND MATERIALS
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".

PERMIT NOTES
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 8 INCHES OPENING.
4. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.
5. THIRD AND FOURTH FLOOR HABITABLE ROOMS SHALL HAVE A MINIMUM OF 1 OPERABLE WINDOW SASH WITH A MAXIMUM SILL HEIGHT OF 44 INCHES AND A MINIMUM CLEAR OPENING OF 6 SQUARE FEET WITH EITHER A MINIMUM 24 INCHES CLEAR HORIZONTAL DIMENSION OR A MINIMUM 36 INCHES CLEAR VERTICAL DIMENSION.

No.	Description	Date
7	ISSUED FOR SITE PLAN APPROVAL	01-30-07
6	ISSUED FOR PART 2-REVIEW	12-15-06
5	ISSUED FOR PART 2-REVIEW	06-26-06
4	ISSUED FOR PART 2-REVIEW	06-08-06
3	ISSUED FOR PART 2-REVIEW	04-26-06
2	ISSUED FOR PART 2-REVIEW	04-19-06
1	ISSUED FOR SPD - PHASE 2 - SITE PLAN APPROVAL	03-09-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 13F**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Inc.
444 East Wacker Drive
Chicago, Illinois 60601

Architect
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

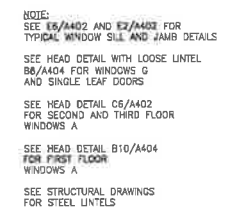
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

13F-A302

2662

FILE NAME:



**ROOSEVELT SQUARE
PHASE 2
BUILDING 19G**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS

DeStefano and Partners, Ltd.
4641 La Grange Street
Chicago, Illinois 60631

Architect-
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER

HMS ENGINEERING
MECHANICAL ENGINEER

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEER

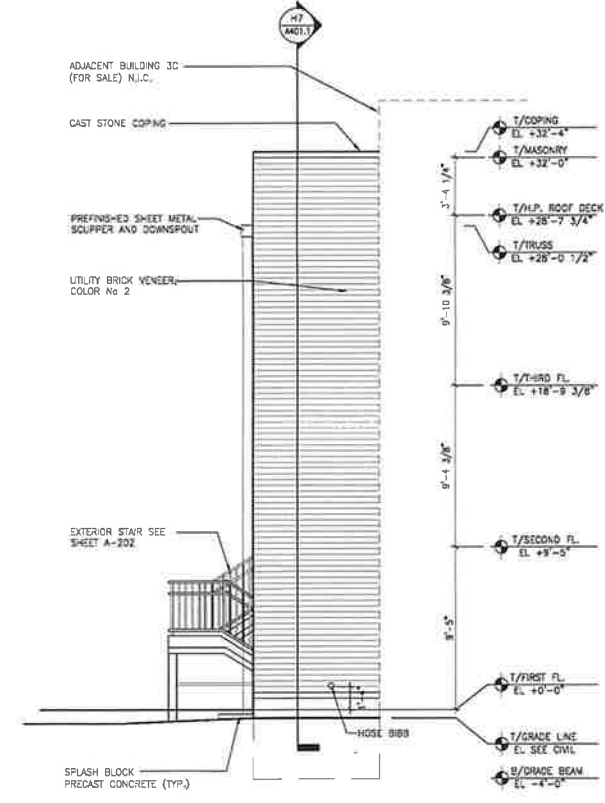
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT

ELEVATIONS

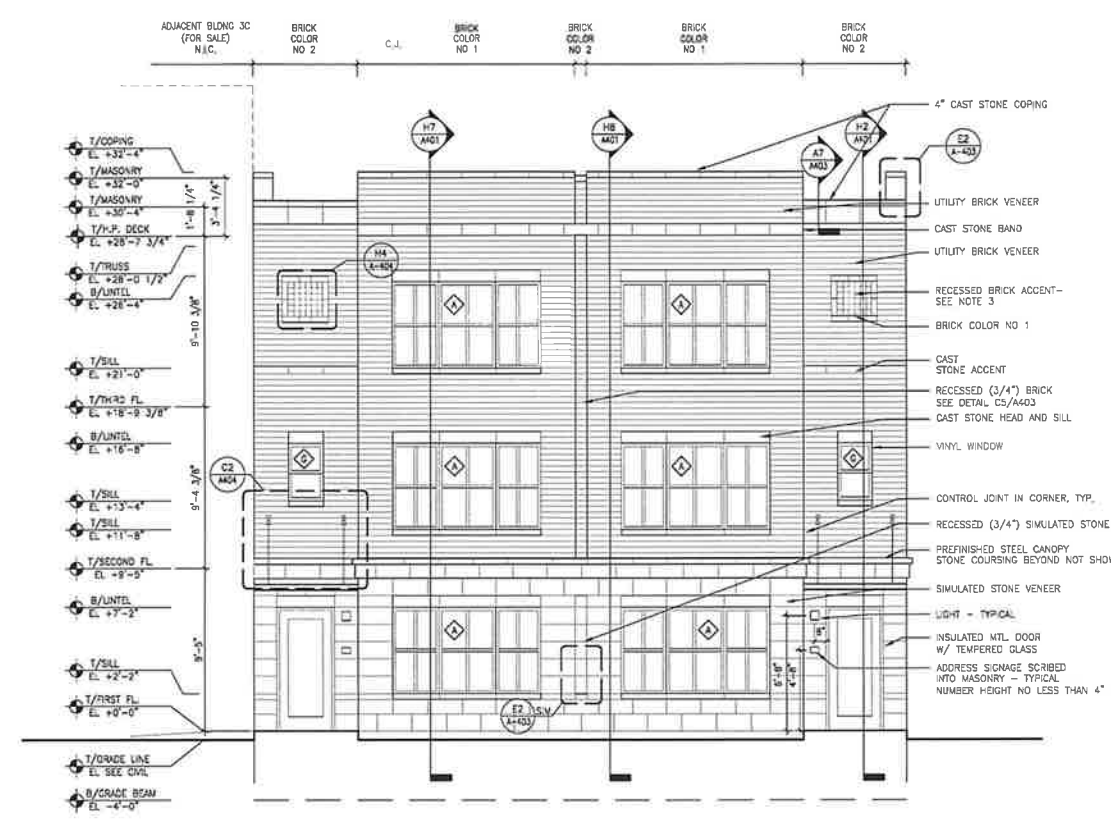
13G-A301



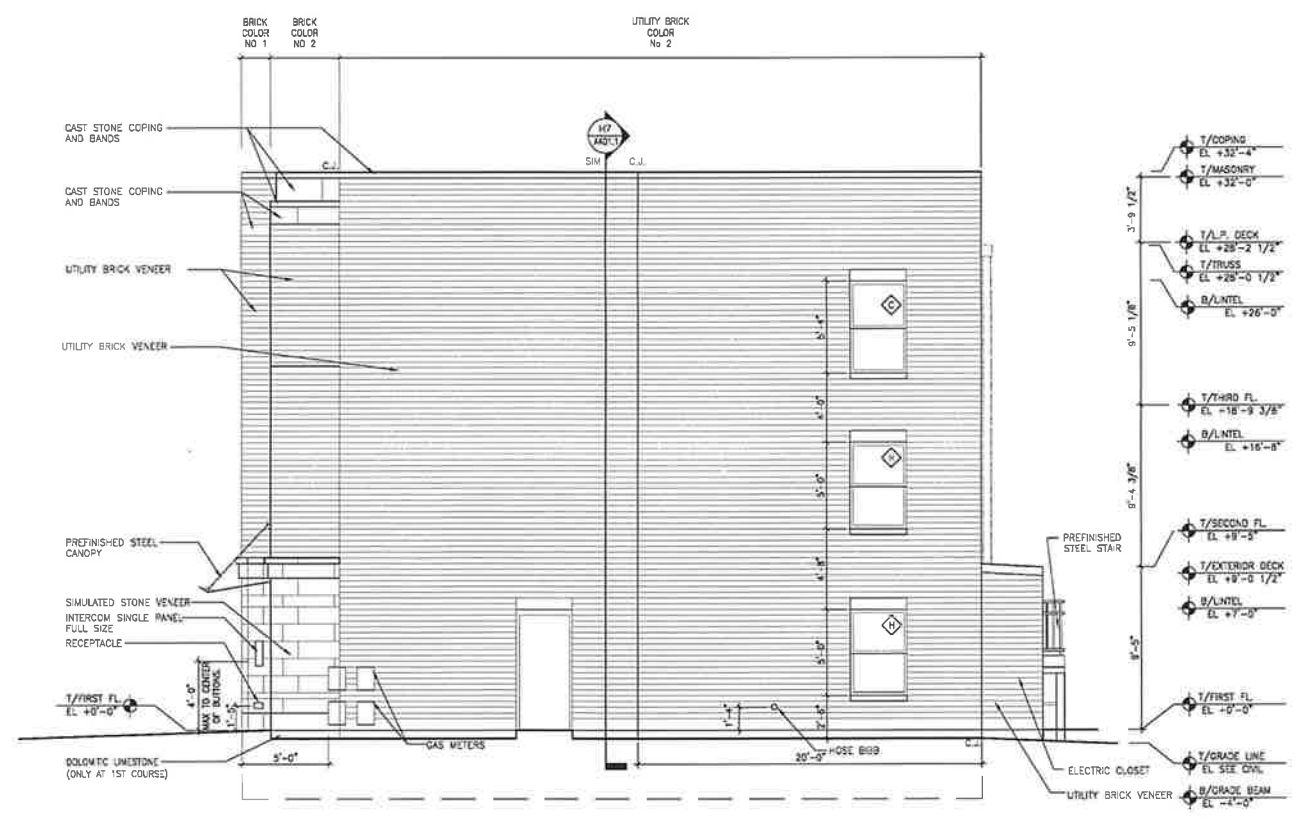
D10 REAR ELEVATION
SCALE: 1/4"=1'-0"



H10 NORTH ELEVATION
SCALE: 1/4"=1'-0"



D5 FRONT ELEVATION
SCALE: 1/4"=1'-0"



H5 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

REFERENCES
1. SEE SHEET C-001 FOR TYPICAL GENERAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET C-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
3. SEE SHEET C-003 FOR ACCESSIBLE / ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS OF MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL ITEMS.
4. SEE SECTIONS, AND DETAILS KEYS TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENT OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.

NOTES
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAIN AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.

ELEVATION NOTES:
1. SEE A402, A404, AND A403 FOR WINDOW AND DOOR HEAD, JAMB, AND SILL DETAILS.
2. SEE STRUCTURAL DRAWINGS FOR STEEL UNITS.
3. RECESSED BRICK ACCENT COLOR TO MATCH FIELD COLOR.
4. SEE SHEET 002 FOR ADDITIONAL INFORMATION ON EXTERIOR FINISHES.

FINISHES AND MATERIALS
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET C-003 FOR MOUNTING HEIGHT. NUMBER HEIGHT NO LESS THAN 4".

SCREEN NOTES
1. ALL GLAZED DOORS AND ANY GLAZED PANEL MORE THAN 18 INCHES IN WIDTH ADJACENT TO ANY DOOR WHEREIN THE SILL IS LESS THAN 24 INCHES ABOVE THE FLOOR SHALL BE TEMPERED.
2. ALL OPERABLE WINDOWS SHALL BE PROVIDED WITH A SCREEN FOR THE OPERABLE SASH(ES).
3. ALL OPERABLE WINDOWS SHALL BE LOCKABLE AND PROVIDED WITH OPENING LIMITER FOR A MINIMUM 4 INCHES AND A MAXIMUM 6 INCHES OPENING.
4. DOORWAYS FROM DWELLING UNITS TO THE EXTERIOR SHALL BE PROVIDED WITH A SCREEN DOOR IN ADDITION TO THE PRIMARY DOOR.
5. THIRD AND FOURTH FLOOR HABITABLE ROOMS SHALL HAVE A MINIMUM OF 1 OPERABLE WINDOW SASH WITH A MAXIMUM SILL HEIGHT OF 44 INCHES AND A MINIMUM CLEAR OPENING OF 6 SQUARE FEET WITH EITHER A MINIMUM 24 INCHES CLEAR HORIZONTAL DIMENSION OR A MINIMUM 36 INCHES CLEAR VERTICAL DIMENSION.

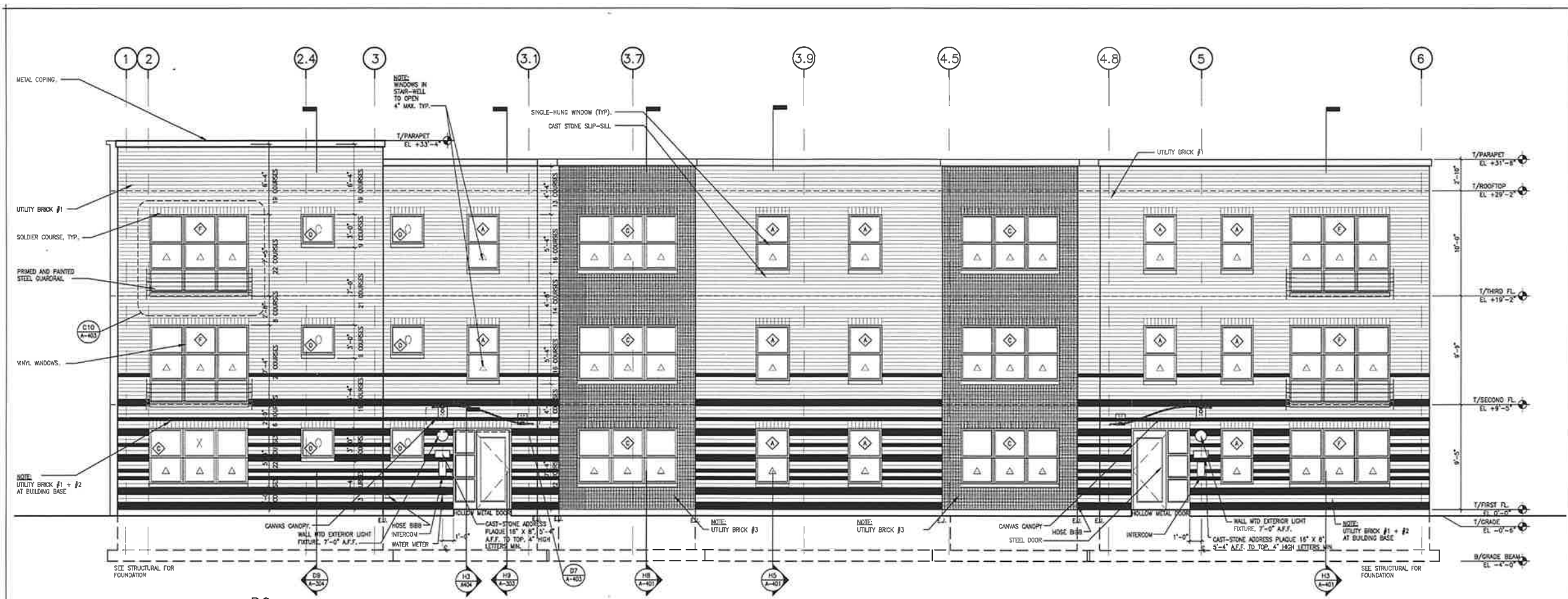
Rev.	Description	Date
1	ISSUED FOR SITE PLAN APPROVAL	01-30-07
2	ISSUED FOR PART 2 - REVIEW	12-15-06
3	ISSUED FOR PART 2 - REVIEW	06-28-06
4	ISSUED FOR PART 2 - REVIEW	06-08-06
5	ISSUED FOR PART 2 - REVIEW	04-26-06
6	ISSUED FOR PART 2 - REVIEW	04-19-06
7	ISSUED FOR OPD - PHASE 2 - SITE PLAN APPROVAL	03-08-06

**ROOSEVELT SQUARE
PHASE 2
BUILDING 13J**

**ROOSEVELT SQUARE II
LIMITED PARTNERSHIP**

DE STEFANO + PARTNERS
DeStefano and Partners II, Ltd. Architectural
1111 East 11th Street, Suite 100
Chicago, Illinois 60611
Planning
Interior Design

DAVID MASON AND ASSOCIATES
STRUCTURAL ENGINEER
HMS ENGINEERING
MEPP ENGINEER
DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT
PRISM ENGINEERING INC.
CIVIL ENGINEER
WOLFF LANDSCAPE ARCHITECTURE, INC.
LANDSCAPE ARCHITECT



D9 FRONT ELEVATION STREET SIDE
SCALE: 1/4" = 1'-0"



H9 REAR ELEVATION ALLEY SIDE
SCALE: 1/4" = 1'-0"

FOR CCD COORDINATION
SEE SPECIFIC BUILDING
LOCATIONS ON THE SITE
PAVING AND GRADING PLAN

General Notes

- SEE SHEET G-001 FOR TYPICAL NOTES IN ADDITION TO THOSE BELOW.
- SEE SHEET G-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
- SEE SHEET G-003 FOR ACCESSIBLE/ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS FOR MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
- SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- SEE SHEET A-503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
- SEE SHEET A-101 FOR ADDITIONAL LOCATIONS OF EXPANSION JOINTS IN BRICK-FACADE.

LAYOUT:

- TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
- COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
- RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
- ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED AT 7'-0" A.F.F.

FURNISHING AND MATERIALS

- PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL.

FOR EXTERIOR FINISHES AND MATERIALS SEE MATRIX ON SHEET A302.

No.	Description	Date
1	ISSUE FOR SITE PLAN APPROVAL	01/20/07

**ROOSEVELT SQUARE
PHASE 2
BUILDING 14C**

ROOSEVELT ROAD
CHICAGO, ILLINOIS

**ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP**

UW
URBANWorks
UrbanWorks Ltd.
213 W. Kinzie Place
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
M.E.P.F. ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

Drawing Title

BUILDING ELEVATIONS

Drawn	Date
UT	04-15-08

Checked By **Drawing Number**

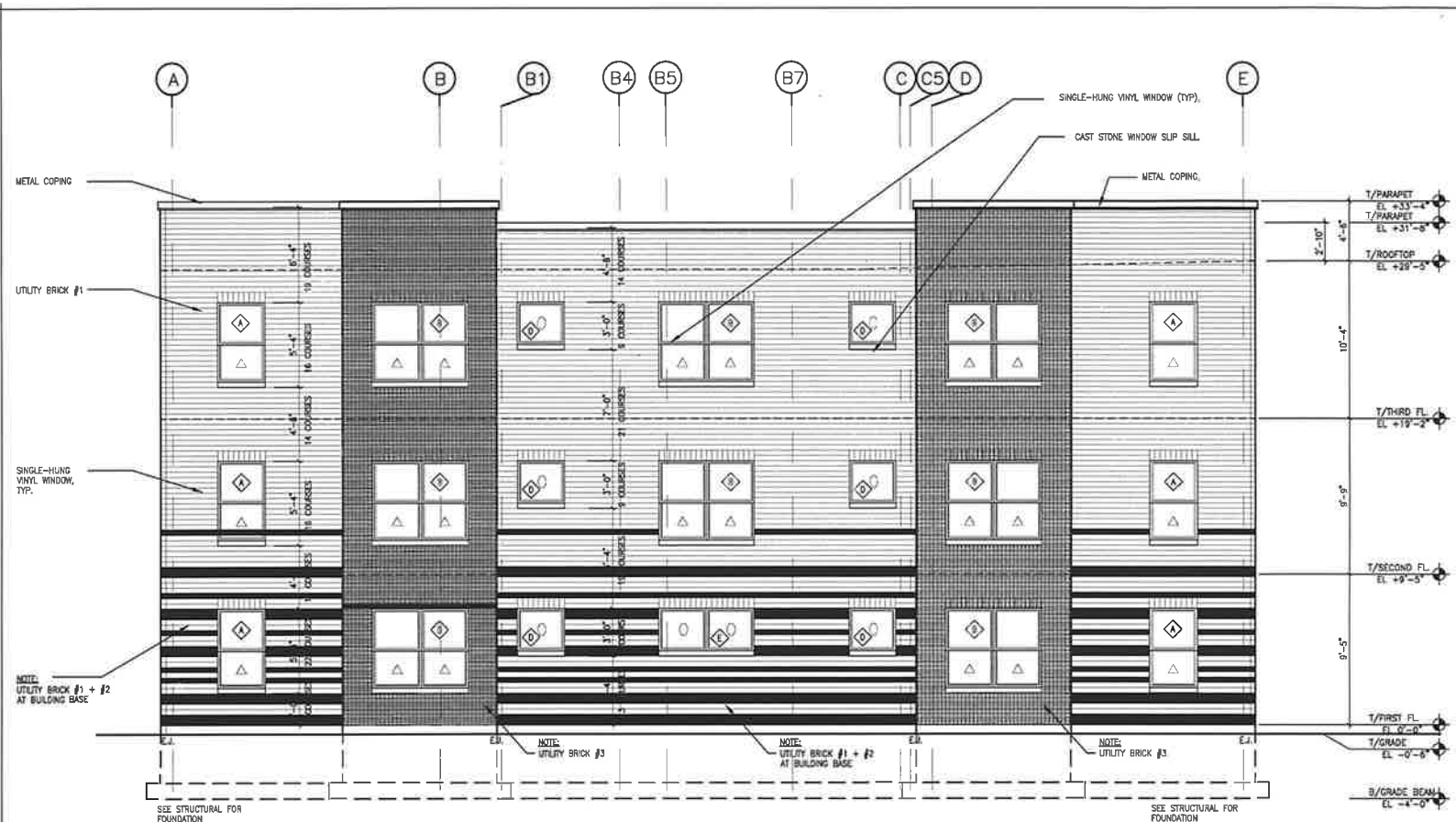
Approved

PSN

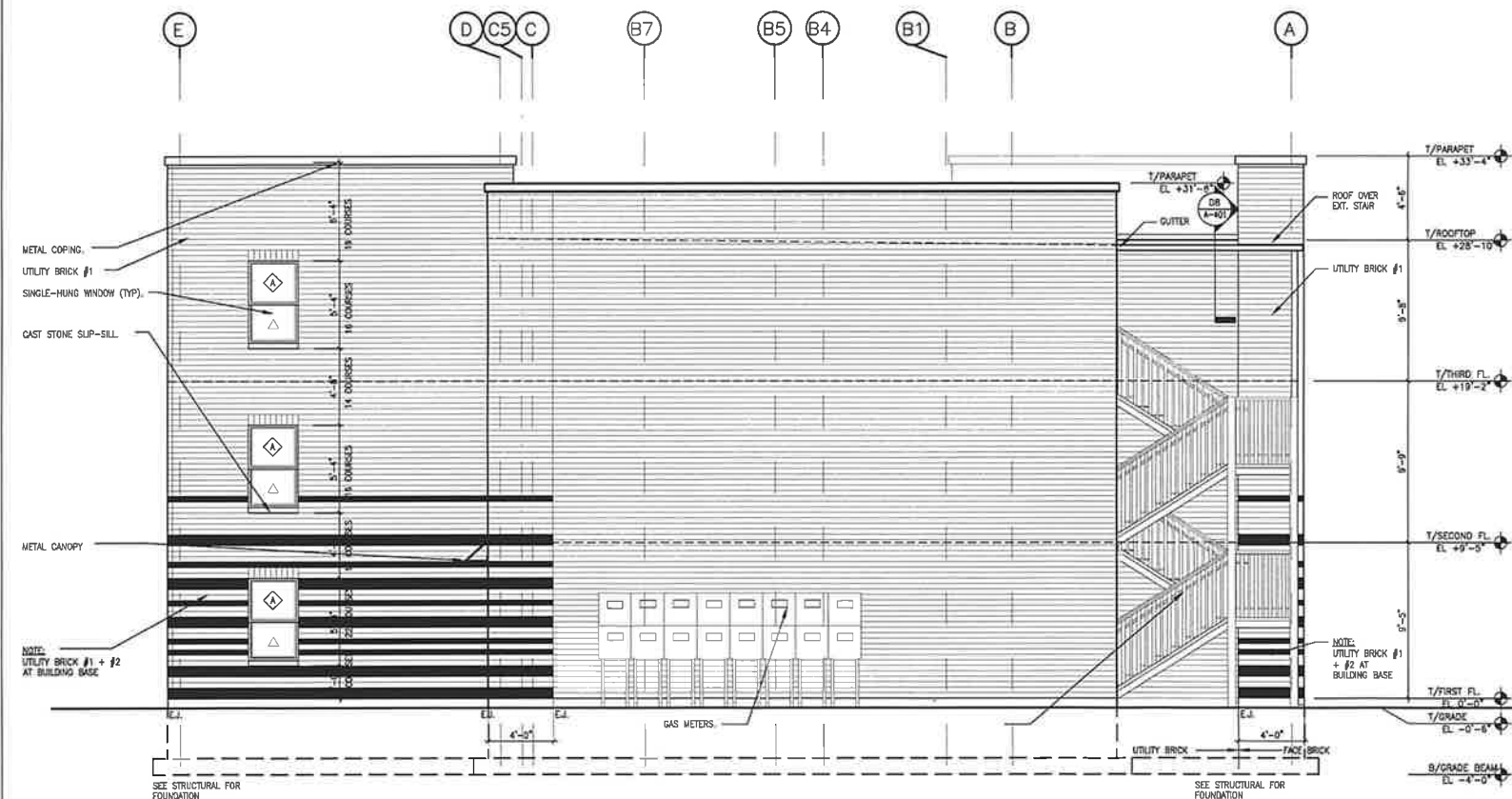
Job Number **14C-A301**

PSN

FILE NAME: 14C-A301.dwg



D9 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



H9 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR COLOR SCHEDULE

ITEM	COLOR / MANUFACTURER	MORTAR COLOR (MANUFACTURER)	SEALANT COLOR (SONNEBORN)	STEEL LINTEL COLOR (PITTSBURGH PAINTS)
BRICK NO.1	TOASTED FINE ART - VELOUR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
BRICK NO.2	TOASTED FINE ART - SMOOTH	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
BRICK NO.3	BLACK HILLS VELOUR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
CONCRETE MASONRY	N/A	N/A	N/A	N/A
CAST/IMITATED STONE	WHITE SMOOTH /	PLAIN CEMENT	TO MATCH STONE COLOR	SILVER DOLLAR
REARSCREEN DOOR & JAMB	DUSTY TRAIL 414-4	N/A	TO MATCH CMU	TO MATCH CMU
FRONT EXTERIOR DOOR	T.B.D.	N/A	TO MATCH BRICK COLOR	TO MATCH BRICK COLOR
CLADDING/DOOR @ ENTRY DOOR	TO MATCH ENTRY DOOR	N/A	TO MATCH BRICK COLOR	N/A
METAL CANOPY	TO MATCH ENTRY DOOR	N/A	TO MATCH BRICK COLOR	N/A
BALCONY RAILINGS	TO MATCH ENTRY DOOR	N/A	N/A	N/A
DOWNSPOUTS AND OUTTERS	ALUMINUM	N/A	N/A	N/A
PRE-FINISHED COPING, FLASHING, FASCIA	TO MATCH BRICK			
METAL STAIRS & LANDINGS	OSWEGO TEA 530-4	N/A	N/A	N/A
EIPS	N/A	N/A	N/A	N/A
CONCRETE PAVERS	N/A	N/A	N/A	N/A

General Notes

REFERENCES:

- SEE SHEET C-001 FOR TYPICAL NOTES IN ADDITION TO THOSE BELOW.
- SEE SHEET C-002 FOR BUILDING CODE MATRIX FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES. SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS.
- SEE SHEET C-003 FOR ACCESSIBLE/ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS TO MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
- SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- SEE SHEET A-503 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
- SEE SHEET A-101 FOR ADDITIONAL LOCATIONS OF EXPANSION JOINTS IN BRICK-FA; ADE.

LAYOUT:

- TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
- COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
- RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
- ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED AT 7'-0" A.F.F.

FURNISHING AND MATERIALS

- PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL.

15	
14	
13	
12	
11	
10	
9	
8	
7	
6	
5	
4	
3	
2	
1	ISSUE FOR SITE PLAN APPROVAL 01/2007

Ro. Description Date

ROOSEVELT SQUARE
PHASE 2
BUILDING 14C
ROOSEVELT ROAD
CHICAGO, ILLINOIS

ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

UW
URBANWORKS
UrbanWorks Ltd.
213 W. Institute Place
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
M.E.P.F. ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

Drawing Title

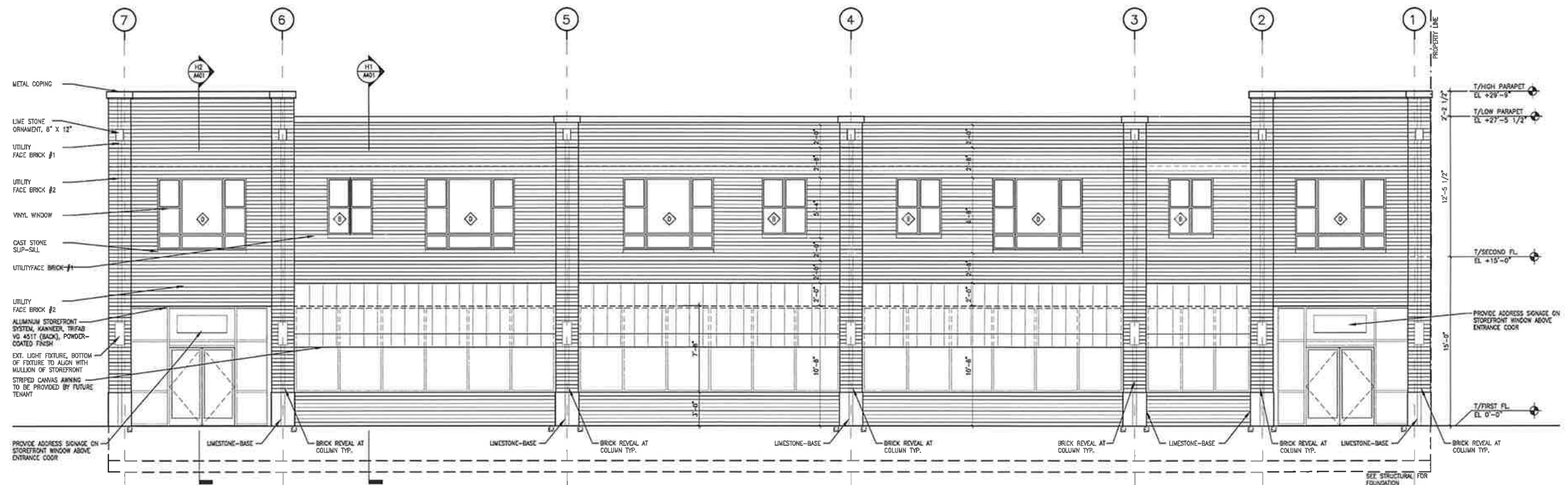
BUILDING ELEVATIONS

Drawn	Date
BT	04-19-06
Checked By	Drawing Number
GW	
Approved	
PM	
Job Number	14C-A302
Revis	

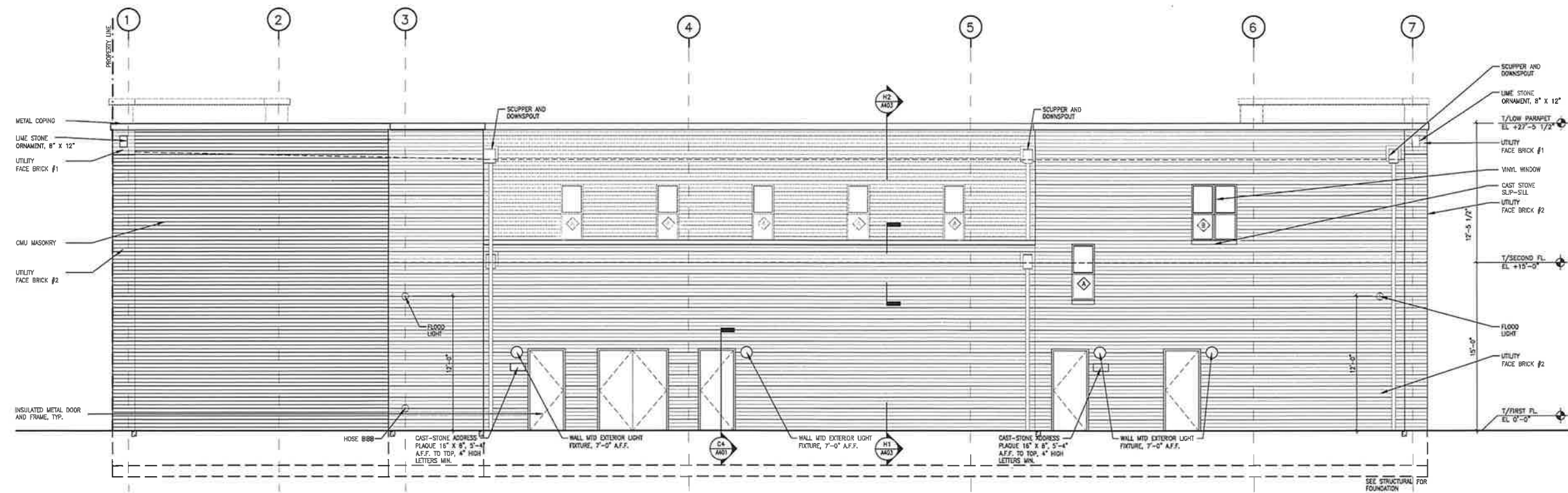
FOR CCD COORDINATION
SEE SPECIFIC BUILDING
LOCATIONS ON THE SITE
PAVING AND GRADING PLAN

© 2006 UrbanWorks, Ltd.

FILE NAME: 14C-A302.dwg



D9 FRONT ELEVATION STREET SIDE
SCALE: 1/4" = 1'-0"



H9 REAR ELEVATION ALLEY SIDE
SCALE: 1/4" = 1'-0"

BUILDING 0'-0"=14.15' CCD
FOR CCD COORDINATION
SEE SPECIFIC BUILDING
LOCATIONS ON THE SITE
PAVING AND GRADING PLAN

General Notes

- REFERENCES:
1. SEE SHEET G-001 FOR TYPICAL NOTES IN ADDITION TO THOSE BELOW.
2. SEE SHEET G-002 FOR BUILDING CODE MATRIX, FOR REQUIRED FIRE RESISTANCE RATINGS OF CONSTRUCTION ASSEMBLIES, SEE FLOOR PLANS AND BUILDING SECTIONS FOR APPLICABLE UL FIRE RESISTANCE RATED ASSEMBLY NUMBERS SEE SHEET G-003.
3. SEE SHEET G-004 FOR ACCESSIBLE/ADAPTABLE MOUNTING HEIGHTS AND PLAN LOCATIONS TO MISCELLANEOUS ARCHITECTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS.
4. SEE SECTIONS AND DETAILS KEYED TO THE ELEVATIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. SEE SHEET A-003 FOR DOOR AND FRAME SCHEDULE, DOOR AND WINDOW TYPES, AND DOOR FRAME DETAILS.
6. SEE SHEET A-101 FOR ADDITIONAL LOCATIONS OF EXPANSION JOINTS IN BRICK-FACADE.

- LAYOUT:
1. TOP OF SLAB ELEVATION AT FIRST FLOOR IS 0'-0". SEE CIVIL ENGINEERING DRAWINGS FOR CITY OF CHICAGO DATUM REFERENCES.
2. COORDINATE LOCATIONS OF ROOF DRAINS AND OVERFLOW SCUPPERS WITH ROOF PLAN AND CIVIL AND PLUMBING DRAWINGS. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO START OF UNDERGROUND PLUMBING.
3. RECESSED AND SURFACE MOUNTED PLUMBING, MECHANICAL, AND ELECTRICAL ELEMENTS SUCH AS HOSE BIBBS, LAUNDRY VENTS, METERS, LIGHT FIXTURES, UTILITY SERVICE ENTRANCE BOXES, ETC. SHALL BE LOCATED IN ACCORDANCE WITH THE ARCHITECTURAL DRAWINGS. SEE ENGINEERING DRAWINGS FOR QUANTITIES AND TYPES OF FIXTURES AND ELEMENTS.
4. ALL WALL MOUNTED LIGHT FIXTURES TO BE MOUNTED AT 7'-0" A.F.F.

- FURNISHING AND MATERIALS
1. PROVIDE STREET ADDRESS SIGNAGE AS SPECIFIED IN THE PROJECT MANUAL. SEE SHEET G-003 FOR MOUNTING HEIGHT.

15		
14		
13		
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2		
1	ISSUE FOR SITE PLAN APPROVAL	01/20/07
No.	Description	Date

ROOSEVELT SQUARE
PHASE 2
BUILDING 16B
1251, 1259 W. TAYLOR STREET,
1007 S. THROOP STREET
CHICAGO, ILLINOIS
ROOSEVELT SQUARE 2
LIMITED PARTNERSHIP

UW
URBANWORKS

UrbanWorks Ltd.
215 W. Madison Street
Suite 710
Chicago, Illinois 60610

DAVID MASON + ASSOCIATES
STRUCTURAL ENGINEERS

HMS ENGINEERING
ME P E P ENGINEERS

DESTEFANO AND PARTNERS, LTD.
MASTER PLANNER / ARCHITECT

PRISM ENGINEERING INC.
CIVIL ENGINEERS

WOLFF LANDSCAPE ARCHITECTURE INC.
LANDSCAPE ARCHITECTS

Drawing Title

BUILDING ELEVATIONS

Drawn	Date
UT	06-28-06
Checked By	Drawing Number
PSN	
Approved	
Job Number	16B-A301
PSN	

FILE NAME: 16B-A301.dwg

**APPROVAL OF JOURNAL
OF PROCEEDINGS.**

JOURNAL (December 17, 2003)

The City Clerk submitted the printed official *Journal of the Proceedings of the City Council of the City of Chicago, Illinois* for the regular meeting held on Wednesday, December 17, 2003, at 10:00 A.M., signed by him as such City Clerk.

Alderman Burke moved to *Approve* said printed official *Journal* and to dispense with the reading thereof. The question being put, the motion *Prevailed*.

UNFINISHED BUSINESS.

**AMENDMENT OF TITLE 17 OF MUNICIPAL CODE OF CHICAGO
(CHICAGO ZONING ORDINANCE) BY RECLASSIFICATION
OF AREAS SHOWN ON MAP NUMBERS 2-G AND 4-G.**

(As Amended)

(Application Number A-5356) *RBPD 896*

On motion of Alderman Burke, the City Council took up for consideration the report of the Committee on Zoning, deferred and published in the *Journal of the Proceedings of the City Council of the City of Chicago* of December 17, 2003, page 16436, recommending that the City Council pass a proposed substitute ordinance printed on pages 16437 through 16512, which amends Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, by reclassifying the areas shown on Map Numbers 2-G and 4-G.

On motion of Alderman Banks, the said proposed substitute ordinance was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Haithcock, Tillman, Preckwinkle, Hairston, Lyle, Beavers, Stroger, Beale, Pope, Balcer, Cárdenas, Olivo, Burke, T. Thomas, Coleman, L. Thomas, Murphy, Rugai, Troutman, Brookins, Muñoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Carothers, Reboyras, Suarez, Matlak, Austin, Colón, Laurino, O'Connor, Doherty, Natarus, Daley, Tunney, Shiller, Schalter, M. Smith, Stone -- 44.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

Alderman Banks invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that while he had no personal or financial interest in the ordinance, he had a familial relationship with the applicant's attorney.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current Residential Planned Development Number 4, as amended, B2-1 Restricted Retail District, C1-2 Restricted Commercial District and M2-2 General Manufacturing District symbols and indications as shown on Map Numbers 2-G and 4-G in the area bounded by:

West Cabrini Street; South Racine Avenue; West Roosevelt Road; South Blue Island Avenue; West 15th Street; South Loomis Street; a line 124 feet next south of West 15th Street; South Laflin Street; a line 132 feet next south of West 15th Street; South Ashland Avenue; West Hastings Street; a line 132.25 feet next east of South Ashland Avenue; the alley next north of West Hastings Street; South Ashland Avenue; West 13th Street; the alley next east of South Ashland Avenue; the alley next north of West 13th Street; South Ashland Avenue; West Washburne Avenue; the alley next east of South Ashland Avenue; the alley next north of West Washburne Avenue; a line 179.5 feet next east of South Ashland Avenue; West Roosevelt Road; a line 192 feet next west of South Loomis Street; the alley next south of West Roosevelt Road; a line 144 feet next west of South Loomis Street; West Washburne Avenue, if extended west of South Loomis Street; South Loomis Street; West Grenshaw Street; South Throop Street; West Taylor Street; a line 100 feet next east of South Loomis Street; the alley next north of West Taylor Street; the alley next east of South Loomis Street; West Arthington Street; and South Ada Street,

to those of an R4 General Residence District and a corresponding use district is hereby established in the area described above.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the current R4 General Residence District symbols and indications as shown on Map Numbers 2-G and 4-G in the areas bounded by:

a line 100 feet next north of West Taylor Street; South Racine Avenue; a line 125 feet next south of West Taylor Street; South Throop Street; West Taylor Street; and a line 100 feet next east of South Loomis Street;

a line 110 feet north of West Roosevelt Road; South Racine Avenue; West Roosevelt Road; South Blue Island Avenue; a line 191 feet next southwesterly as measured from the southwest corner of West Roosevelt Road and South Blue Island Avenue and perpendicular to South Blue Island Avenue; a line 67 feet next northeasterly and parallel to South Blue Island Avenue; a line 185 feet next southwesterly as measured from the southwest corner of West Roosevelt Road and South Blue Island Avenue and perpendicular to South Blue Island Avenue; a line 44 feet next northeasterly and parallel to South Blue Island Avenue; a line 52 feet next southwesterly as measured from the southwest corner of West Roosevelt Road and South Blue Island Avenue and perpendicular to South Blue Island Avenue; a line 109 feet next south of West Roosevelt Road; South Racine Avenue; West Washburne Avenue; a line 175 feet next west of South Racine Avenue; a line 110 feet next south of West Roosevelt Road; a line 179.5 feet next east of South Ashland Avenue; West Roosevelt Road; a line 192 feet next west of South Loomis Street; the alley next south of West Roosevelt Road; a line 144 feet next west of South Loomis Street; West Washburne Avenue, if extended west of South Loomis Street; and South Loomis Street;

West 14th Street; South Blue Island Avenue; the alley next south of West 14th Street; and the alley next east of South Throop Street;

South Ashland Avenue; West 15th Street; South Loomis Street; and a line 124 feet next south of West 15th Street; South Laflin Street; and a line 132 feet next south of West 15th Street;

West Washburne Avenue; the alley next east of South Ashland Avenue; the alley next south of West Washburne Avenue; and South Ashland Avenue;

West 13th Street; the alley next east of South Ashland Avenue; the alley next south of West 13th Street; and South Ashland Avenue;

West Hastings Street; a line 132 feet next east of South Ashland Avenue; West 14th Place; and South Ashland Avenue;

a line 125 feet next north of West 14th Street; South Loomis Street; West 14th Street, if extended west of South Loomis Street; and a line 75 feet next west of South Loomis Street,

to those of a B4-2 Restricted Service District and a corresponding use district is hereby established in the area described above.

SECTION 3. That the Chicago Zoning Ordinance be amended by changing all the current R4 General Residence District and the B4-2 Restricted Service District symbols and indications as shown on Map Numbers 2-G and 4-G in the area bounded by:

West Cabrini Street; South Racine Avenue; West Roosevelt Road; South Blue Island Avenue; West 15th Street; South Loomis Street; a line 124 feet next south of West 15th Street; South Laflin Street; a line 132 feet next south of West 15th Street; South Ashland Avenue; West Hastings Street; a line 132.25 feet next east of South Ashland Avenue; the alley next north of West Hastings Street; South Ashland Avenue; West 13th Street; the alley next east of South Ashland Avenue; the alley next north of West 13th Street; South Ashland Avenue; West Washburne Avenue; the alley next east of South Ashland Avenue; the alley next north of West Washburne Avenue; a line 179.5 feet next east of South Ashland Avenue; West Roosevelt Road; a line 192 feet next west of South Loomis Street; the alley next south of West Roosevelt Road; a line 144 feet next west of South Loomis Street; West Washburne Avenue, if extended west of South Loomis Street; South Loomis Street; West Grenshaw Street; South Throop Street; West Taylor Street; a line 100 feet next east of South Loomis Street; the alley next north of West Taylor Street; the alley next east of South Loomis Street; West Arthington Street; and South Ada Street,

to those of Residential-Business Planned Development Number ____, which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 4. This ordinance shall be in force and effect immediately upon passage.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development Number 896.

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 896 (the "Planned Development") consists of approximately seven million two hundred forty-six thousand eight hundred sixty-seven (7,246,867) square feet (one hundred sixty-six and thirty-seven hundredths (166.37) acres) which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and is controlled by the City of Chicago (the "Applicant").
2. The Applicant, or the Chicago Housing Authority, LR ABLA L.L.C. ("the Master Developer") or their successors, assignees or grantees (collectively, "Affiliates") shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustments of rights-of-way shall require a separate submittal on behalf of the Applicant or its Affiliates and approval by the City Council of the City of Chicago (the "City Council").
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, the Affiliates, and their successors, assignees or grantees and all other individuals or entities owning property within the Planned Development. All rights granted hereunder to the Applicant shall inure to the benefit of the Affiliates and their successors, assignees or grantees. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development, any other modification or change thereto (administrative, legislative or otherwise), or, to the extent permitted by law, for a permit to construct improvements on the Property filed prior to completion of the improvements contemplated by this Planned Development shall be made or authorized by the Master Developer. Upon completion of construction of all the improvements contemplated by this Planned Development, any application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development may be filed or authorized for an individual parcel by the owner of the improvements located thereon.

4. This plan of development consists of these eighteen (18) statements and the exhibits listed below, all of which are incorporated herein and made a part hereof by this reference: a Permitted Uses Table; a Bulk Regulations and Data Table; an Existing Zoning Boundary Map; an Existing Land-Use Map; a Right-of-Way Adjustments Map; a Planned Development Boundary and Property Line Map; a Subarea Map; a Phase I Site Plan prepared by DeStefano + Partners dated November 20, 2003; a Phase I Landscape Plan and Street Character Guidelines prepared by Wolff Clements and Associates, Ltd. dated November 20, 2003; and Building Elevations prepared by DeStefano + Partners et al. dated November 20, 2003. A full-size set of the Phase I Site Plan, the Phase I Landscape Plan and the Building Elevations is on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The Property within the Planned Development is divided into fourteen (14) subareas as indicated on the Subarea Map. Subject to the Bulk Regulations and Data Table and the Street Character Guidelines, those uses indicated on the attached Permitted Uses Table shall be permitted in this Planned Development. The uses permitted in Subareas A-1 -- A-5, F, G and H are based on the uses permitted in the R4 General Residence District. The uses permitted in Subareas A-6, B, C, D, E and I are based on the uses permitted in the B4-2 Restricted Service District. In the event that the Chicago Zoning Ordinance is amended to change the permitted uses in either of these districts, any new use not otherwise included in the attached Permitted Uses Table proposed for the Property shall be subject to the review and approval of the Department of Planning and Development and shall only be permitted if such use is consistent with the character of the area in which it is proposed.

Additional Permitted Use Regulations:

- (a) Portions of the Property in all subareas may be used on an interim basis for construction staging and the storage of construction materials for the various phases of development of the Property (including temporary buildings for construction purposes) and for public and private parks and playgrounds. In addition, the floor area ratios provided for each subarea herein may be exceeded on a temporary basis during such construction.

Avenue and provided further that all permitted business uses shall be located on the ground floor of a residential building and the total amount of business space in any one location shall not exceed three thousand (3,000) square feet. No drive-through uses shall be permitted in Subarea E.

- (i) Permitted museum uses may exceed six thousand (6,000) square feet.
 - (j) Drive-through uses shall be permitted in Subarea C and Subarea I, subject to the review and approval of the Department of Planning and Development.
 - (k) All permitted "drive-through" uses shall be subject to the review and approval of the Department of Planning and Development.
6. Project identification signs and business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs such as construction and marketing signs also shall be permitted subject to the review and approval of the Department of Planning and Development.
7. Off-street parking and loading facilities shall be provided in accordance with the provisions of this Planned Development subject to the review and approval of the Departments of Transportation and Planning and Development. Any service drive or other ingress or egress shall be adequately designed and paved, in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency areas. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Department of Transportation.
8. In addition to the maximum height of buildings and any appurtenances attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.

9. The improvements on the Property shall be designed, constructed and maintained in substantial conformance with this Planned Development. Landscaping shall be installed in accordance with the Landscape Plans for the various phases of development and maintained in accordance with the parkway tree planting and parking lot landscaping provisions of the Chicago Zoning Ordinance.
10. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, such calculations shall exclude (a) all floor area dedicated to mechanical equipment and storage areas in excess of five thousand (5,000) square feet in any single building, and (b) any floor area associated with parking and loading areas.
11. For purposes of this Planned Development, in addition to the encroachments permitted by the Chicago Zoning Ordinance, the following shall be considered permitted obstructions: steps exceeding four (4) feet in height above grade level in any yard setback depicted on the Site Plans; balconies, provided, however, no balconies, other than those which may be installed as part of a rehabilitation of an existing building, shall project into the public way; multi-story bays projecting not more than three (3) feet into any yard; and open porches projecting not more than five (5) feet into the front or side yards.
12. Prior to issuance by the Department of Planning and Development of a determination pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance ("Part II Approval") for construction of the improvements in any phase of development subsequent to Phase I, a site plan, landscape plan and building elevations (collectively, the "Subsequent Phase Site Plan Approval Submittals") shall be submitted to the Department of Planning and Development for approval. Approval of the Subsequent Phase Improvements is intended to assure that the specific components thereof substantially conform with this Planned Development, including the Street Character Guidelines attached hereto. Subsequent Phase Improvements that contain modifications which would otherwise be considered minor changes to the Planned Development shall be deemed to be in substantial conformance therewith. No Site Plan Approval shall be required in connection with the development of the Phase I improvements pursuant to this Planned Development. If the Subsequent Phase Site Plan Approval Submittals for any phase of development subsequent to Phase I substantially conform with the provisions of this Planned Development, the Department of Planning and Development shall approve same within

thirty (30) days from submission thereof. Following approval thereof by the Department of Planning and Development, said Subsequent Phase Site Plan Approval Submittals, and each of them, shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this Planned Development. After approval of the Subsequent Phase Site Plan Approval Submittals by the Department of Planning and Development for improvements in any phase of development subsequent to Phase I, the same may be changed or modified pursuant to the provisions of Statement Number 13 of this Planned Development. In the event of any inconsistency between Subsequent Phase Site Plan Approval Submittals and the terms of this Planned Development in effect at the time of approval of such Subsequent Phase Site Plan Approval Submittals or of the changes or modifications thereto, the terms of this Planned Development shall govern.

Subsequent Phase Site Plan Approval Submittals shall, at minimum, provide the following information:

- (a) a site plan (including footprints of the proposed improvements);
- (b) a landscape plan, including species and size of landscape material;
- (c) location and depiction of all parking spaces and loading berths, including relevant dimensions;
- (d) location and depiction of all drives, roadways and vehicular routes;
- (e) statistical information applicable to the particular phase of development depicted, including:
 - (1) floor area and floor area ratio;
 - (2) uses to be established;
 - (3) building heights; and
 - (4) building setbacks;
- (f) building elevations; and
- (g) compliance with the Street Character Guidelines.

Subsequent Phase Site Plan Approval Submittals shall include such other information as may be necessary to illustrate substantial conformance with the applicable provisions of this Planned Development.

13. The terms, conditions and exhibits of this planned development may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the Applicant, the Affiliates or their successors, assignees or grantees and after a determination by the Commissioner that such a modification is minor, appropriate and consistent with the nature of the development of the property contemplated herein and will not result in increasing the maximum floor area ratio for the total net site area or the maximum number of units for the total net site area established in this planned development. Any such modification shall be deemed a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provisions of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include, but are not limited to, a reduction in the minimum required distance between structures, a reduction in periphery setbacks and an increase in the maximum percent of land covered.
14. The Applicant, the Affiliates, and their successors, assignees or grantees acknowledge that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The applicant shall use best and commercially reasonable efforts to design, construct and maintain all new buildings located within this planned development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S.").
15. The Applicant, the Affiliates and their successors, assignees or grantees acknowledge that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.

16. Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings and improvements on the Property in a manner that promotes energy efficiency and maximizes the conservation of natural resources. To promote these objectives, the Applicant agrees to review with the Department of Planning and Development to determine if any features, materials or resources would be cost-effective to include as a part of the design, construction and maintenance of the buildings and improvements on the Property. Cost-effectiveness shall be in the sole discretion of the Applicant. Provided funding is available as indicated below, this review process shall specifically include the use of computer modeling programs recommended by the Department of Planning and Development. The types of features, materials and resources that will be analyzed and considered during this process are enumerated on Exhibit 12. This listing is not intended to be exhaustive and other features, materials and resources may also be reviewed and evaluated. All features, materials or resources shall be evaluated in the context of the Home Energy Rating System. To the extent that design, construction and maintenance of any of these features, materials or resources requires supplemental funding from the City or other funding sources, design, construction or maintenance shall be subject to the receipt of such funding.

17. Design Guidelines. The improvements on the Property shall be designed, constructed and maintained in general conformance with the plans and exhibits set forth in these statements or attached hereto. In addition, the development shall be subject to the following development parameters:

- (a) Open Space: Open space shall be provided within the Planned Development in accordance with the following requirements:

Housing Type	Private Open Space (Per Unit)	Public Open Space (Per Unit) Within Planned Development	Private Open Space Or Landscape Setbacks (Per Unit)
Single-Family Detached	500 square feet	150 square feet	--
Single-Family Attached (townhouses)	200 square feet	150 square feet	--

Housing Type	Private Open Space (Per Unit)	Public Open Space (Per Unit) Within Planned Development	Private Open Space Or Landscape Setbacks (Per Unit)
Low-Rise			
Apartments	Up to 50% of total open space required in column 3 may be in balconies or roofdecks	50 square feet	8 units or less -- 150 square feet
Condominiums			
Flats (up to 4 stories)			More than 8 units -- 100 square feet
Mid-Rise			
Apartments	Up to 50% of total open space required in column 3 may be in balconies or roofdecks	50 square feet	
Condominiums (5 to 8 stories)			100 square feet
Loft Conversions			
	Up to 50% of total open space required in column 3 may be in balconies or individual unit roofdecks	50 square feet	100 square feet (may be provided in roof garden)

- (b) Landscaping: The landscaping requirements for Phase I of the development will comply with the Phase I Landscape Plan attached hereto. The landscaping for all future phases of development shall substantially comply with the Street Character Guidelines and the Chicago Landscape Ordinance and associated guidelines and regulations. Landscaping for all rental properties will be varietal. Front yard beds of rental properties shall be varietal and be planted to maintain color throughout the seasons.
- (c) Residential Building Design: Other than the Phase I improvements, which comply with the design requirements contained herein, building elements for all future phases may include but not be limited to: entrance canopies, front stoops, stairs, flat or pitched roofs, punched windows, bay windows, upper story balcony/porches, roof terraces and architectural elements that reinforce the corner.
- (1) Facades: Front facades, including end walls which front public streets or open spaces, be of brick, have windows

and be ornamented with artificial stone or concrete. They shall be varied in material, roofline and window style. The front facade brick should turn the corner for a minimum of four (4) feet at the side walls. Where buildings have a greater exposure of the side facade due to an adjacent building setback, the facade brick shall return four (4) feet past the face of the adjacent facade. Side walls and rear walls should be masonry (brick or C.M.U.), vinyl clad or split-face block. E.I.F.S. synthetic stucco or dryvit, shall be limited to architectural ornament and penthouse facades. Facades that face car courts but not public streets must contain pedestrian scale entry doors, windows and building lighting. All front facades or side facades facing a public street will contain items that create architectural rhythm such as bay windows, and brick moldings; and building projections such as cornice lines and pilasters; television reception dishes shall not be permitted thereon. Affordable housing units shall be constructed of equal quality materials, detailing and decoration so they are indistinguishable from market rate units.

- (2) Dwelling Types: A variety of dwelling types including affordable housing is to be interspersed throughout the development and within individual blocks.
- (3) Private Garages: Private garages may be constructed of vinyl siding, wood siding, stucco or masonry. Where a private garage is located within fifteen (15) feet of a public street, unless the facade facing the street is constructed of a material other than vinyl siding (i.e., masonry, stucco, et cetera); it shall be screened from view by plantings or fences. If plantings are utilized to screen a garage, such plantings shall provide screening on a year-round basis.
- (4) Orientation Of Buildings: Buildings shall be oriented to the street, public open space or private courtyard with the primary facade and a front door, or the appearance of a front facade and front door. Any side wall facing a public

street will contain materials and architectural elements that are consistent in character with primary building facades. Curb cuts, garage doors, blank walls and rear service elements shall not face public streets or common open spaces.

- (5) Retail Corner Sites: Retail corner site setbacks over five (5) feet are to be avoided.
 - (d) Fencing, Walls and Gates: Fencing separating the private yards from the street or common open space should be no less than seventy percent (70%) transparent and no more than five (5) feet in height.
18. (a) Unless substantial construction of the Phase I improvements contemplated by this Planned Development has commenced within six (6) years of the effective date hereof and unless the completion of those improvements is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to those zoning district classifications in existence immediately prior to the adoption of the ordinance establishing this Planned Development.
- (b) Subsequent Periods. Unless substantial construction has commenced and been diligently pursued after the initial six (6) year period on a minimum of four hundred (400) dwelling units (cumulative) within eight (8) years of the effective date hereof, six hundred (600) dwelling units (cumulative) within ten (10) years of the effective date hereof and eight hundred (800) dwelling units (cumulative) within twelve (12) years of the effective date hereof (the "Subsequent Periods"), the Department may decide to review and recommend modification of the provisions of this Planned Development in whole or in part. The Department's determination that the Planned Development ordinance must be reviewed shall be reflected in an application filed by the City for a Planned Development amendment, with the City being deemed the applicant and providing such notice as may be required by law. Not less than thirty (30) days before

filing any such application for amendment to the Planned Development, the Department shall provide the Applicant with a copy of the draft application for amendment.

[Exhibit 1, Bulk Regulations and Data Table; Exhibit 1A, Permitted Uses Table; Exhibit 2, Existing Zoning Boundary Map; Exhibit 3, Existing Land-Use Map; Exhibit 4, Right-of-Way Adjustments Map; Exhibit 5, Planned Development Boundary and Property Line Map; Exhibit 6, Subarea Map; Exhibits 7A -- 7E, Site Plans; Exhibits 8A -- 8H, Landscape Plans; Exhibit 9, Street Elevation; Exhibits 10A -- 10W, Building Elevations; and Exhibits 11A -- 11E, Street Character Diagrams referred to in these Plan of Development Statements printed on pages 17909 through 17968 of this *Journal*.]

Exhibit 12 referred to in these Plan of Development Statements reads as follows:

Exhibit 12.

Energy Efficiency And Sustainable Development Features.

Site:

- install environmentally responsible landscape of native plants;
- encourage storm water percolation with green spaces;
- orient buildings and window placement to maximize sunlight;
- install (by City) permeable alleys;
- review (by City) of alternate water retention systems.

Efficiency:

- install low-flow plumbing fixtures;
- maximize amount of fluorescent light fixtures;
- use fluorescent fixtures at all common light fixtures;
- use photocells on exterior common light fixtures;
- install double glazed windows;
- install Energy Star appliances;
- install ninety percent (90%) efficient furnaces;
- install energy efficient hot water heaters;
- locate hot water heater near the point of highest service, where possible;
- insulate hot and cold water pipes within three (3) feet of the hot water heater;
- install programmable thermostats;
- train occupants on system use;
- seal ductwork;
- install reflective roofing;
- caulk and seal all penetrations;
- install ceiling fans to reduce use of air-conditioners;
- advance framing to help reduce construction costs;
- increase insulation and use of exterior air infiltration barrier;
- install bathroom fans;
- advanced caulking for airtight drywall approach;

caulk or gasket drywall is used at electrical, plumbing or mechanical penetrations;
and

install carpeting by tacking rather than using glue.

Indoor Environmental Quality:

use low-emitting paints, sealers, caulk, adhesives, carpets and composite wood products;

low-VOC and low-toxic interior paints and finishes to reduce toxins.

Sustainable Features:

use carpet made from recycled materials;

use engineered composite lumber;

use recycled light-gauge interior steel framing, if possible;

use blown-in cellulose insulation;

use cement board siding on exterior;

use fly-ash concrete for foundations, if structurally possible;

water conserving toilets and faucets;

use of recycled plastic lumber or wood composite lumber for certain exterior uses;

use of engineered structural products, including laminated veneer lumber (L.V.L.) wood I-beams and I-joists, and wood roof and floor trusses (when lumber is used);
and

green roofs.

Materials And Resources:

resource efficient design, including panelization of walls.

Exhibit 1.

Bulk Regulations And Data Table.
(Page 1 of 2)

	Sub-area A1	Sub-area A2	Sub-area A3	Sub-area A4	Sub-area A5	Sub-area A6	Sub-area B
Gross Site Area (Square feet)	-	-	-	-	-	-	-
Net Site Area (Square feet)	356,357	288,610	294,465	164,587	1,244,231	9,375	440,591
Gross Site Acreage	-	-	-	-	-	-	-
Net Site Acreage	8.2	6.6	6.8	3.8	29.0	.1	10.6
Maximum Percentage of Site Covered	Per site plan approval	Per site plan approval	Per site plan approval	Per site plan approval	Per site plan approval	Per site plan approval	Per site plan approval
Maximum Floor Area Ratio	1.3	1.2	1.1	1.1	1.1	1.2	1.7
Maximum Building Height ^{a,b,c}	50% @ 35' 50% @ 45'	50% @ 35' 50% @ 45'	50% @ 35' 50% @ 45'	50% @ 35' 50% @ 45'	50% @ 35' 50% @ 45'	35'	68% @ 45' 32% @ 60'
Minimum Setbacks	Front: 10' Side: 6' Rear: 30'	Front: 10' Side: 6' Rear: 30'	Front: 10' Side: 6' Rear: 30'	Front: 10' Side: 6' Rear: 30'	Front: 10' Side: 6' Rear: 30'	Front: 10' Side: 6' Rear: 30'	Front: 2' Side: 2' Rear: 0'
Planned Number of Dwelling Units	241	208	176	93	867	6	441
Maximum Number of Dwelling Units	253	218	184	107	910	6	510
Minimum Number of Loading Berths	Residential: 20,000 to 200,000 s.f. = one 10' x 25' loading berth Retail: 6,000 to 10,000 s.f. = one 10' x 25' loading berth 10,000 to 25,000 s.f. = two 10' x 25' loading berths 25,000 to 40,000 s.f. = two 10' x 50' loading berths						
Minimum Number of Parking Spaces	Residential: Parking spaces will be provided at a ratio of one parking space per dwelling unit minimum. Retail: One parking space shall be provided for every 400 s.f. of floor area in excess of 6,000 s.f. Size: All spaces shall be 8' x 19' minimum.						

Minimum setbacks and maximum site coverage shall be in accordance with the submitted site plans.

^a Maximum Building Height refers to new development only. Existing Buildings with heights in excess of maximum shown are permitted. For the purposes of this ordinance, building height shall be defined as per the City of Chicago Zoning Ordinance.

^b Sub-areas A1 through A5: no more than 50% of the total street frontage within the sub-area shall be constructed with buildings that exceed 35 feet in height and no building shall exceed 45 feet in height.

^c Sub-area B: no more than 32% of the total street frontage within the sub-area shall be constructed with buildings that exceed 45 feet in height and no building shall exceed 60 feet in height.

^d Peripheral Setbacks: Except for townhouses, there will be no less than 5'-0" between buildings. At parcels abutting a street or alley, other than on reverse corner lots in Subareas A1-5, no side setback is required at the street or alley; however, on reverse corner lots in Subareas A1-5, sideyard set-backs along the street side lot line shall be a minimum of 50% of the depth required for the front yard of the next property to the rear fronting on such street.

^e Sub-areas A1 through A6: Minimum rear yard set back for townhouses shall be 2'-0". The minimum separation between townhouses where the front or rear wall of one row of townhouses faces the front or rear wall of another row of townhouses shall be 22 feet.

Exhibit 1.

Bulk Regulations And Data Table.
(Page 2 of 2)

	Sub-area C	Sub-area D	Sub-area E	Sub-area F	Sub-area G	Sub-area H	Sub-area I	Total
Gross Site Area (Square feet)	-	-	-	-	-	-	-	7,246,867
Net Site Area (Square feet)	102,572	169,208	233,377	1,186,462	33,744	158,729	35,087	4,717,395
Gross Site Acreage	-	-	-	-	-	-	-	167.37
Net Site Acreage	2.4	3.9	5.4	27.2	0.8	3.6	0.8	109.1
Maximum Percentage of Site Covered	Per site plan approval	Per site plan approval	Per site plan approval	Per Existing	Per Existing	Per Existing	Per site plan approval	-
Maximum Floor Area Ratio	1.4	2.0	2.3	0.7	2.9	0.7	0.9	1.2
Maximum Building Height *	45'	50% @ 35' 50% @ 45'	55' north of 15 th St. 80' South of 15 th St.	Per Existing	Per Existing	Per Existing	35'	-
Minimum Setbacks	Front: 0' Side: 0' Rear: 8'	Front: 0' Side: 0' Rear: 8'	Front: 10' Side: 0' Rear: 0'	Per Existing	Per Existing	Per Existing	Front: 0' Side: 0' Rear: 0'	-
Planned Number of Dwelling Units	67	82	260	330	116	126	0	3013 ^a
Maximum Number of Dwelling Units	71	98	312	330	116	126	27	3013 ^a
Minimum Number of Loading Berths	Residential: 20,000 to 200,000 s.f. = one 10' x 25' loading berth Retail: 6,000 to 10,000 s.f. = one 10' x 25' loading berth 10,000 to 25,000 s.f. = two 10' x 25' loading berths 25,000 to 40,000 s.f. = two 10' x 50' loading berths							
Minimum Number of Parking Spaces	Residential: Parking spaces will be provided at a ratio of one parking space per dwelling unit minimum. Retail: One parking space shall be provided for every 400 s.f. of floor area in excess of 6,000 s.f. Size: All spaces shall be 8' x 19' minimum.							

Minimum setbacks and maximum site coverage shall be in accordance with the submitted site plans.

* Maximum Building Height refers to new development only. Existing Buildings with heights in excess of maximum shown are permitted. For the purposes of this ordinance, building height shall be defined as per the City of Chicago Zoning Ordinance.

* Peripheral Setbacks: Except for townhouses, there will be no less than 5'-0" between buildings. At parcels abutting a street or alley, other than on reverse corner lots in Subareas A1-5, no side setback is required at the street or alley; however, on reverse corner lots in Subareas A1-5, sideyard set-backs along the street side lot line shall be a minimum of 50% of the depth required for the front yard of the next property to the rear fronting on such street.

* Sub-area D: no more than 50% of the total street frontage within the sub-area shall be constructed with buildings that exceed 35 feet in height and no building shall exceed 45 feet in height.

* The total number of units consists of 2,441 new units in Subareas A-E and I and 572 existing units in Subareas F, G and H. In no event shall the total number of new units on the Property exceed 2,441.

Exhibit 1A.

Permitted Uses Table.
(Page 1 of 6)**PERMITTED USES TABLE****Subareas**

Only those uses identified with a check-mark (✓) are permitted within a given subarea.

<i>Use List</i>	<i>A-1</i>	<i>A-2</i>	<i>A-3</i>	<i>A-4</i>	<i>A-5</i>	<i>F</i>	<i>G</i>	<i>H</i>
Single family and multi-family residential dwelling units	✓	✓	✓	✓	✓	✓	✓	✓
Townhomes	✓	✓	✓	✓	✓	✓	✓	✓
Housing for the elderly (including, without limitation, facilities in which 100% of the dwelling units are classified as efficiency units)								
Churches, rectories, and parish houses	✓	✓	✓	✓	✓	✓	✓	✓
Community centers	✓	✓	✓	✓	✓	✓	✓	✓
Parks and playgrounds and any non-commercial open space utilized for recreational activities	✓	✓	✓	✓	✓	✓	✓	✓
Schools, nursery, elementary and high, non-boarding	✓	✓	✓	✓	✓	✓	✓	✓
Daycare centers	✓	✓	✓	✓	✓	✓	✓	✓
Public libraries	✓	✓	✓	✓	✓	✓	✓	✓
Fire stations			✓					
Non-accessory parking (as permitted in the R4 District)	✓	✓	✓	✓	✓	✓	✓	✓
Accessory and related uses	✓	✓	✓	✓	✓	✓	✓	✓
Agricultural uses								
Cemeteries and mausoleums								
Family community homes								
Wireless communication facilities								
Single room occupancy buildings or units								
Hospitals and sanitariums								
Institutions for the aged or children								
Lodging houses and tourist homes								
Group community home								
Retail uses								
Special uses								
Museums	✓	✓	✓	✓	✓	✓	✓	✓

Exhibit 1A.

Permitted Uses Table.
(Page 2 of 6)

PERMITTED USES TABLE		Subareas					
Use List	A-6	B	C	D	E	I	
Single Family and multi-family residential dwelling units	✓	✓	✓	✓	✓	✓	
Townhomes	✓	✓	✓	✓	✓	✓	
Churches, rectories and parish houses	✓	✓	✓	✓	✓	✓	
Community centers	✓	✓	✓	✓	✓	✓	
Parks and playgrounds and any non-commercial open space utilized for recreational activities	✓	✓	✓	✓	✓	✓	
Schools, nursery, elementary and high, non-boarding	✓	✓	✓	✓	✓	✓	
Museums	✓	✓	✓	✓			
Amusement establishments, such as, but not limited to, bowling alleys, pool halls, dance halls, gymnasiums, swimming pools and skating rinks, but not including an "arcade" as defined in Article 2 of the ordinance			✓	✓			
Antique shops		✓	✓	✓		✓	
Arcades, when located within Community Shopping Centers of not less than five acres							
Art galleries, art studios and auction rooms		✓	✓	✓	✓	✓	
Art and school supply stores	✓	✓	✓	✓		✓	
Auto accessory stores			✓			✓	
Automobile service stations			✓			✓	
Banks and financial institutions			✓	✓		✓	
Barber shops, beauty parlors, fingernail salons and beauty supplies	✓	✓	✓	✓	✓	✓	
Bicycle sales, rental and repair stores, when such bicycles are not motor-driven		✓	✓	✓	✓	✓	
Motor driven bicycle sales, rental and repair stores		✓	✓	✓	✓	✓	
Blue printing and photostating establishments		✓	✓	✓	✓	✓	
Book stores - new and used	✓	✓	✓	✓	✓	✓	
Candy and ice cream stores	✓	✓	✓	✓	✓	✓	
Camera and photographic supply stores		✓	✓	✓		✓	
Carpet and rug stores		✓	✓	✓		✓	
Caskets and casket supplies			✓	✓		✓	
Catering establishments	✓	✓	✓	✓	✓	✓	
China and glassware stores		✓	✓	✓	✓	✓	
Clothing and costume rental shops	✓	✓	✓	✓	✓	✓	

Exhibit 1A.

Permitted Uses Table.
(Page 3 of 6)

Use List	A-6	B	C	D	E	I
Clothes pressing establishments		✓	✓	✓	✓	✓
Clubs and lodges (non-profit and fraternal organizations)	✓		✓	✓	✓	✓
Coin and philatelic stores		✓	✓	✓		✓
Colleges and universities (but not business colleges or trade schools)	✓	✓	✓	✓	✓	✓
Computer sales and service						
Currency exchange	✓	✓	✓	✓	✓	✓
Custom dressmaking						
Community homes located above the first floor, provided that the location of any proposed home which is to be occupied by five (5) or more unrelated persons with disabilities is not less than 600 feet from the location of any existing Community Home which is occupied by five (5) or more unrelated persons with disabilities	✓	✓	✓	✓	✓	✓
Day care centers		✓	✓	✓	✓	✓
Department stores	✓	✓	✓	✓	✓	✓
Drug stores	✓	✓	✓	✓	✓	✓
Dry cleaning establishments	✓	✓	✓	✓	✓	✓
Dry good stores		✓	✓	✓	✓	✓
Earth station antenna - exceeding three (3) feet in diameter		✓	✓	✓	✓	✓
Electrical and household appliance stores, including radio and television sales	✓	✓	✓	✓	✓	✓
Employment agencies	✓		✓	✓	✓	✓
Exterminating shops			✓	✓	✓	✓
Feed stores			✓	✓	✓	✓
Fire stations	✓	✓	✓	✓	✓	✓
Florist shops and conservatories	✓	✓	✓	✓	✓	✓
Food stores, grocery stores, meat markets, bakeries and delicatessens		✓	✓	✓	✓	✓
Frozen food stores, including locker rental in conjunction therewith	✓	✓	✓	✓	✓	✓
Furniture stores, not including upholstering when conducted as part of the retail operations and secondary to the principal use			✓	✓	✓	✓
Furrier shops, including the incidental storage and conditioning of furs		✓	✓	✓	✓	✓
Garden supply and feed stores	✓	✓	✓	✓	✓	✓
Gift shops		✓	✓	✓	✓	✓
Greenhouse retail		✓	✓	✓	✓	✓
Grooming of pets - no overnight boarding or storage		✓	✓	✓	✓	✓

Exhibit 1A.

Permitted Uses Table.
(Page 4 of 6)

Use List	A-6	B	C	D	E	I
Haberdasheries		✓	✓	✓	✓	✓
Hardware stores	✓	✓	✓	✓	✓	✓
High technology centers						
Hobby shops for retail of items to be assembled or used away from the premises	✓	✓	✓	✓	✓	✓
Interior decorating shops, including upholstering and making of draperies, slip covers, and other similar articles, when conducted as part of the retail operations and secondary to the principal use	✓	✓	✓	✓	✓	✓
Ice sales, vending machines						
Jewelry stores, including watch repair		✓	✓	✓		✓
Laboratories - medical and dental - research and testing			✓	✓		✓
Laundrettes, coin-operated facilities, employing not more than two persons on duty at any time, in addition to one owner or manager, provided that laundry equipment shall not exceed fifty (50) pounds capacity each and no more than 20% of the coin operated machines shall have a capacity of fifty (50) pounds						
Laundries, employing not more than two persons in addition to one owner or manager	✓	✓	✓	✓	✓	✓
Leather goods and luggage stores			✓	✓		✓
Liquor sales, package goods only, provided such use shall be accessory and is clearly related to the principal use			✓	✓		✓
Loan offices			✓	✓		✓
Locksmith shops	✓		✓	✓	✓	✓
Lodging rooms			✓	✓		✓
Meat markets, including the sale of meat and meat products to restaurants, hotels, clubs, and other similar establishments when conducted as part of the retail business on the premises			✓	✓		✓
Medical and dental clinics	✓	✓	✓	✓	✓	✓
Millinery shops	✓	✓	✓	✓	✓	✓
Musical instrument sales and repair	✓	✓	✓	✓		
Motor vehicle repair shop for the servicing of any non-commercial motor vehicle, but excluding body repair, painting and engine rebuilding			✓			
Newspaper distributors for home delivery and retail sales	✓	✓	✓	✓	✓	✓
Offices, business and professional	✓	✓	✓	✓	✓	✓
Office supply stores	✓	✓	✓	✓	✓	✓
Optometrists			✓	✓		✓
Orthopedic and medical appliance stores, but not including the assembly or manufacturing of such articles			✓	✓		✓
Paint and wallpaper stores	✓		✓	✓	✓	✓

Exhibit 1A.

Permitted Uses Table.
(Page 5 of 6)

Use List	A-6	B	C	D	E	I
Parking lots, open and other than accessory, for the storage of private passenger automobiles, and subject to the provisions of Section 8.11			✓	✓		✓
Pet supplies, retail only		✓	✓	✓		✓
Pet shops		✓	✓	✓		✓
Photography studios, including the development of film and pictures when conducted as part of the retail business on the premises	✓	✓	✓	✓	✓	✓
Parks, playgrounds or any non-commercial open space utilized for recreational activities	✓	✓	✓	✓	✓	✓
Physical culture and health services - gymnasia, reducing salons, masseurs, public baths		✓	✓	✓		✓
Picture framing, when conducted for retail trade on the premises only	✓	✓	✓	✓	✓	✓
Plumbing showrooms and shops			✓	✓		✓
Police stations			✓	✓		✓
Post offices			✓	✓		✓
Printing establishments; employing not more than two persons in addition to one owner or manager	✓		✓	✓	✓	✓
Public libraries	✓	✓	✓	✓	✓	✓
Radio and television broadcasting stations			✓	✓		✓
Restricted production and repair limited to the following: art needle work; clothing - custom manufacturing and alterations, for retail only; jewelry (from precious metals); watches, dentures and optical lenses		✓	✓	✓		✓
Radio and television service and repair shops	✓		✓	✓	✓	✓
Recording studios	✓		✓	✓	✓	✓
Restaurants, including live entertainment and dancing. Unenclosed or partially enclosed restaurants are expressly permitted, except that live entertainment and dancing are not permitted in the unenclosed or partially enclosed areas. Liquor may be served in conjunction to the serving of food as the principal activity. Restaurants, when no entertainment or dancing is provided. Liquor may be served if incidental to the serving of food as the principal activity. Unenclosed or partially enclosed restaurants adjacent to and operated with enclosed restaurants are expressly permitted.	✓	✓	✓	✓	✓	✓
Schools, commercial or trade, when not involving any danger of fire or explosion nor of offensive noise, vibration, smoke, dust, odor, glare, heat or other objectionable influences			✓	✓		✓
Schools, music, dance or business.		✓	✓	✓	✓	✓
Second hand stores and rummage shops	✓		✓	✓	✓	✓
Sewing machine sales and service, household machines only	✓		✓	✓	✓	✓
Shoe and hat repair stores	✓	✓	✓	✓	✓	✓
Shoe stores	✓		✓	✓	✓	✓

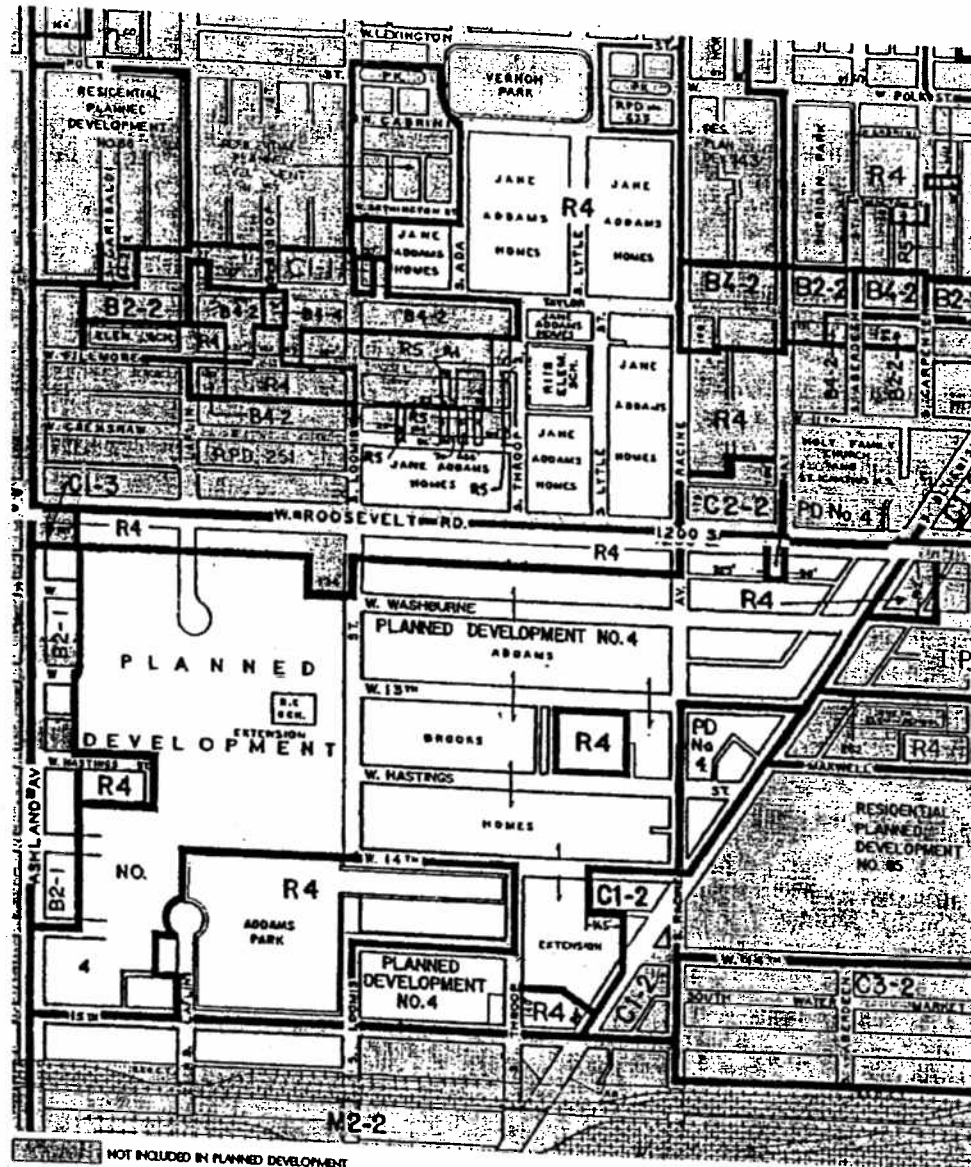
Exhibit 1A.

Permitted Uses Table.
(Page 6 of 6)

Use List	A-6	B	C	D	E	I
Signs, as regulated by Section 8.9						
Single room occupancy buildings or units						
Special uses (other than "drive-through" type uses as provided herein)						
Sporting goods stores	✓	✓	✓	✓	✓	✓
Stationery stores	✓	✓	✓	✓	✓	✓
Strip centers, consistent with the use and bulk regulations and site plan approval process of this Planned Development						
Tailor shops	✓	✓	✓	✓	✓	✓
Taxidermists						
Temporary buildings for construction purposes, for a period not to exceed the duration of such construction	✓	✓	✓	✓	✓	✓
Theaters	✓	✓	✓	✓	✓	✓
Ticket agencies	✓	✓	✓	✓	✓	✓
Tire facilities, Class I, Class II, as regulated by Chapters 4-229 and 4-5-010 of the Municipal Code						
Tobacco shops						
Toy shops	✓	✓	✓	✓	✓	✓
Travel bureaus and transportation ticket offices	✓	✓	✓	✓	✓	✓
Video and audio tapes, compact discs, and records, which include the sales and rental of new and used merchandise	✓	✓	✓	✓	✓	✓
Typewriter and adding machine sales and service		✓	✓	✓	✓	✓
Upholstering shops, employing not more than two persons in addition to one owner or manager			✓	✓	✓	✓
Undertaking establishment, funeral parlors			✓	✓	✓	✓
Wearing apparel shops	✓	✓	✓	✓	✓	✓
Wholesale establishments, with storage of merchandise limited to samples only			✓	✓	✓	✓
Wireless communications facilities, provided they comply with the setback requirements set forth in section 5.11-1(F)						
Accessory uses	✓	✓	✓	✓	✓	✓

Exhibit 2.

Existing Zoning Map.



ROOSEVELT SQUARE



Exhibit 3.

Existing Land-Use Map.

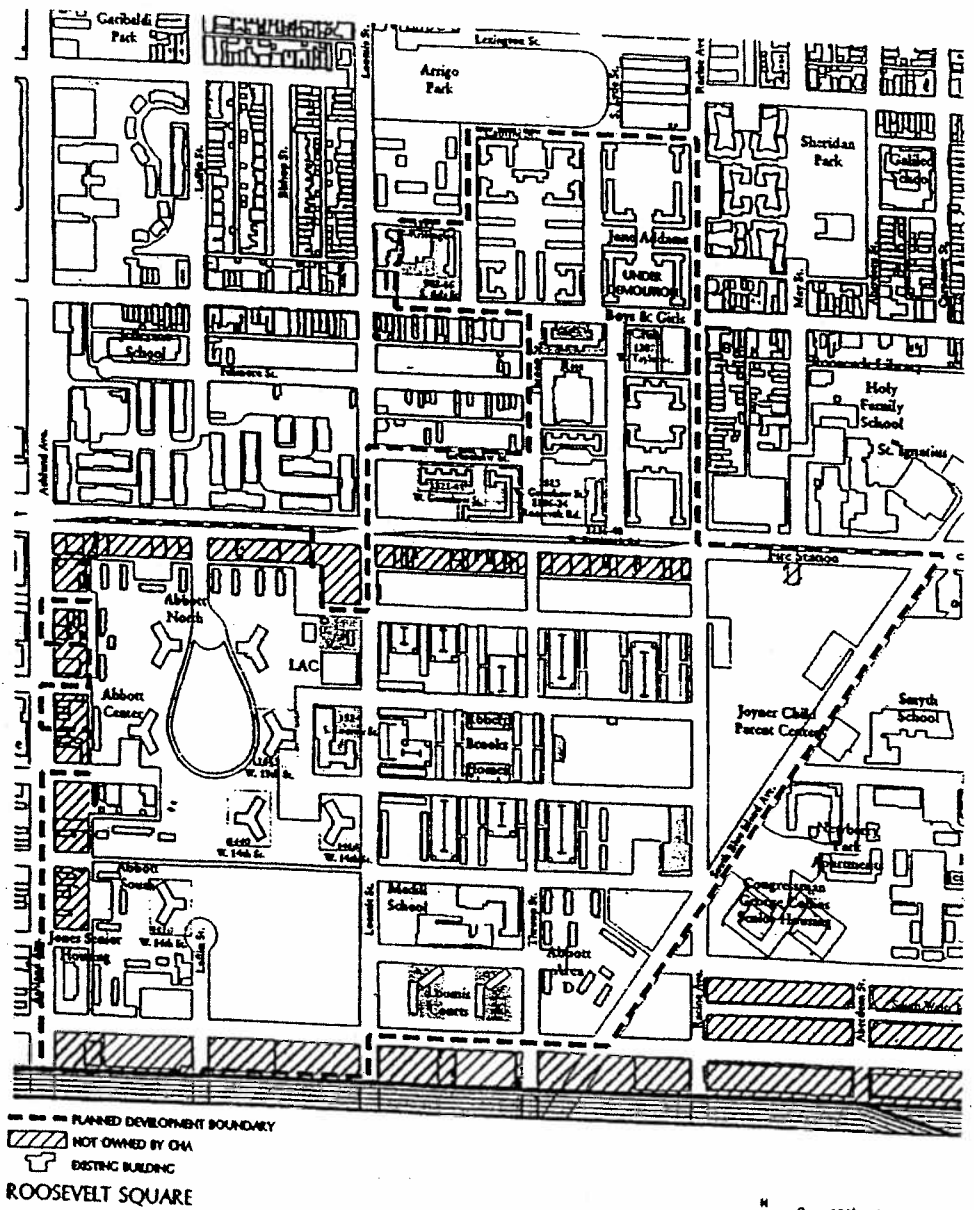


Exhibit 4.

Right-Of-Way Adjustments Map.

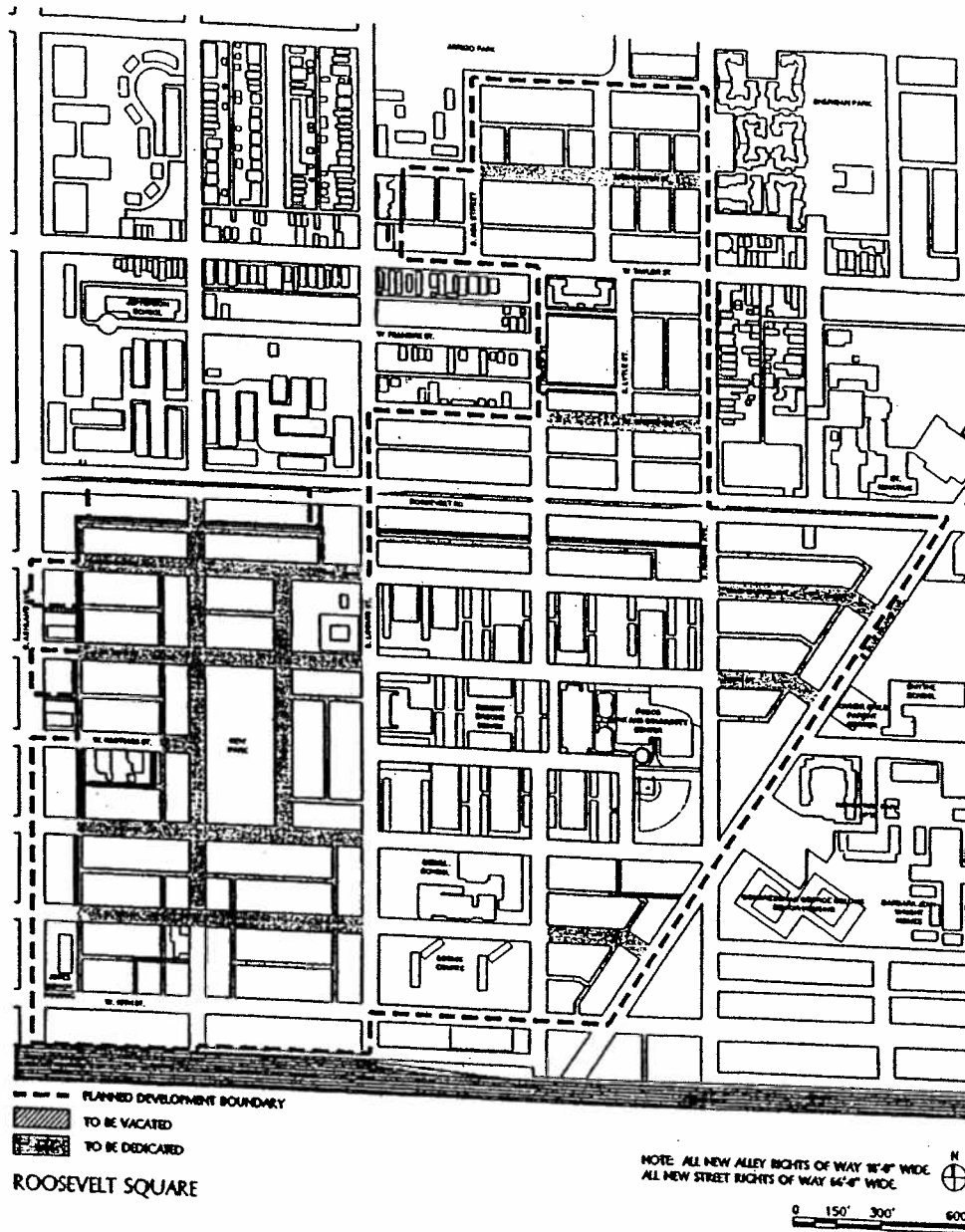


Exhibit 5.

Planned Development Boundary
And Property Line Map.

Exhibit 6.

Subarea Map.

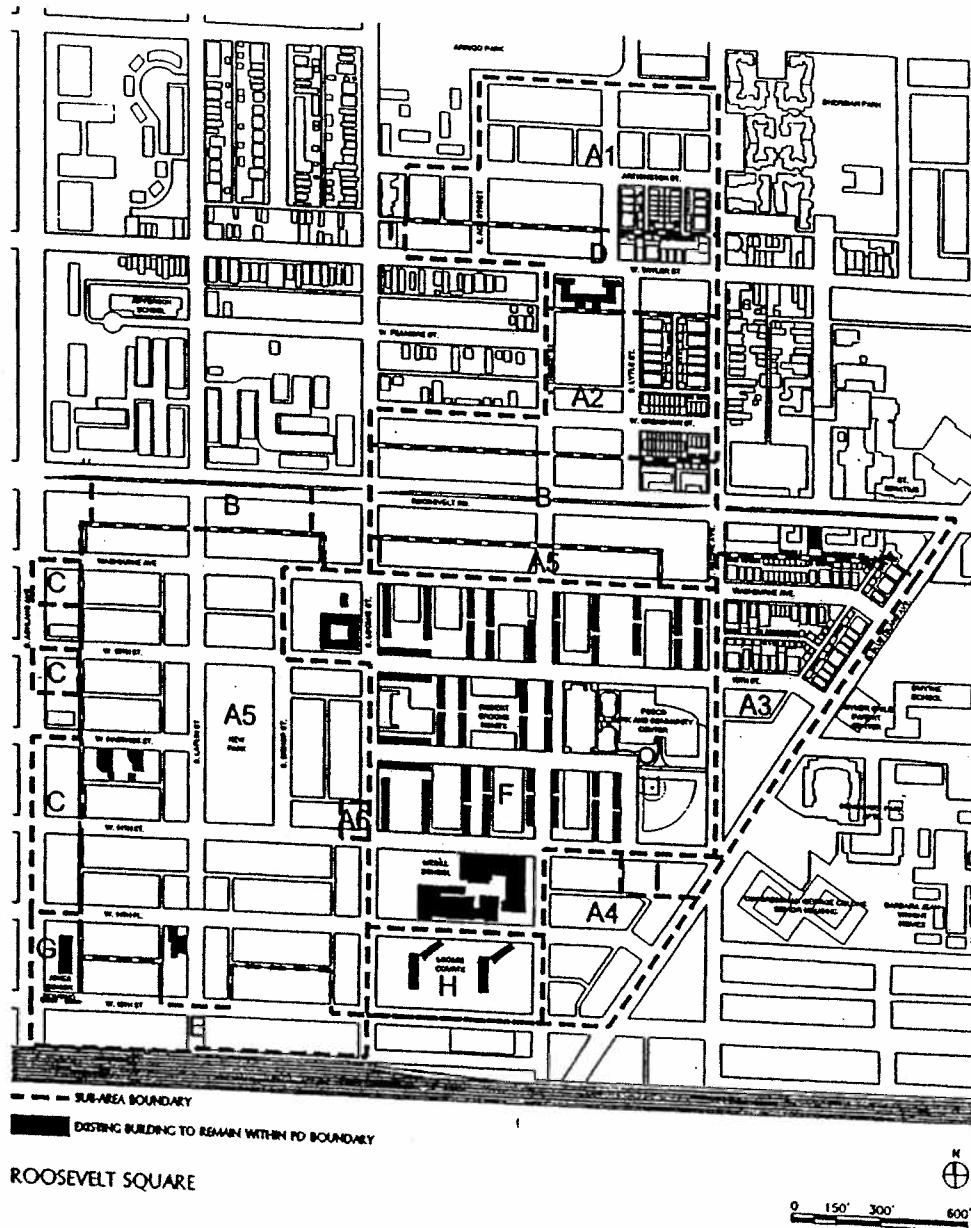
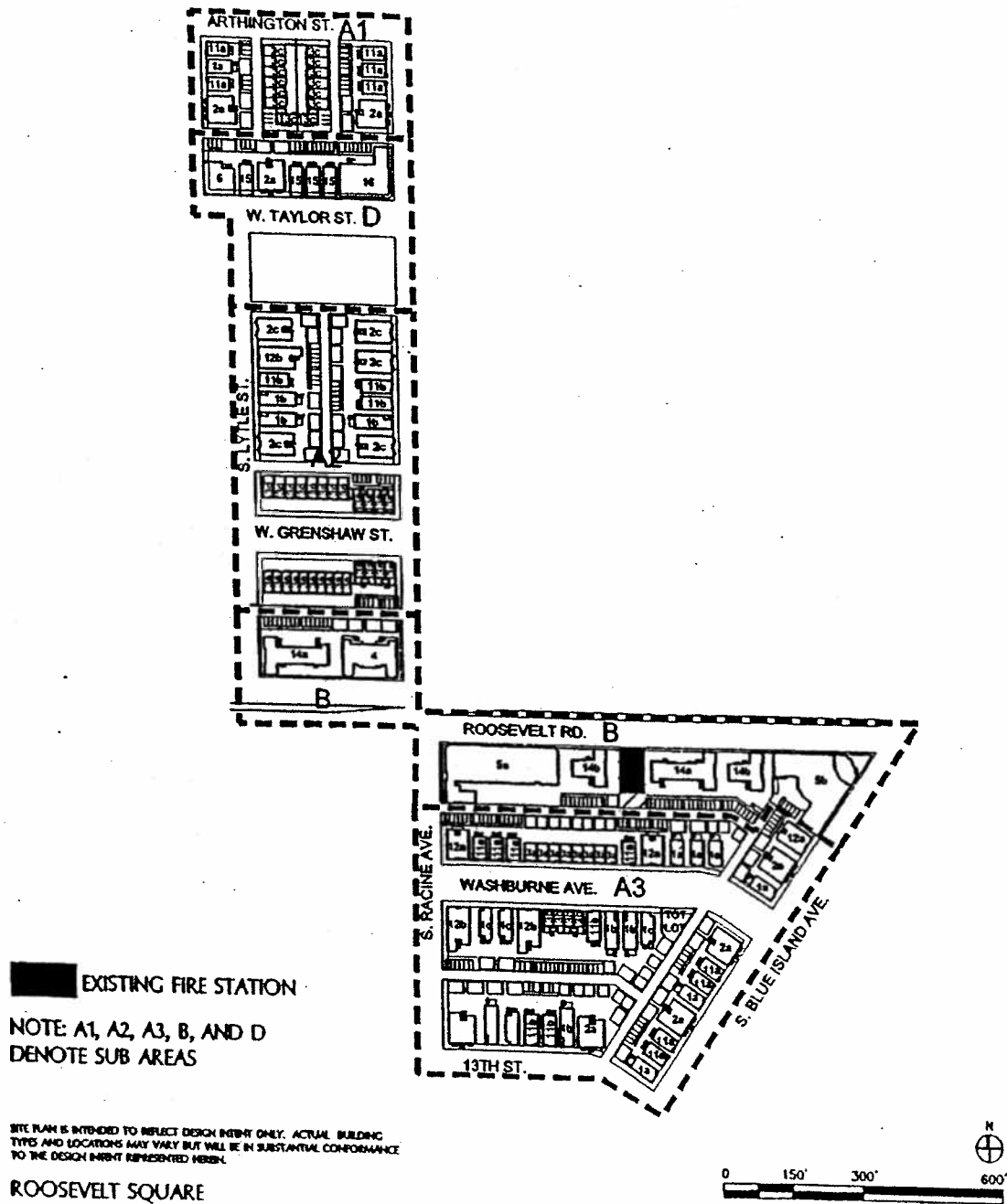
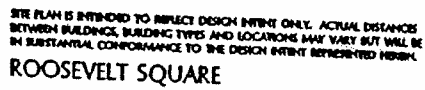


Exhibit 7.

Phase 1 -- Site Plan.



Phase 1 -- Site Plan -- Block JA5.



ROOSEVELT SQUARE

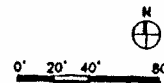
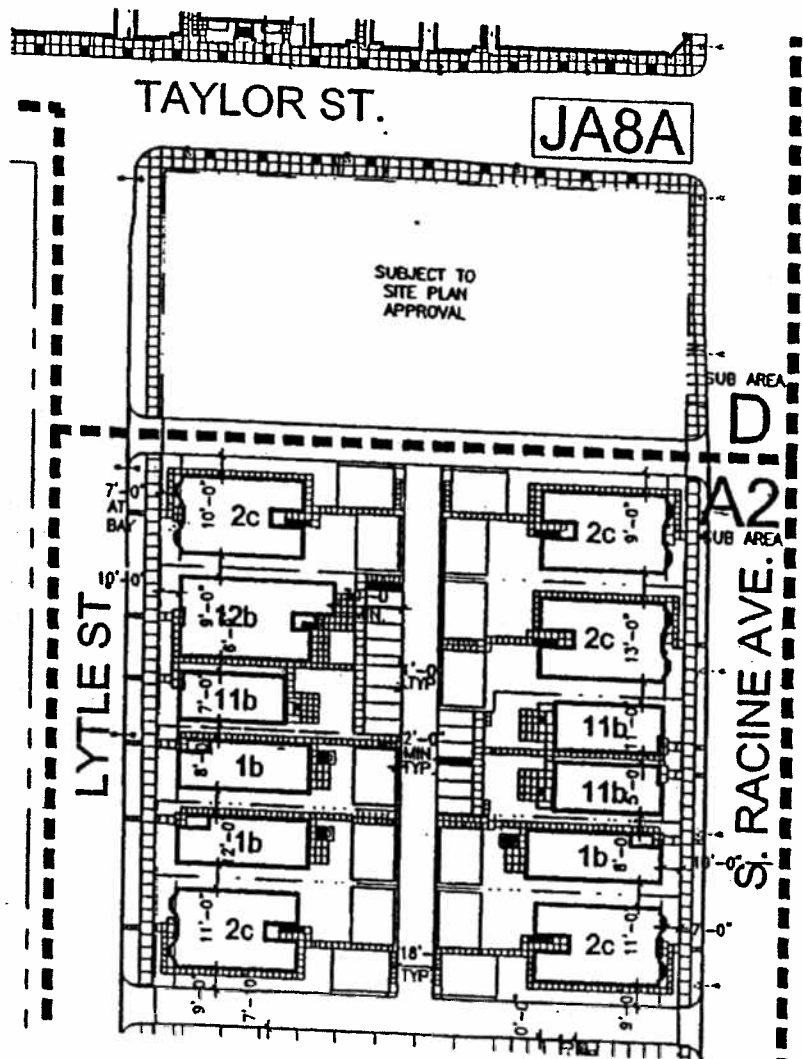


Exhibit 7B.

Phase 1 -- Site Plan -- Block JA8A (Partial).



SITE PLAN IS INTENDED TO REFLECT DESIGN INTENT ONLY.
ACTUAL DISTANCES BETWEEN BUILDINGS, BUILDING TYPES AND
LOCATIONS MAY VARY BUT WILL BE IN SUBSTANTIAL
CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

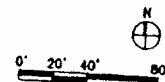


Exhibit 7C.

Phase 1 -- Site Plan -- Block JA7A
(Partial) And Block JA7B.

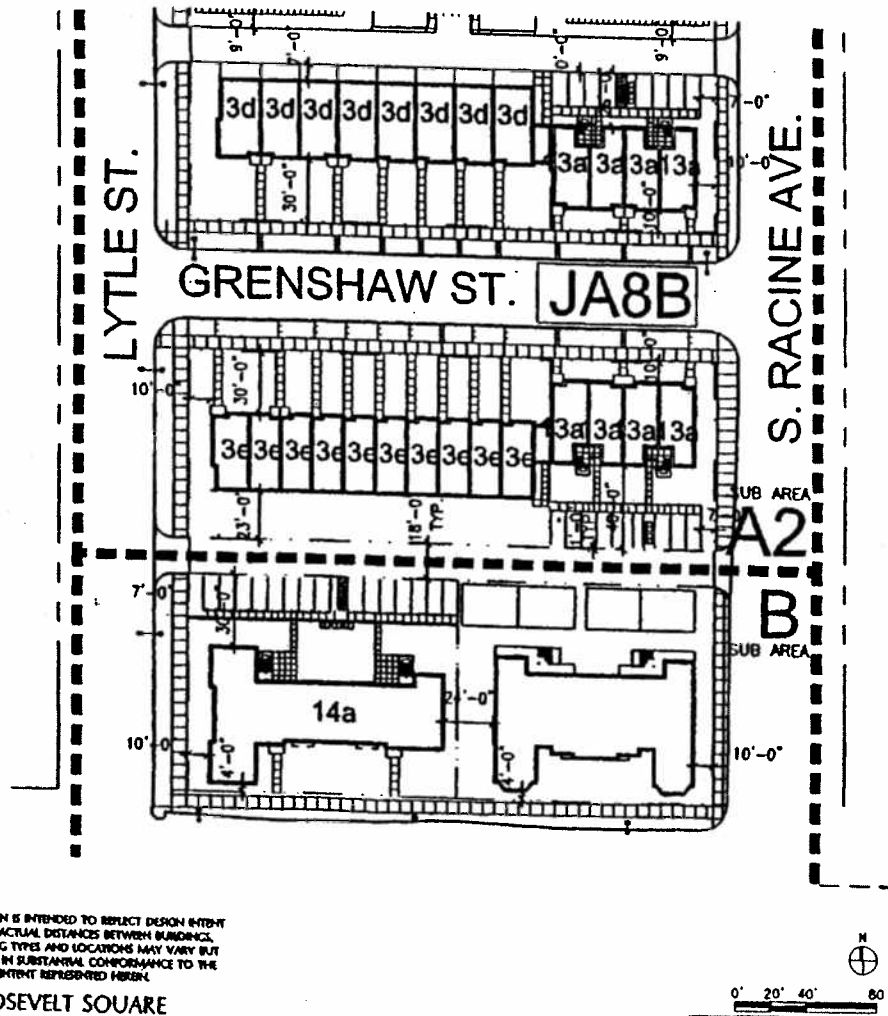


Exhibit 7E.

Phase 1 -- Site Plan -- Block BE5.

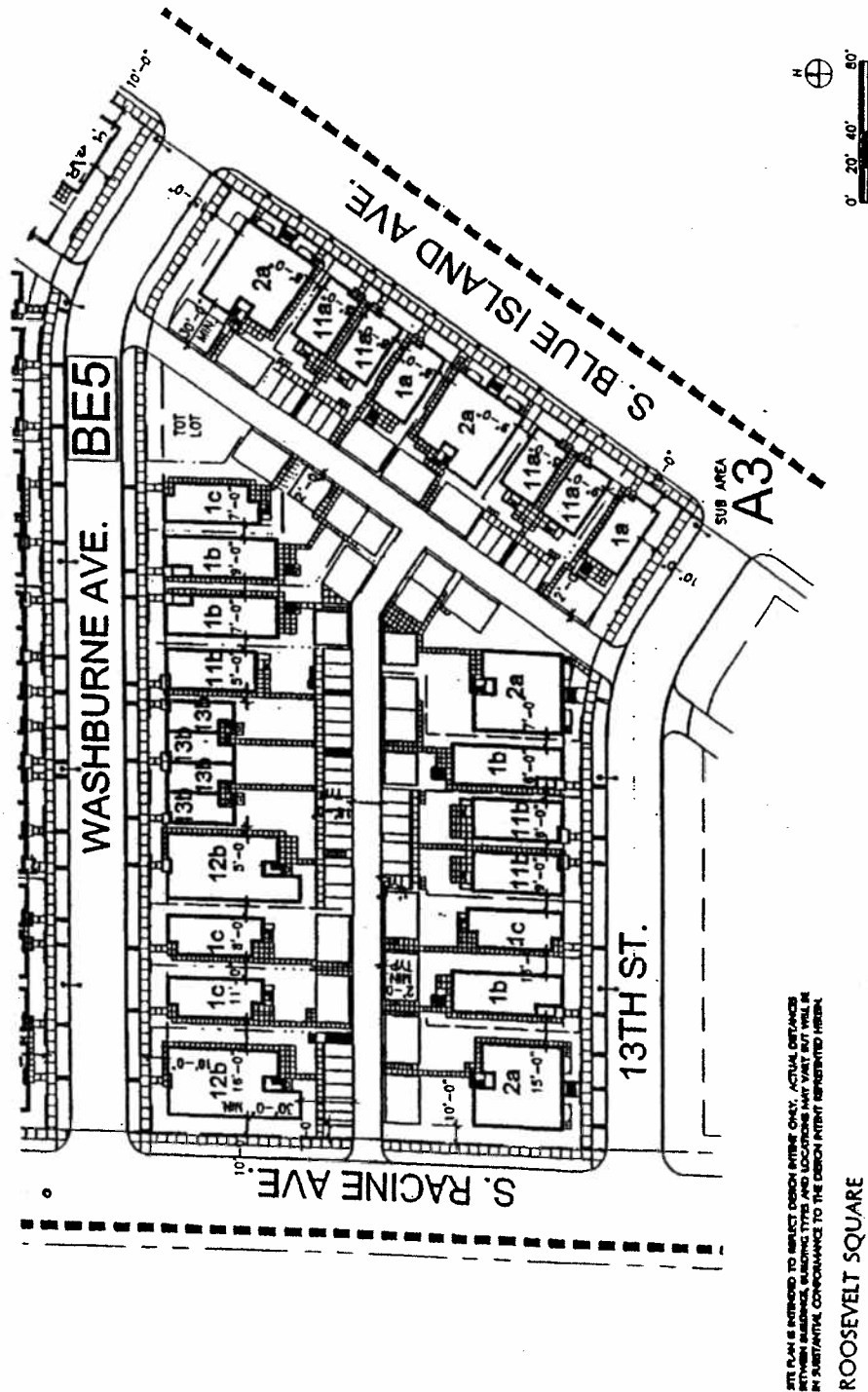


Exhibit 8.

Landscape Plan -- Key Plan.

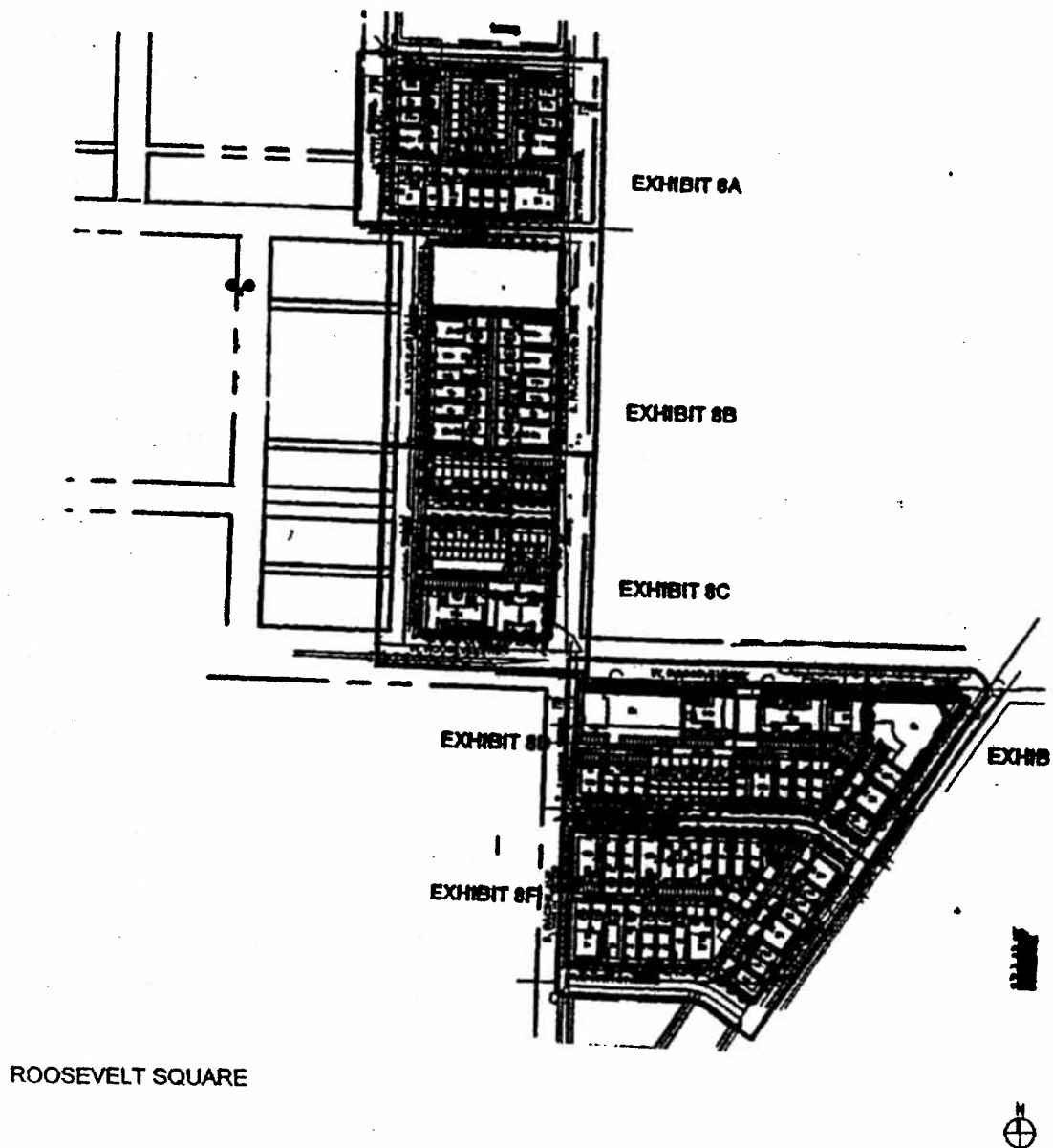


Exhibit 8A.

Landscape Plan.

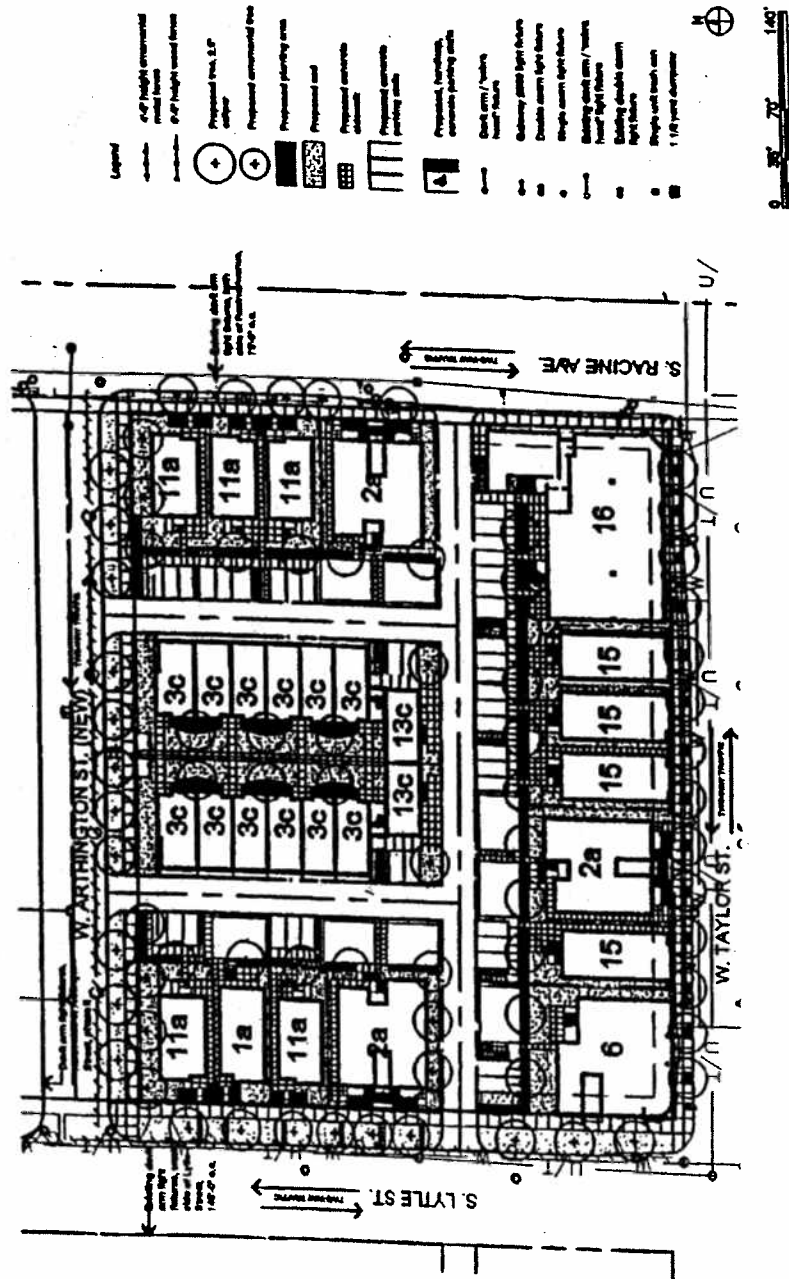


Exhibit 8B.

Landscape Plan.

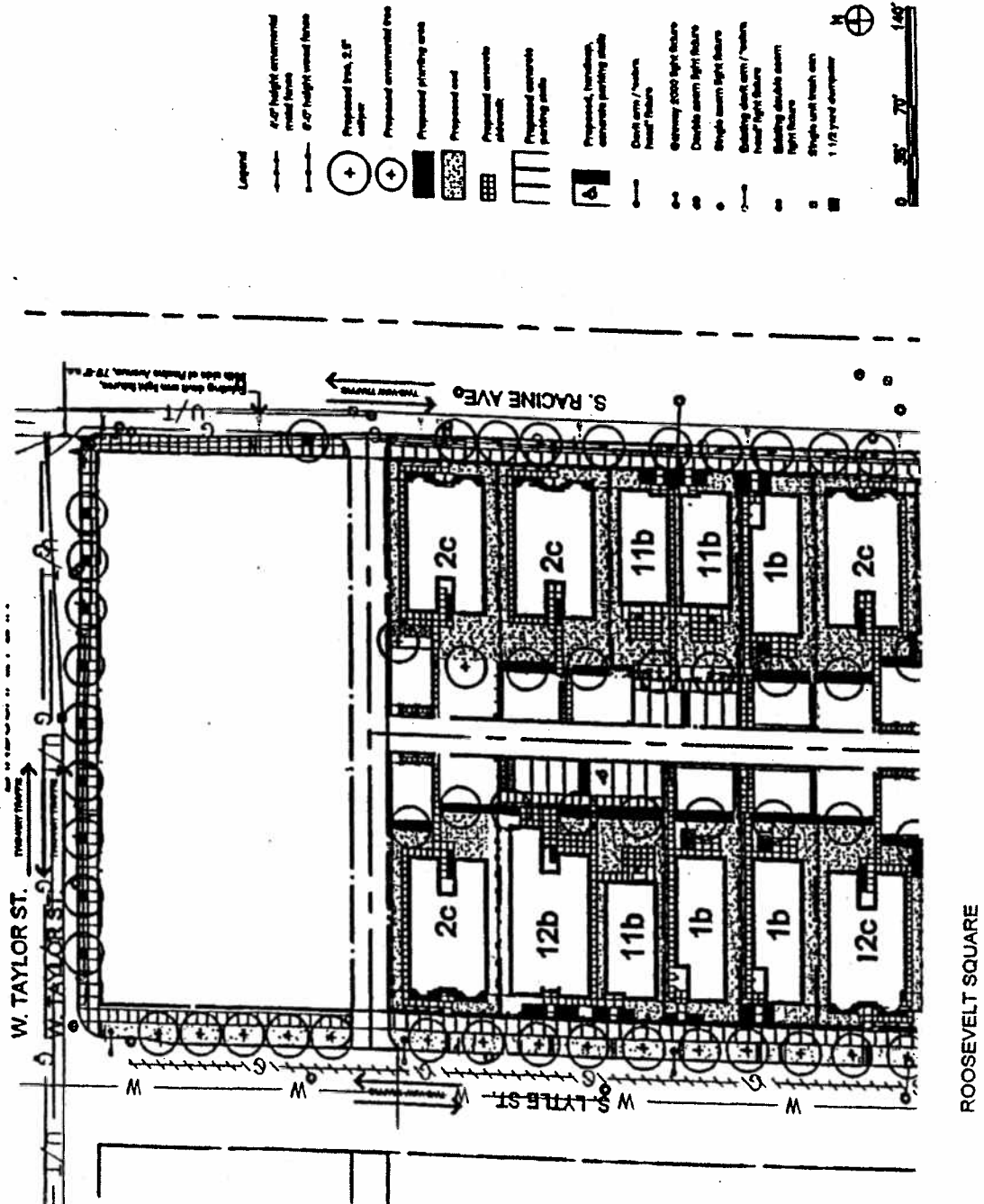


Exhibit 8D.

Landscape Plan.

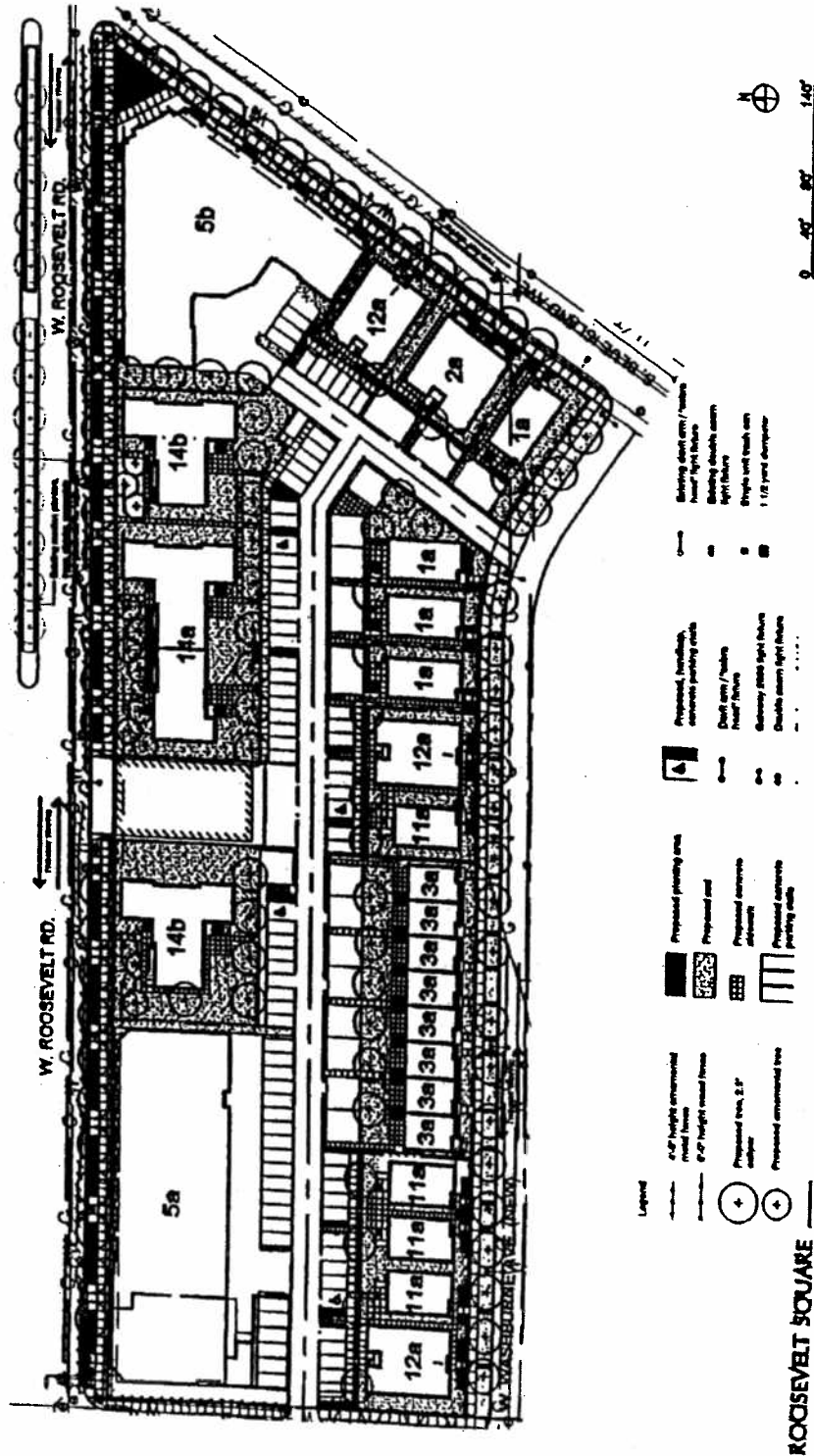


Exhibit 8E.

Landscape Plan.

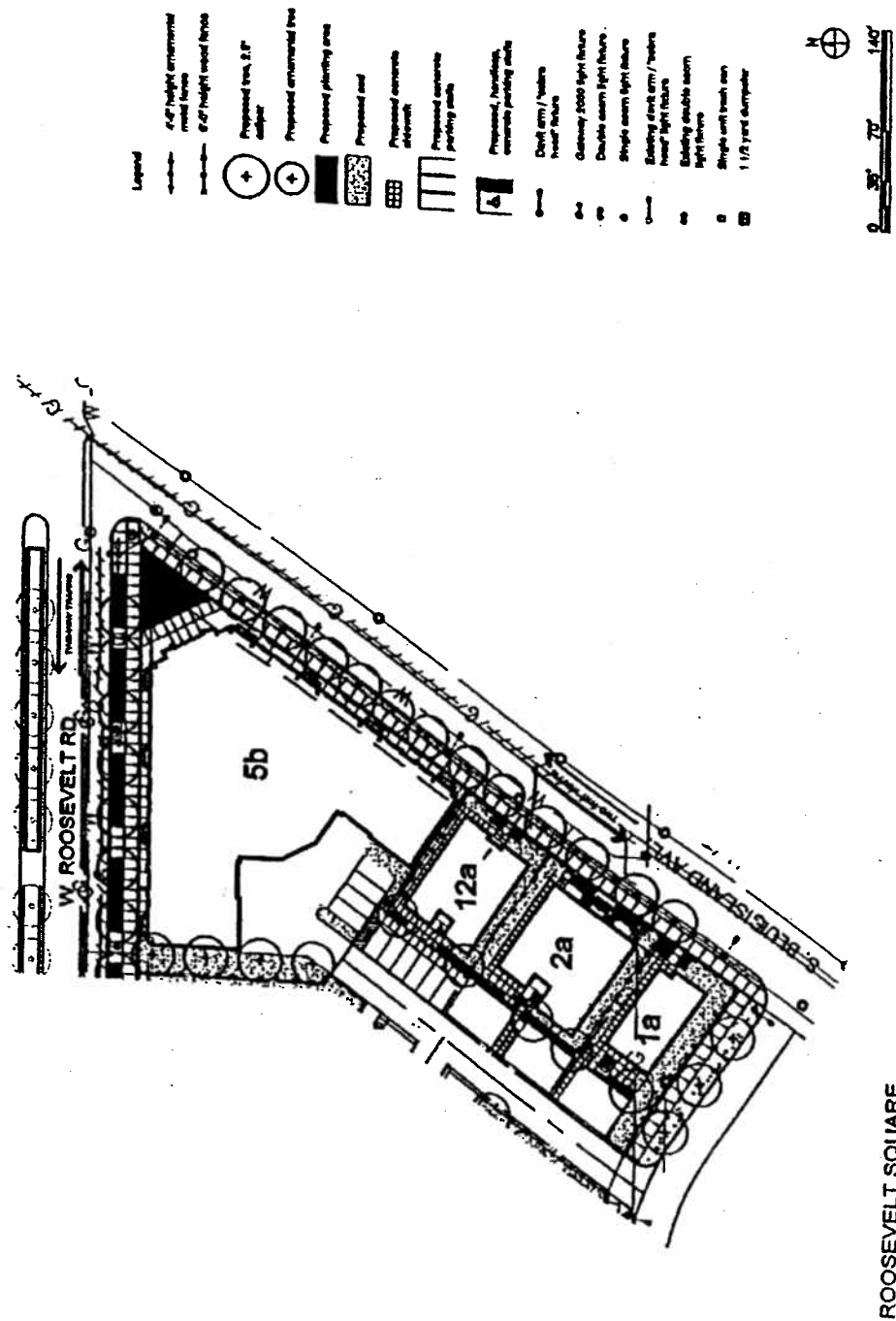
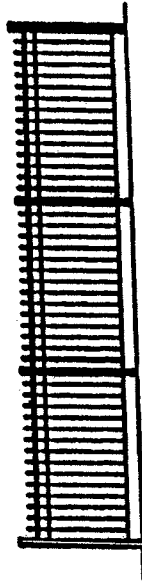
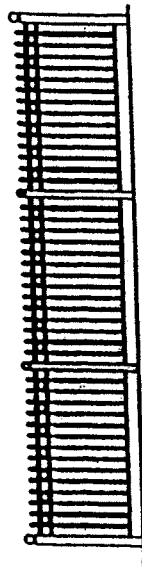


Exhibit 8G.

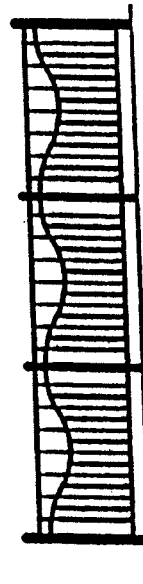
Landscape Plan -- Ornamental Fence Elevations.



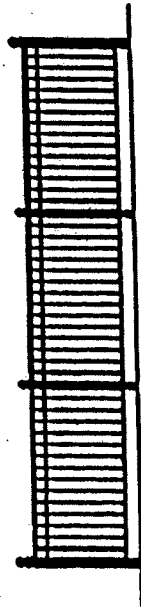
Fence Type A-2
2
NTS



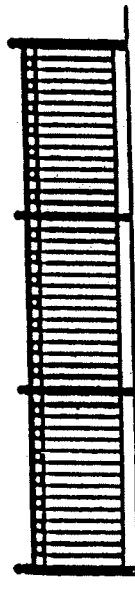
Fence Type B-2
4
NTS



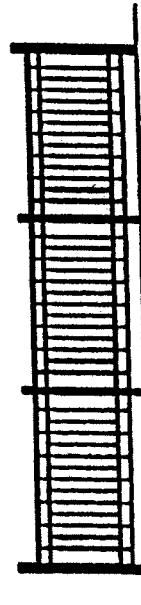
Fence Type C-2
6
NTS



Fence Type A-1
1
NTS



Fence Type B-1
3
NTS

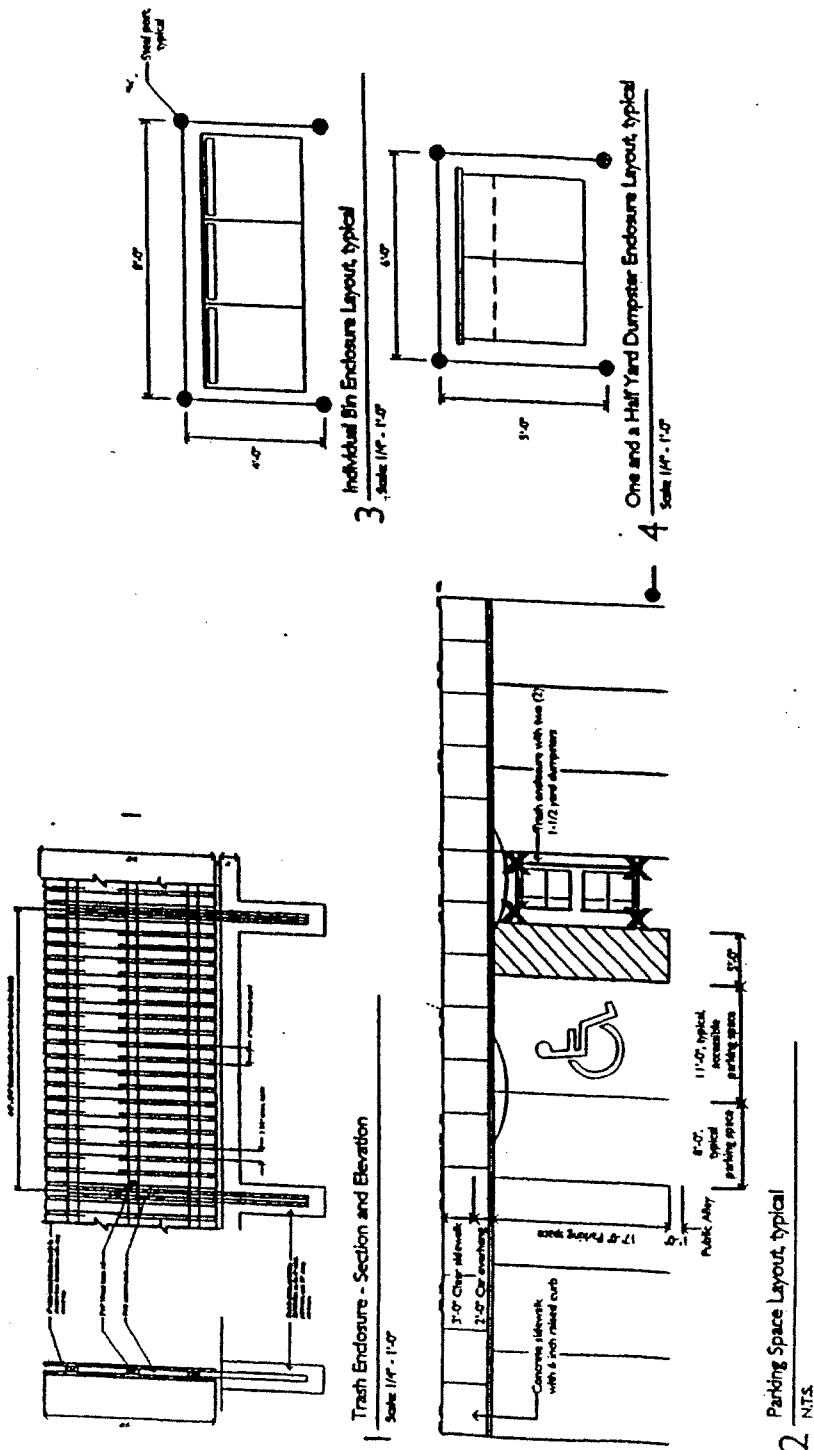


Fence Type C-1
5
NTS

ROOSEVELT SQUARE

Exhibit 8H.

Landscape Plan -- Trash Enclosure Details.



ROOSEVELT SQUARE

Exhibit 9.

Phase 1 -- Illustrative Street Elevations.

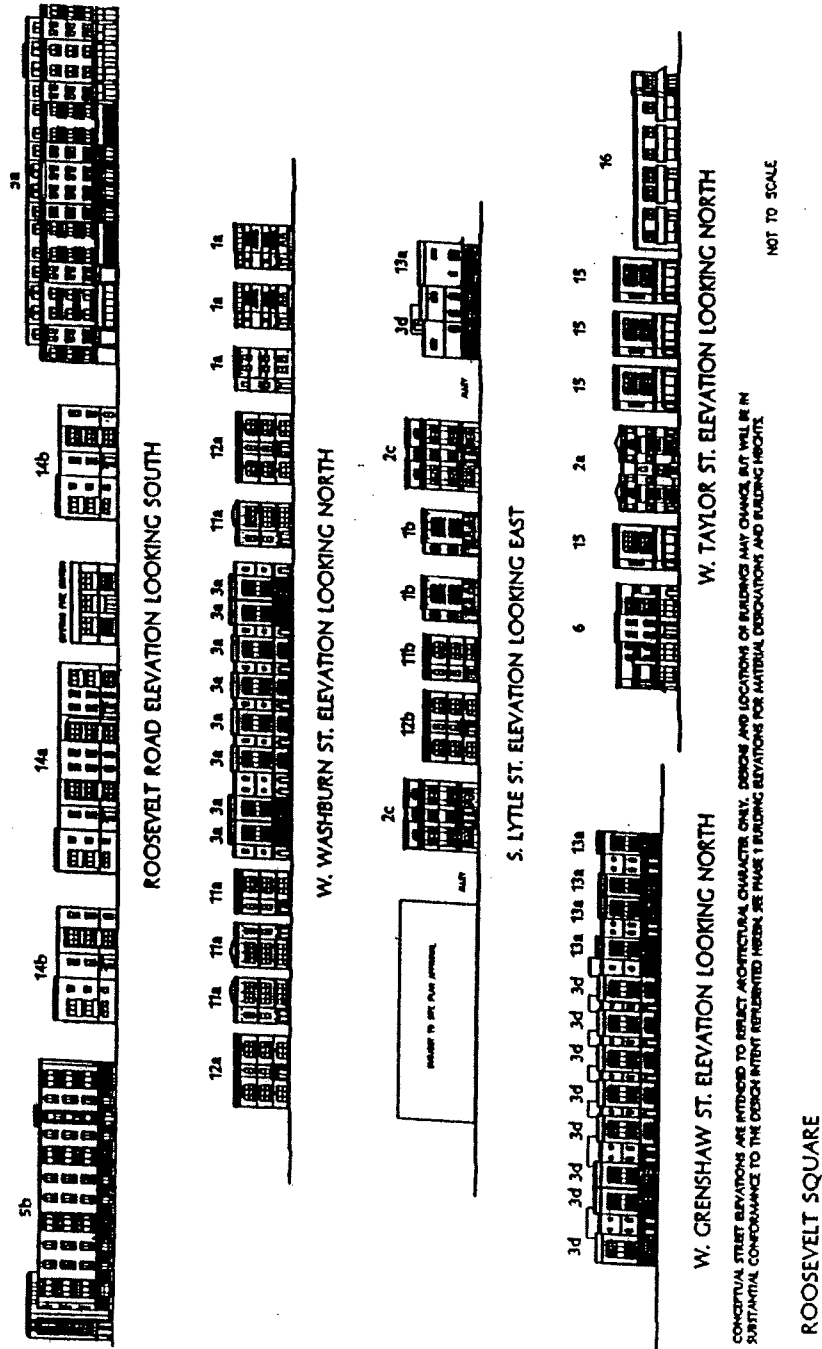
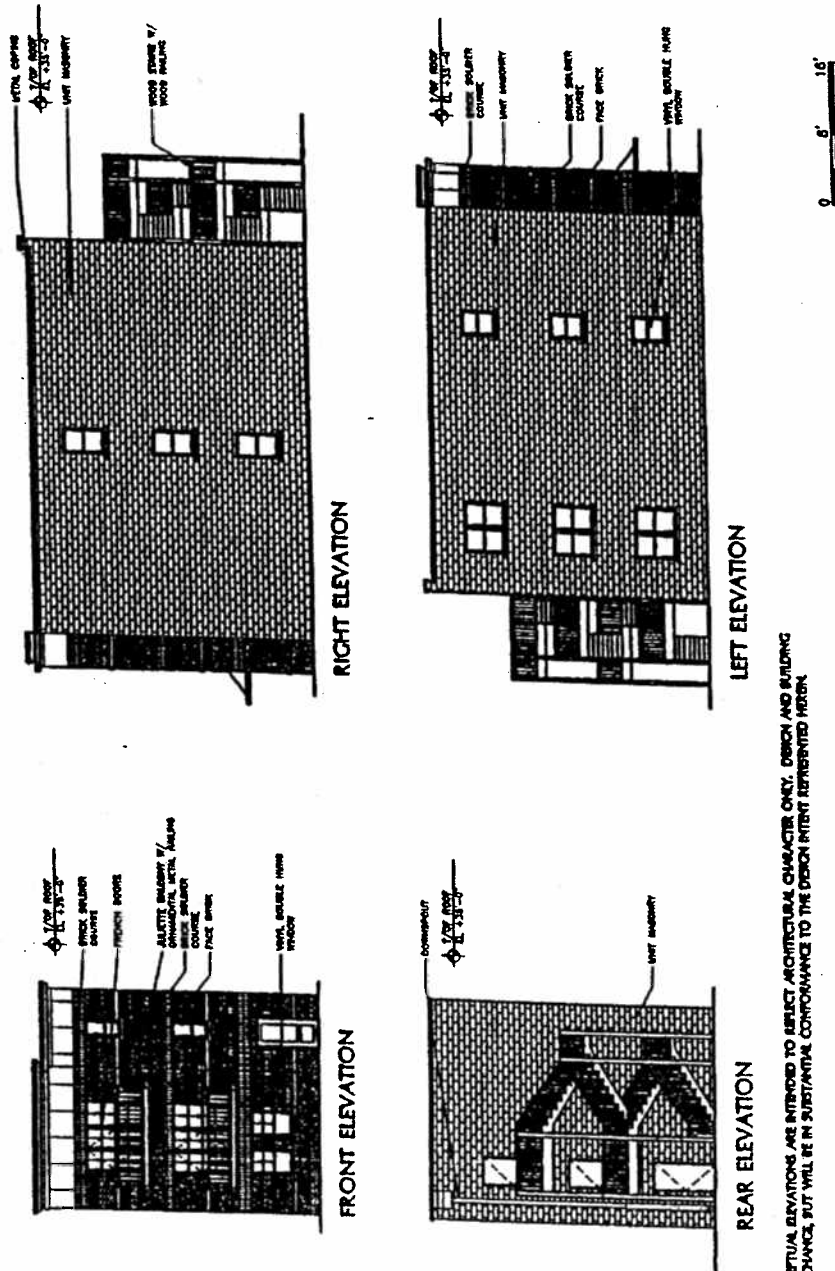


Exhibit 10A.

Phase 1 -- Illustrative Three Flat
Building Elevation -- 1A.

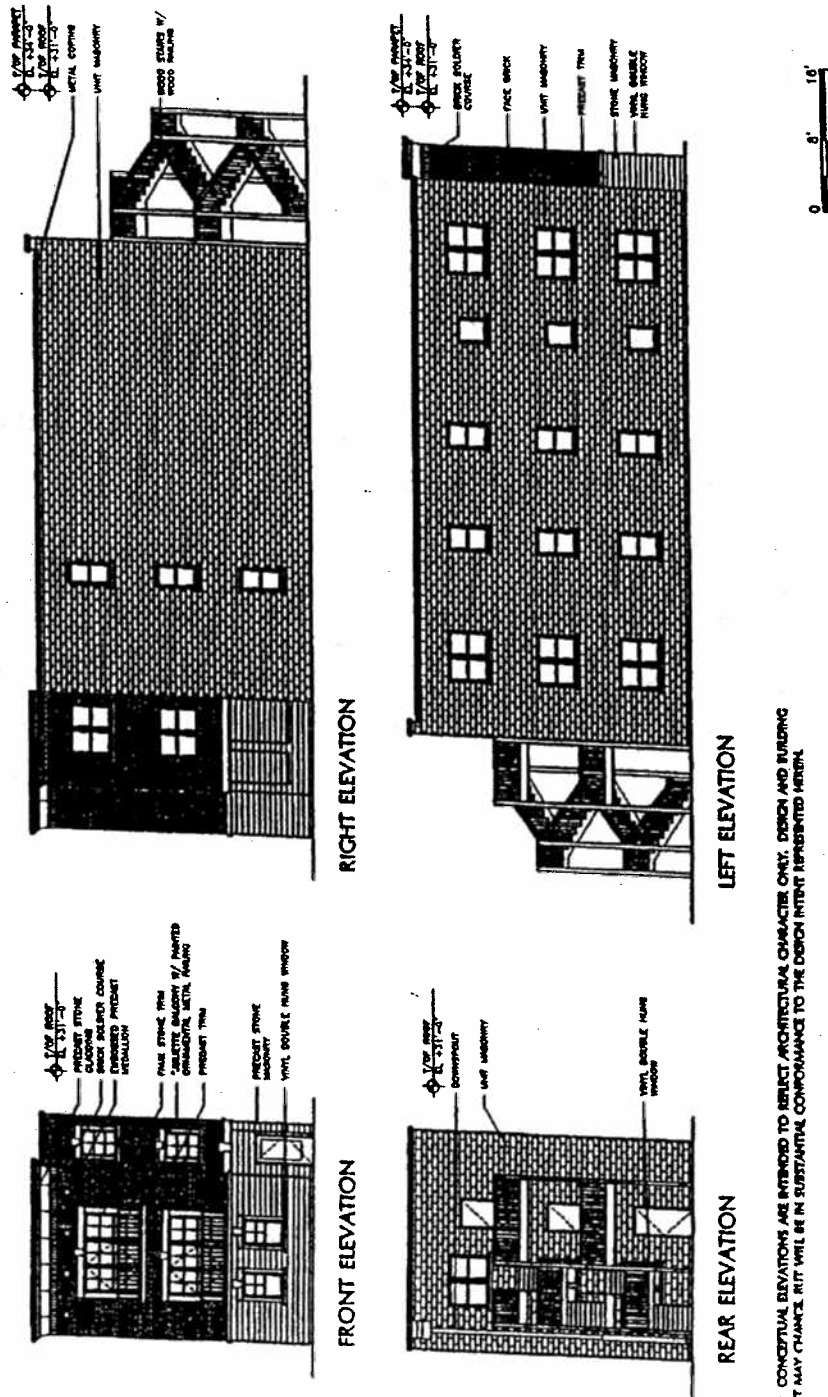


NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING WEIGHT MAY CHANGE. IT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

Exhibit 10B.

Phase 1 -- Illustrative Three Flat
Building Elevation -- 1B.

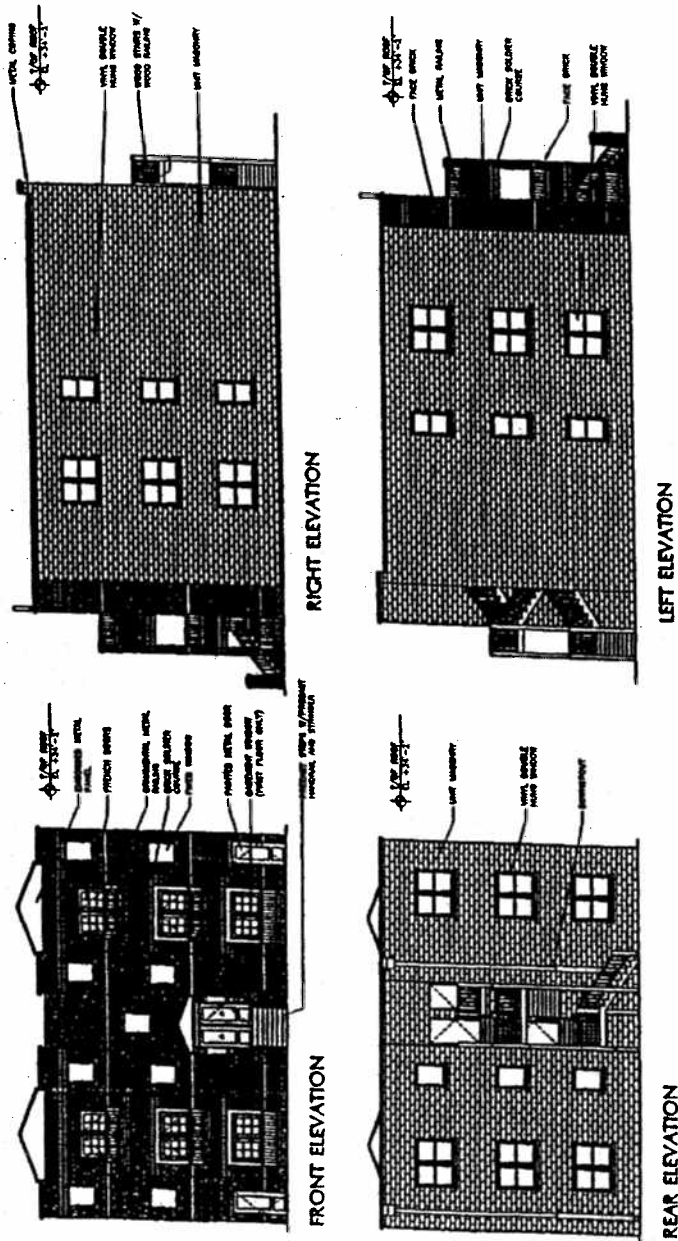


NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING PERMIT MAY CHANGE. RIT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

Exhibit 10D.

Phase 1 -- Illustrative Six Flat
Building Elevation -- 2A.



NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING HEIGHT MAY CHANGE, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

Exhibit 10E.

Phase 1 -- Illustrative Six Flat
Building Elevation -- 2C.

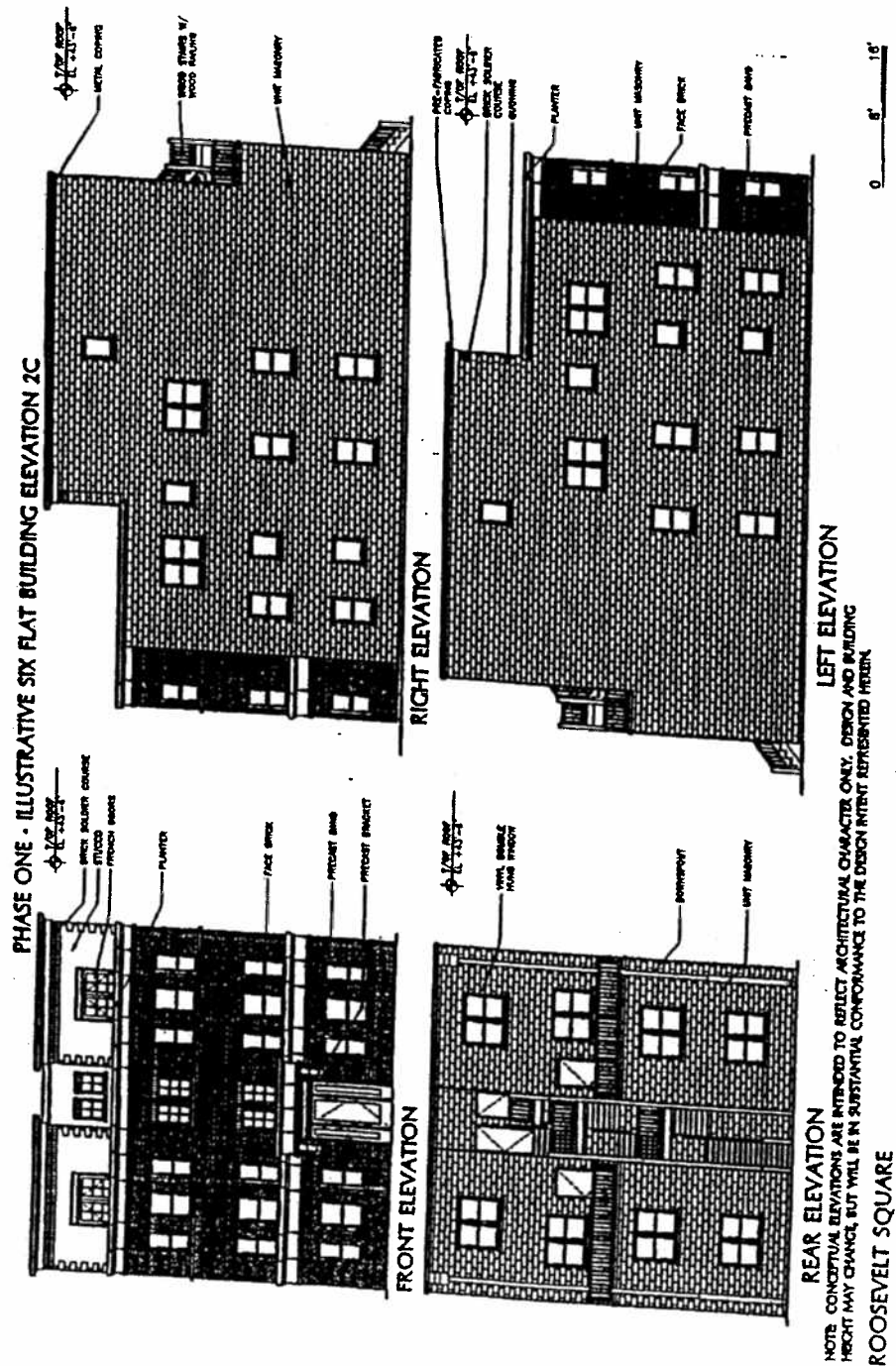
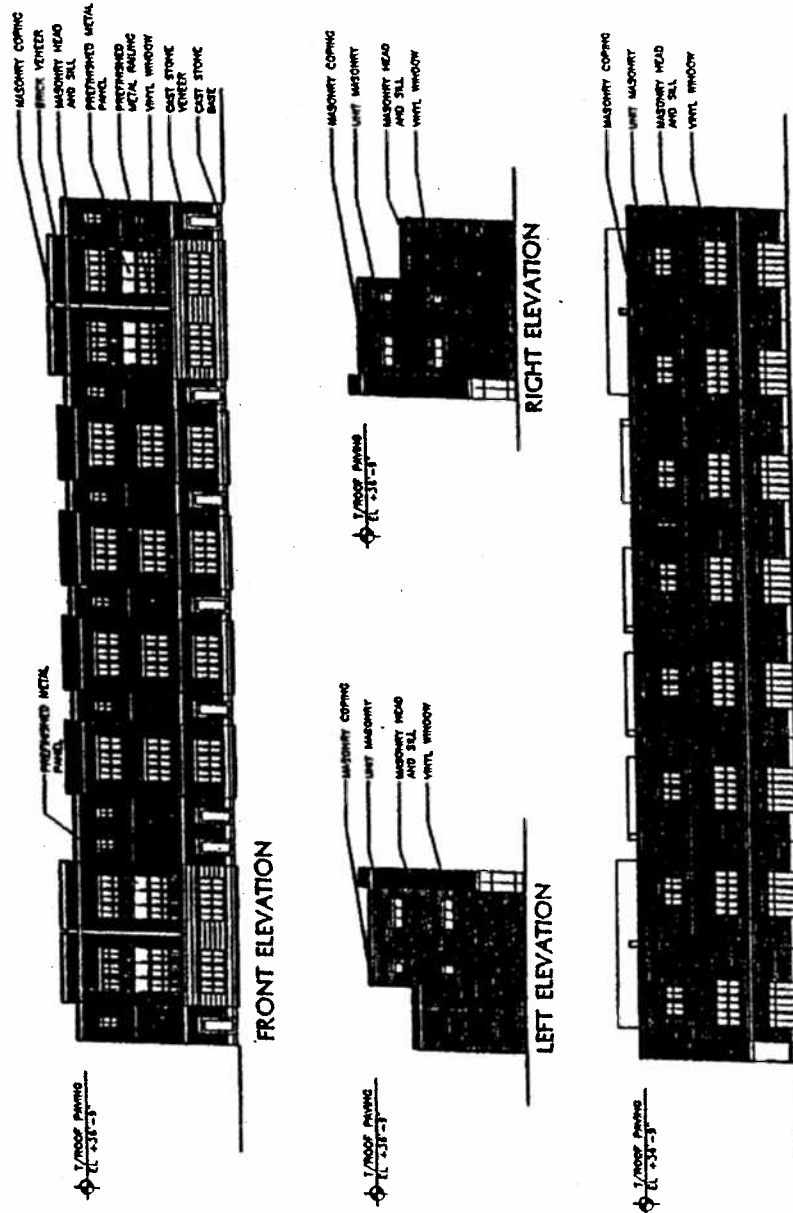


Exhibit 10F.

Phase 1 -- Illustrative Washburne Avenue
Townhome Elevations -- 3A.



REAR ELEVATION

NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING HEIGHT MAY CHANGE, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

Exhibit 10G.

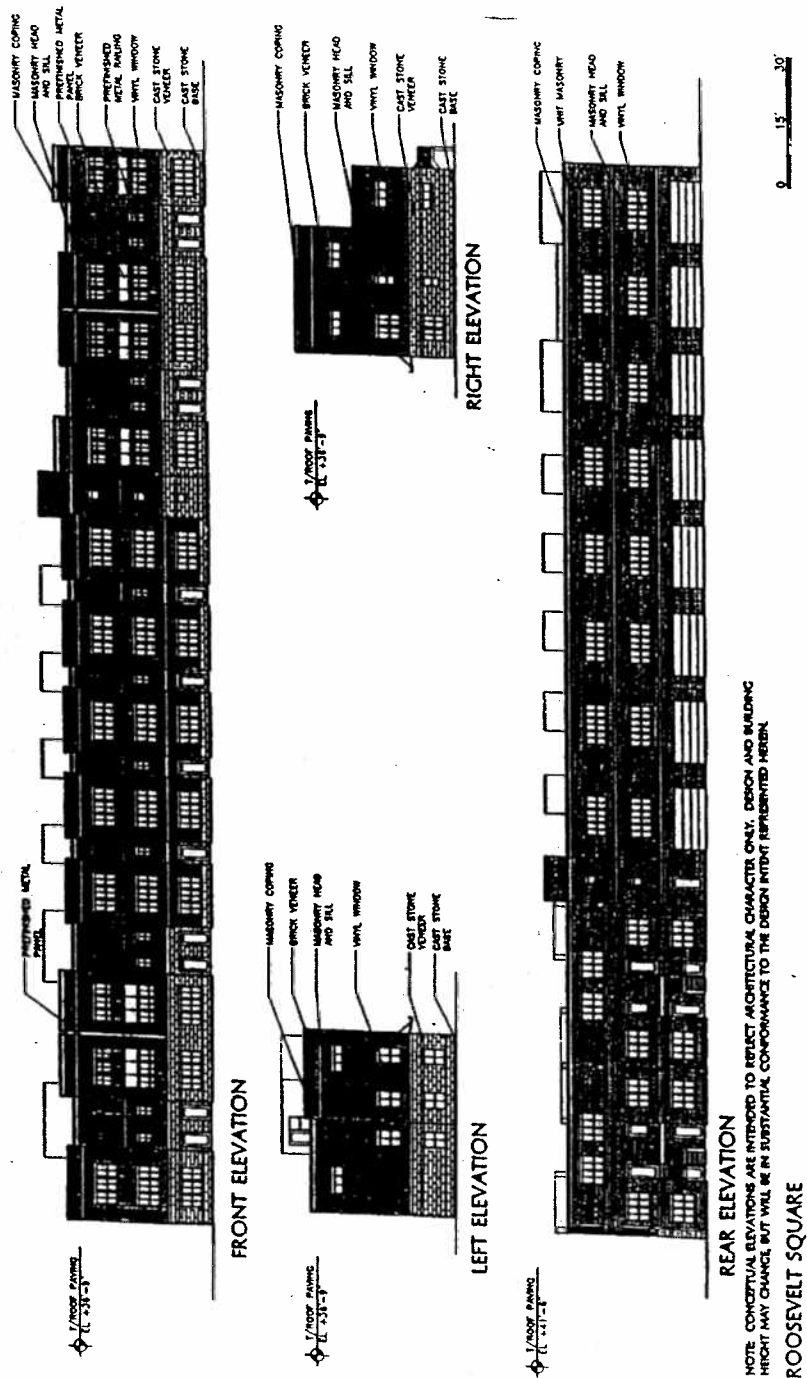
Phase 1 -- Illustrative Grenshaw Street
Townhome Elevations -- 3D And 13A.

Exhibit 10H.

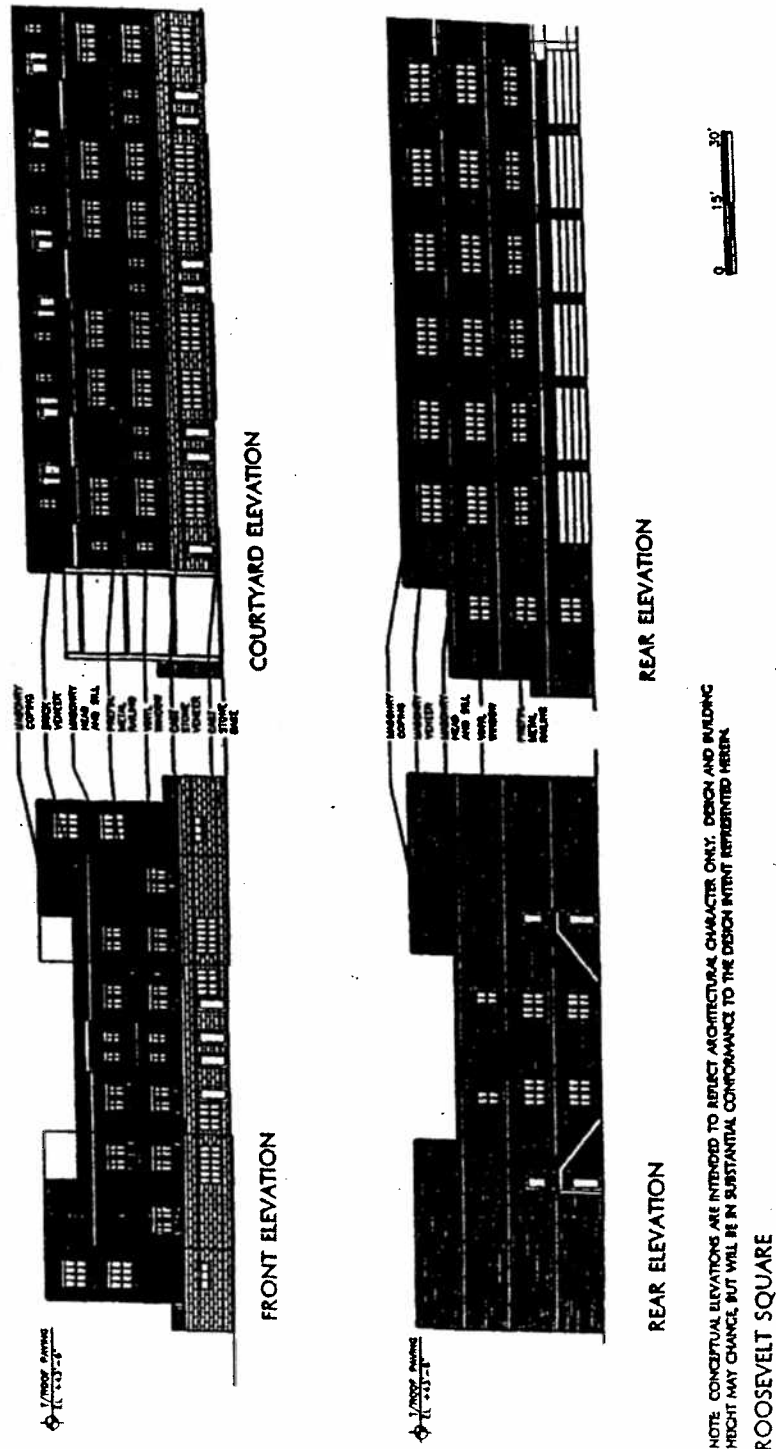
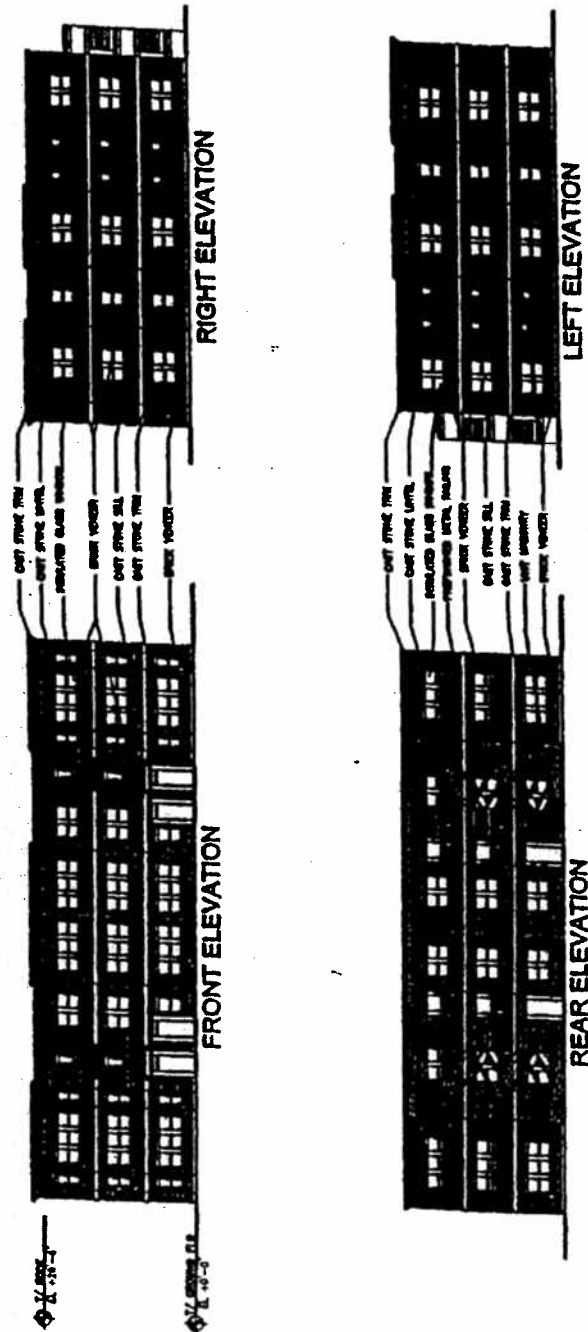
Phase 1 -- Illustrative Arthington Street Townhome
Building Elevations -- 3C And 13C.

Exhibit 10I.

Phase 1 -- Illustrative Courtyard Elevation -- 4.



NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING HEIGHT MAY CHANGE, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

Exhibit 10J.

Phase 1 -- Roosevelt Homeownership Corridor
Building Illustrative Elevation -- 5A.
(Page 1 of 4)

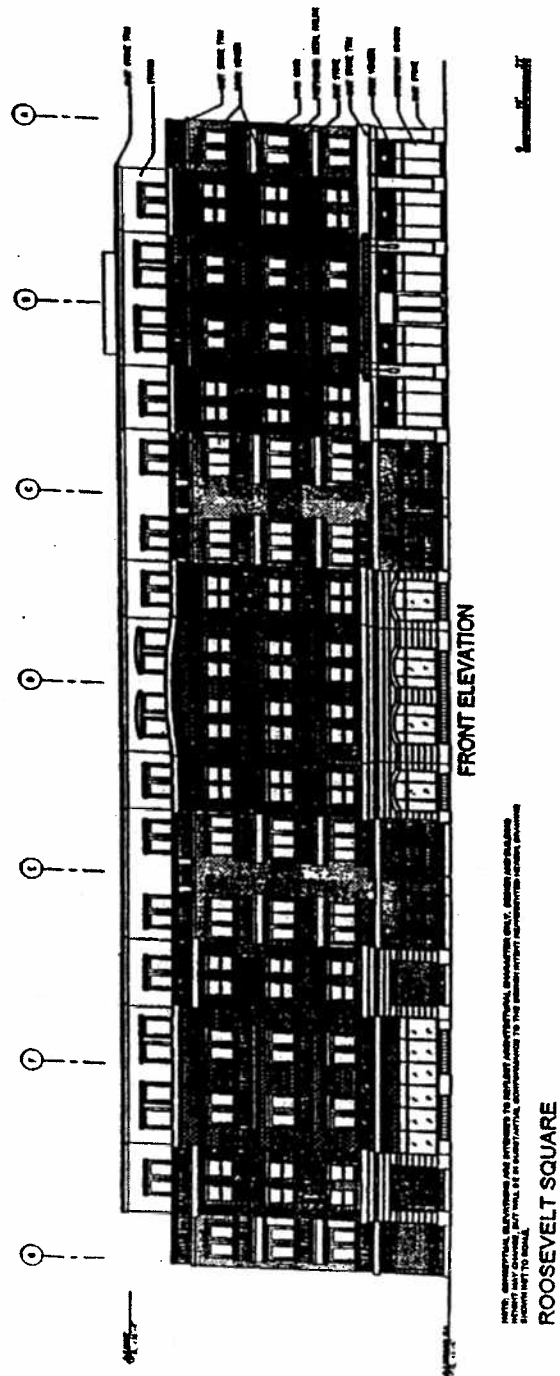


Exhibit 10J.

Phase 1 -- Roosevelt Homeownership Corridor
 Building Illustrative Elevation -- 5A.
 (Page 2 of 4)

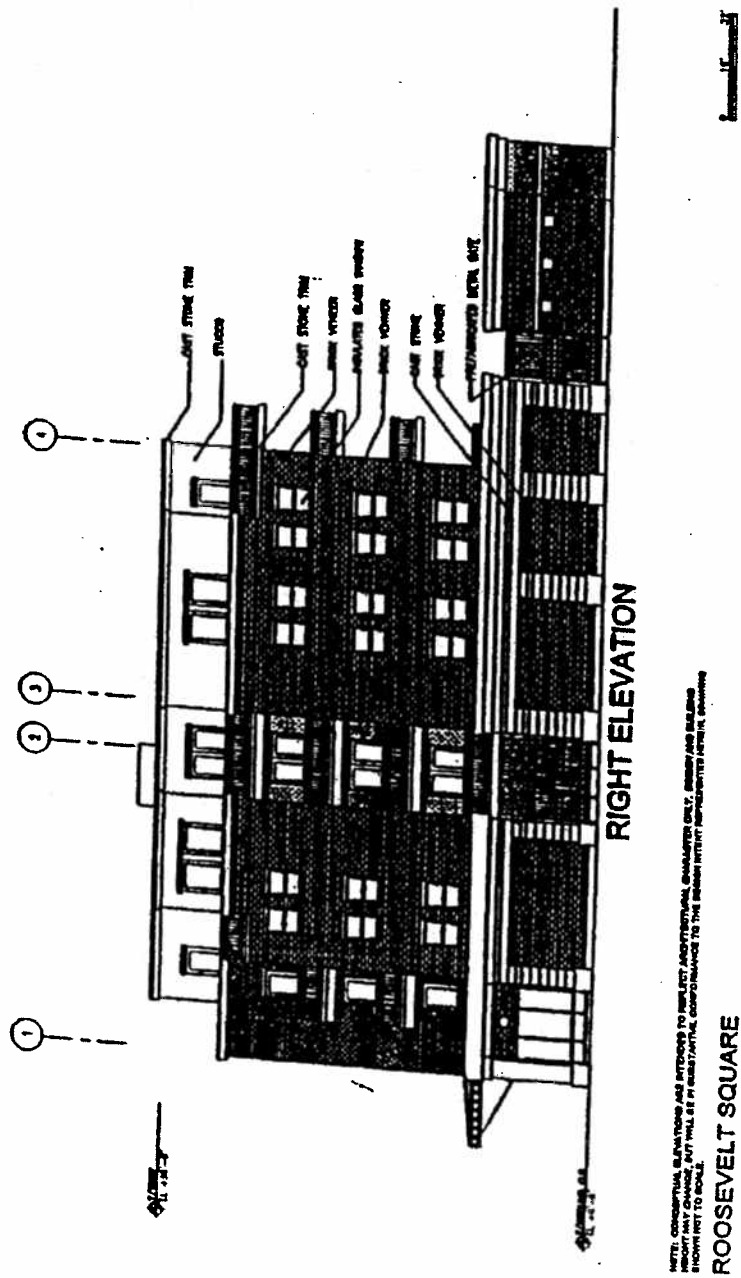


Exhibit 10J.

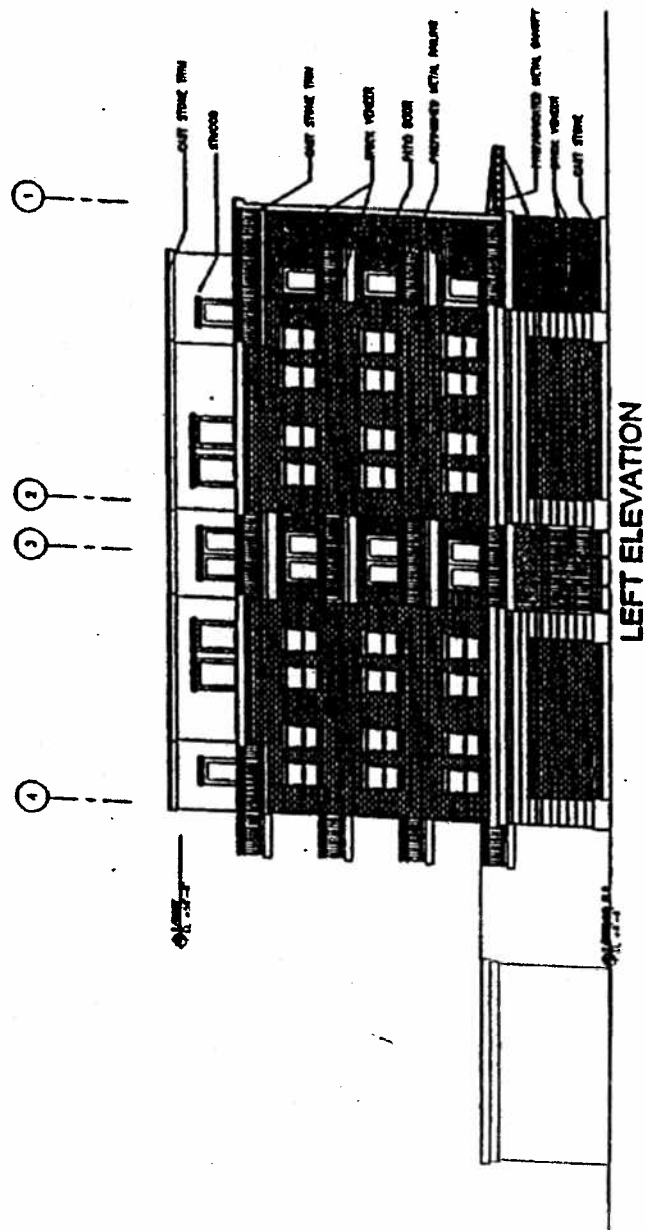
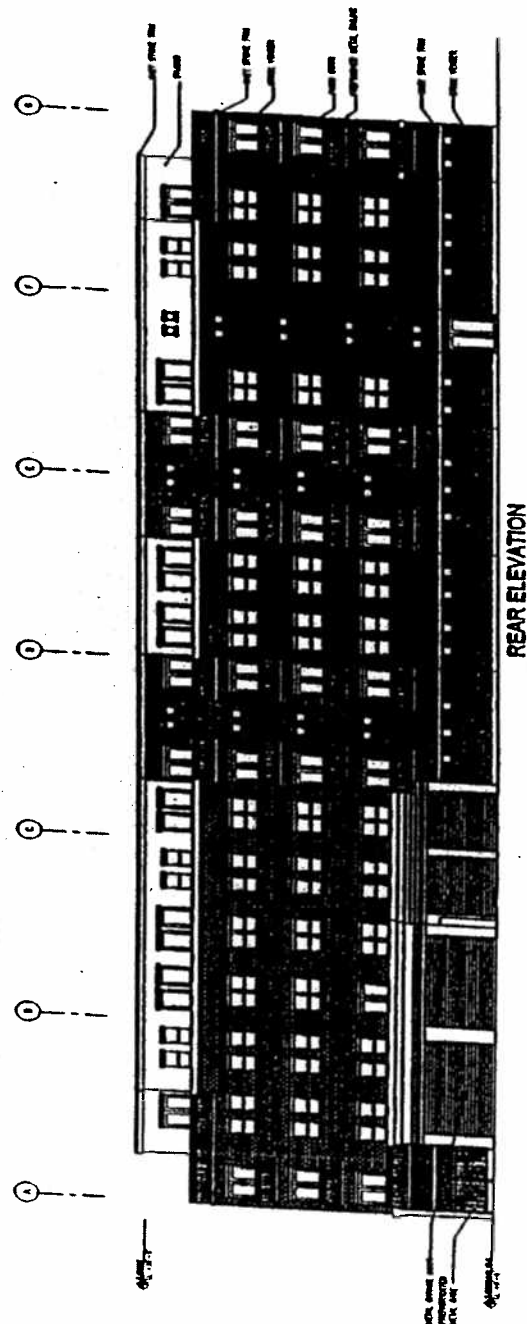
Phase 1 -- Roosevelt Homeownership Corridor
Building Illustrative Elevation -- 5A.
(Page 3 of 4)

Exhibit 10J.

Phase 1 -- Roosevelt Homeownership Corridor
 Building Illustrative Elevation -- 5A.
 (Page 4 of 4)



NOTE: CONCEPTUAL ELEVATIONS AND INTENDED TO ILLUSTRATE APPEARANCE ONLY. OWNER AND ARCHITECT
 RESERVE THE RIGHT TO MAKE ANY CHANGES, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN. DIMENSIONS
 ARE NOT TO SCALE.

ROOSEVELT SQUARE

Exhibit 10K.

Phase 1 -- Illustrative Roosevelt/Blue
Island Elevations -- 5B.

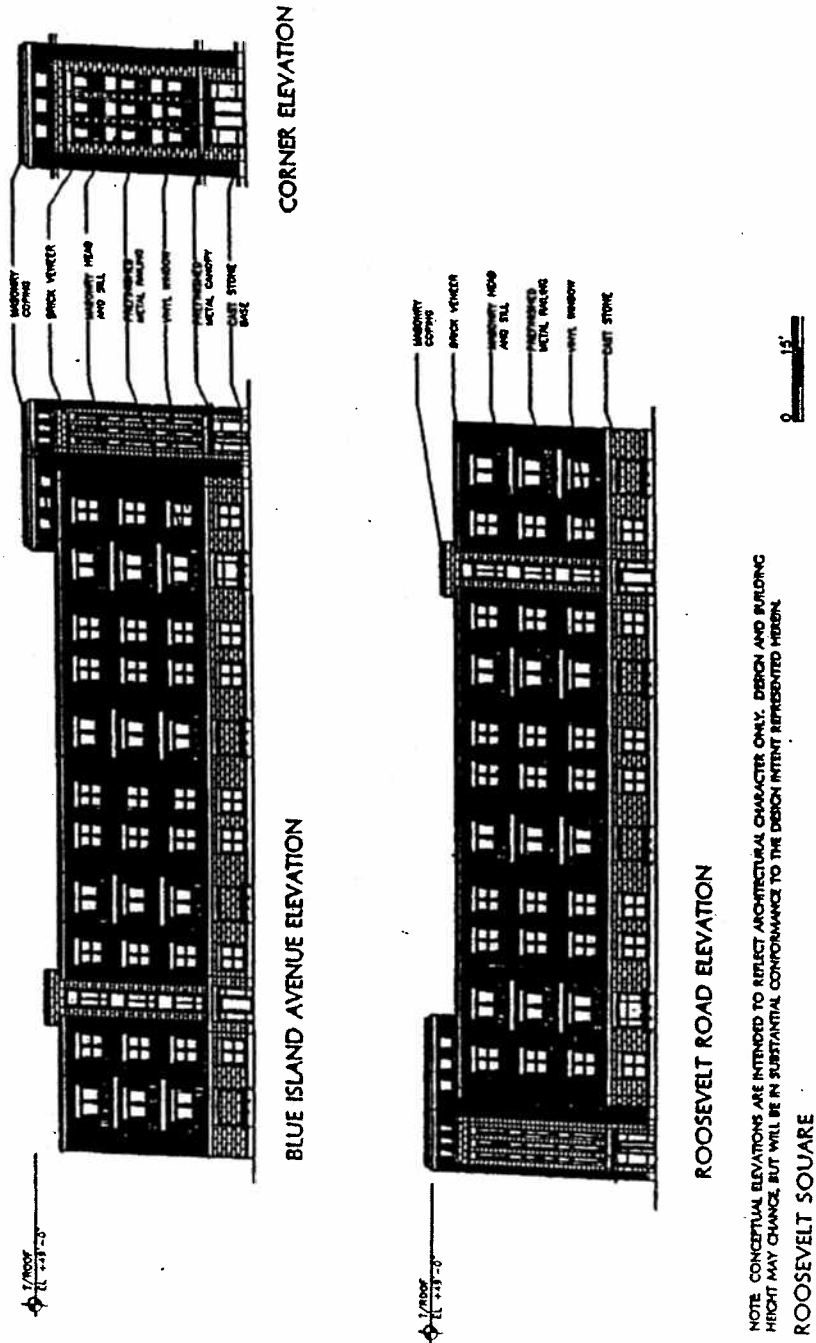
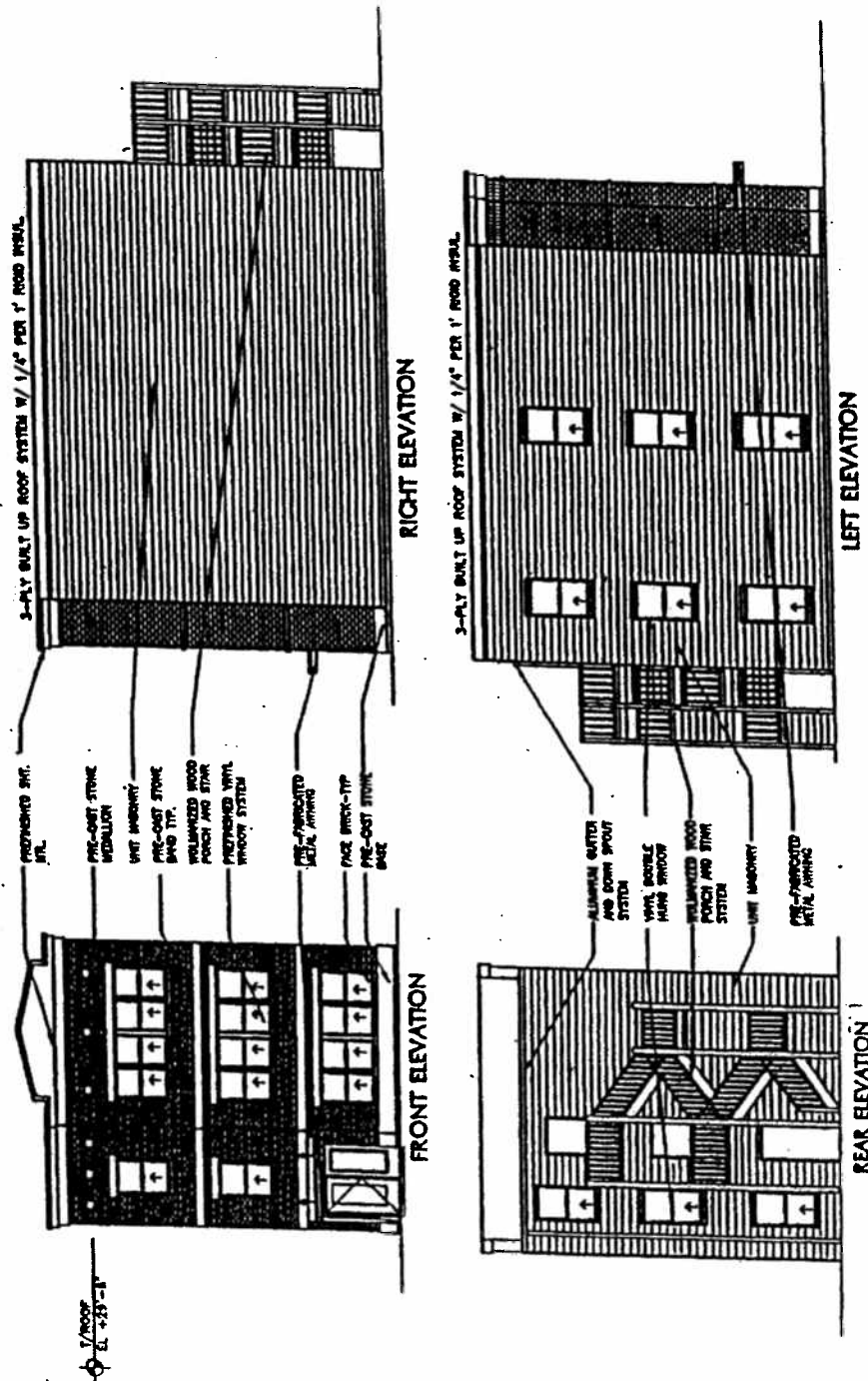


Exhibit 10M.

Phase 1 -- Illustrative Three Flat Elevations -- 11A.



NOTE: CONSTRUCTION ELEVATIONS ARE INTENDED TO INDICATE APPEARANCE ONLY. BRICK AND SIDING FROM ANY SOURCE, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT INDICATED HEREIN.

ROCKEFELLER SQUARE

Exhibit 10N.

Phase 1 -- Illustrative Three Flat Elevations -- 11B.

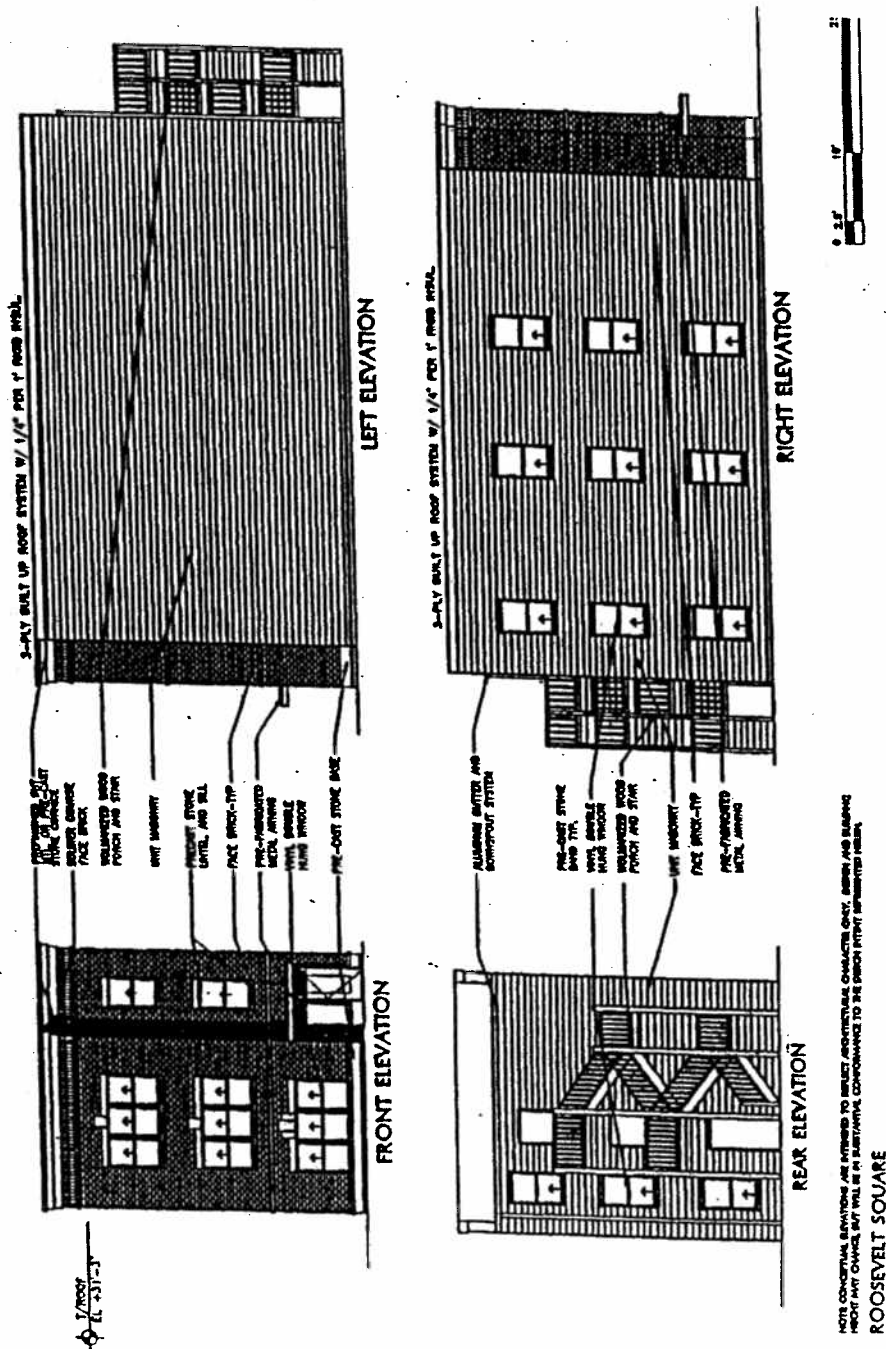


Exhibit 10Q.

Phase 1 -- Illustrative Six Flat Elevations -- 12B.

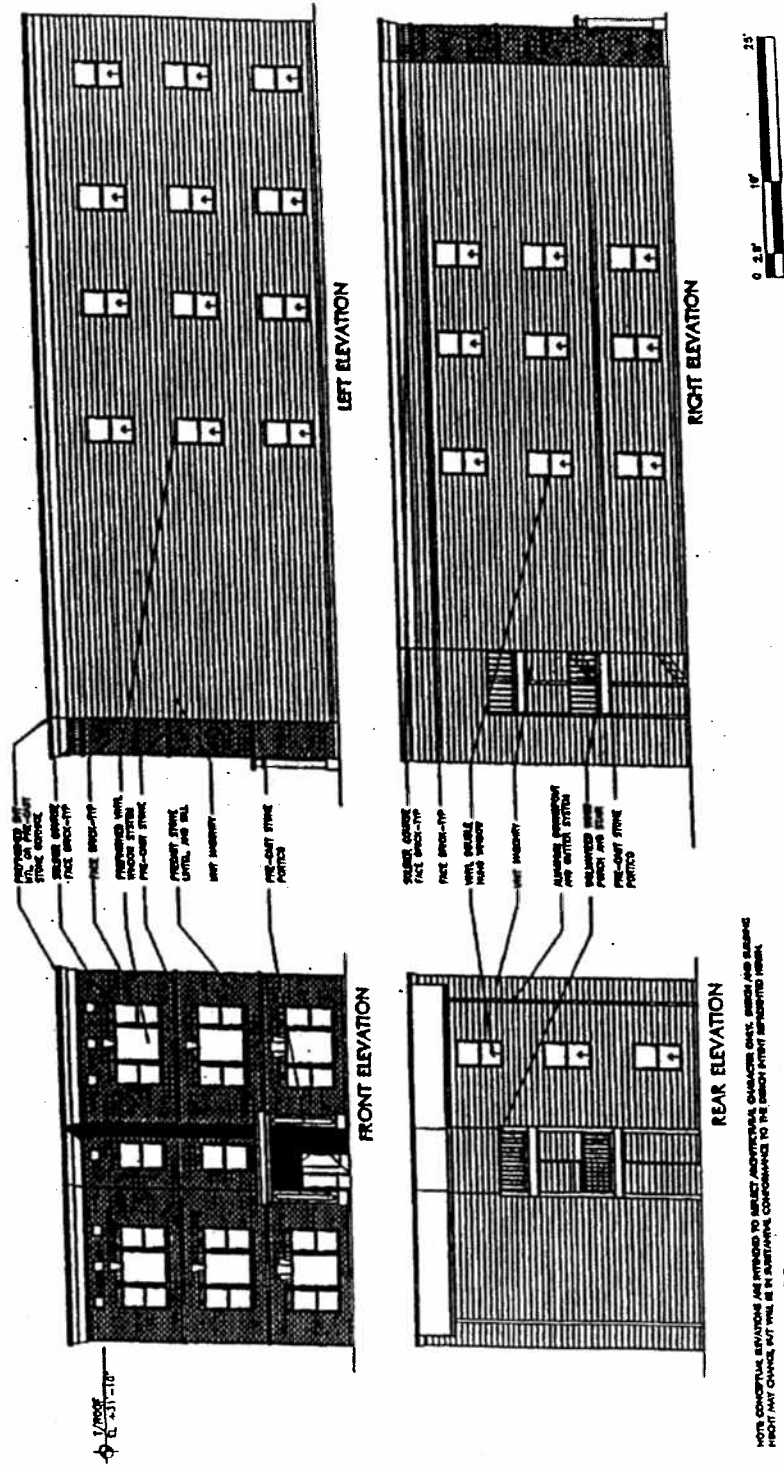


Exhibit 10R.

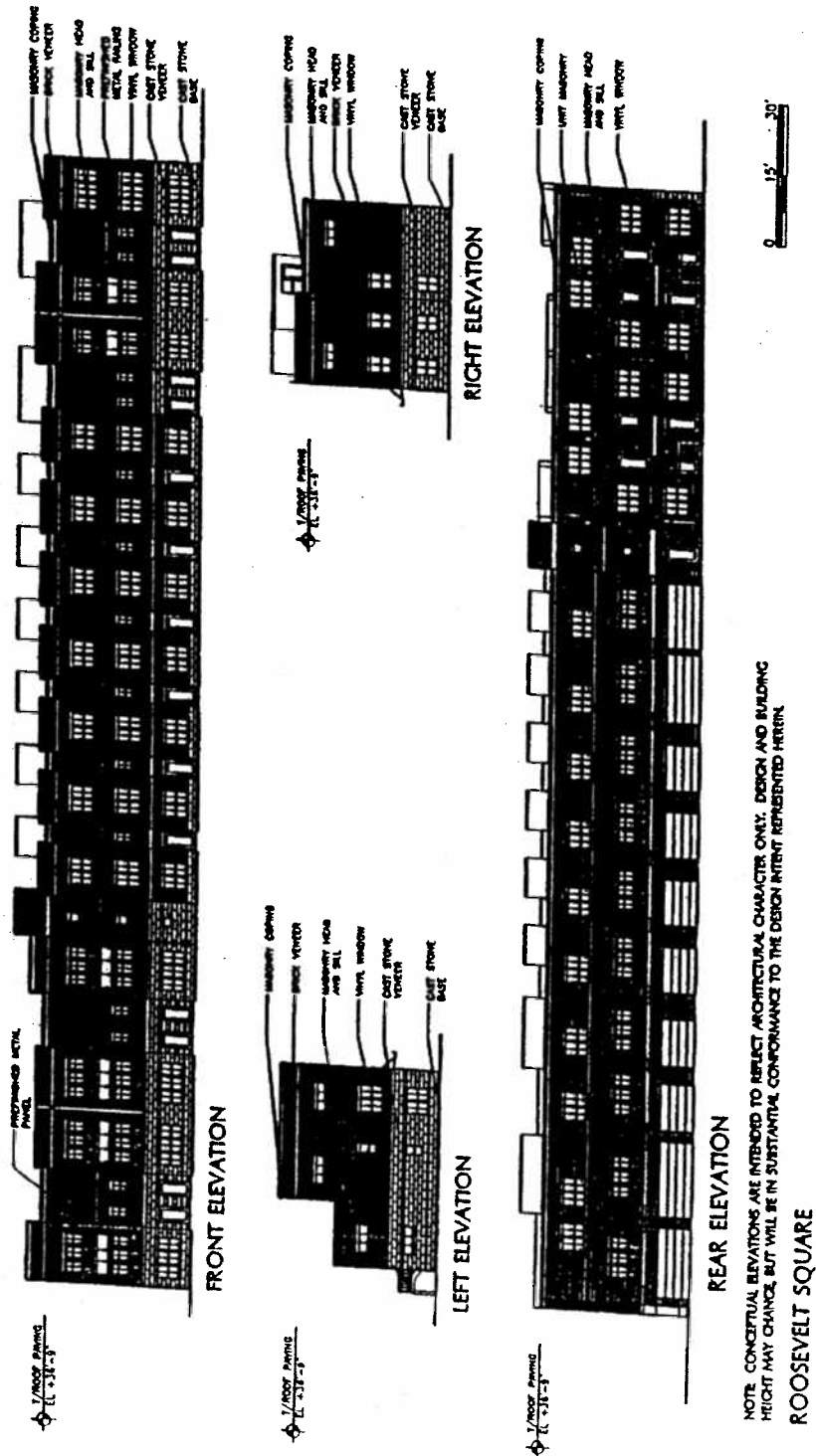
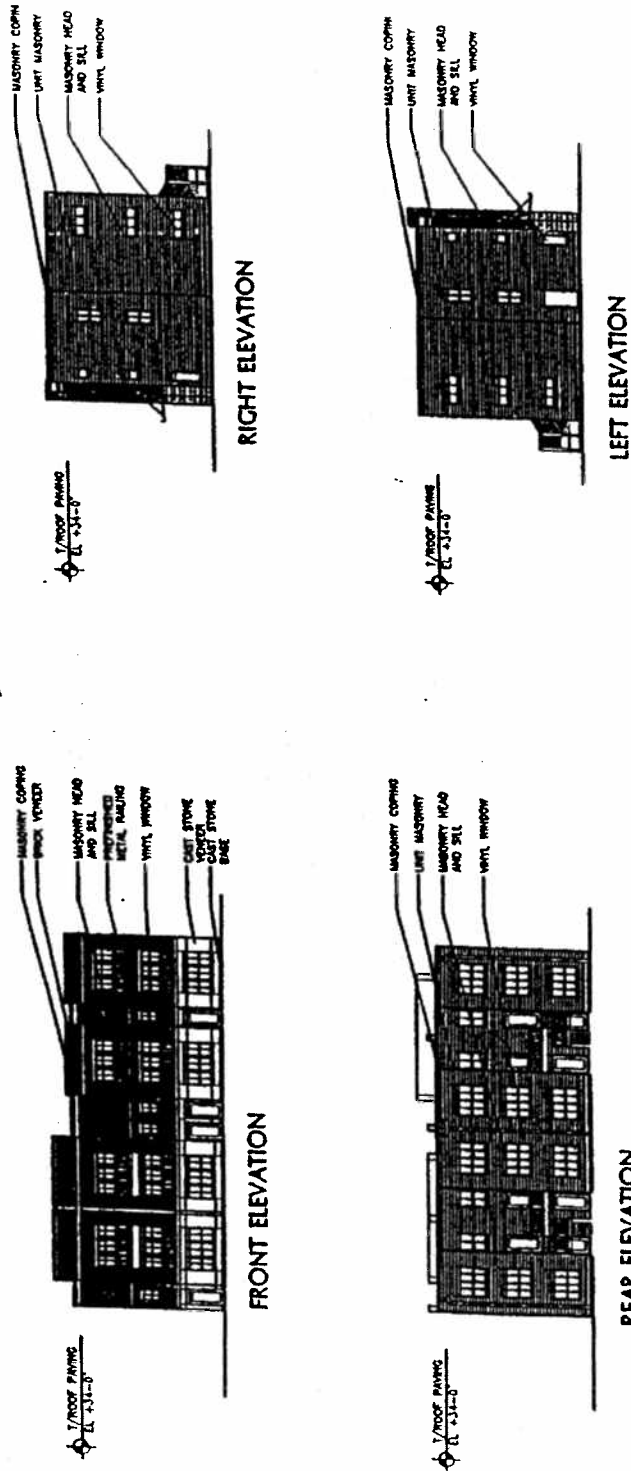
Phase 1 -- Illustrative Grenshaw Street
Townhome Elevations -- 3E And 13A.

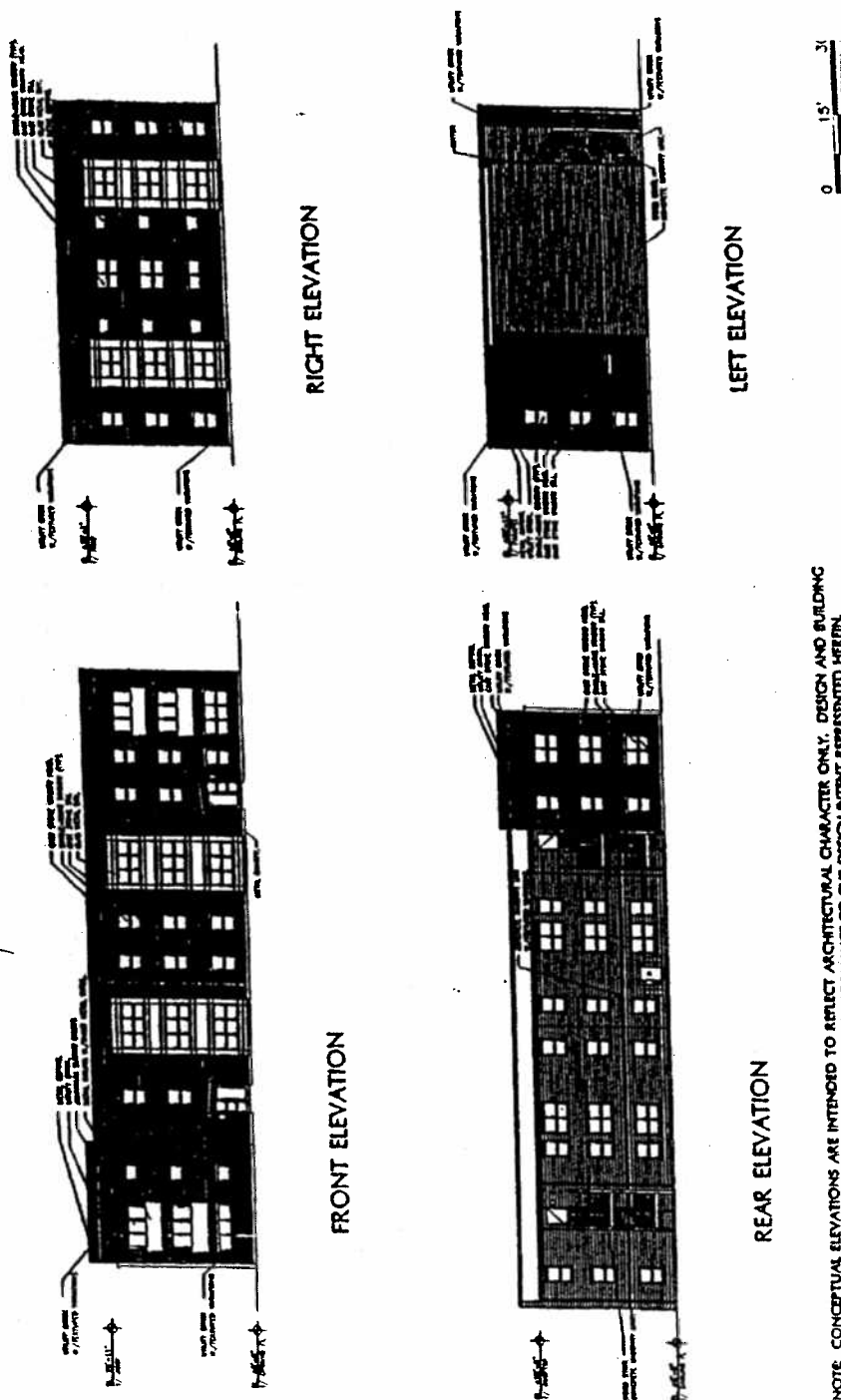
Exhibit 10S.

Phase 1 -- Illustrative Washburne Avenue
Townhome Elevations -- 13B.

NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING HEIGHT MAY CHANGE, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

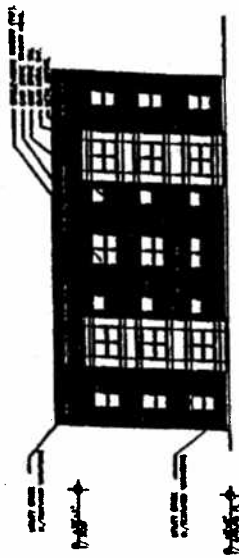
Exhibit 10T.

Phase 1 -- Illustrative Roosevelt Courtyard
Building Elevations -- 14A.

NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING HEIGHT MAY CHANGE, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

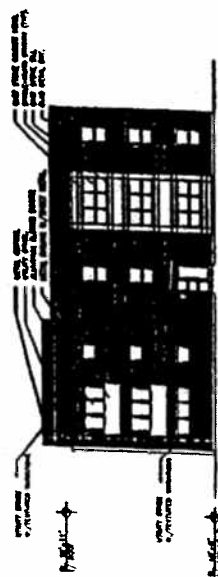
Exhibit 10U.

Phase 1 -- Illustrative Roosevelt Courtyard
Building Elevations -- 14B.

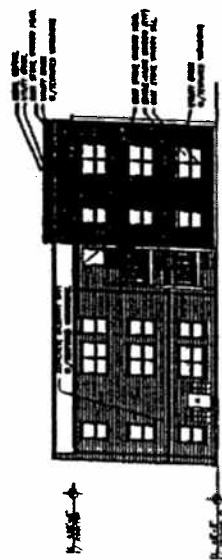
RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION

NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING HEIGHT MAY CHANGE BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

Exhibit 10V.

Phase 1 -- Illustrative Three Flat Elevations -- 15.

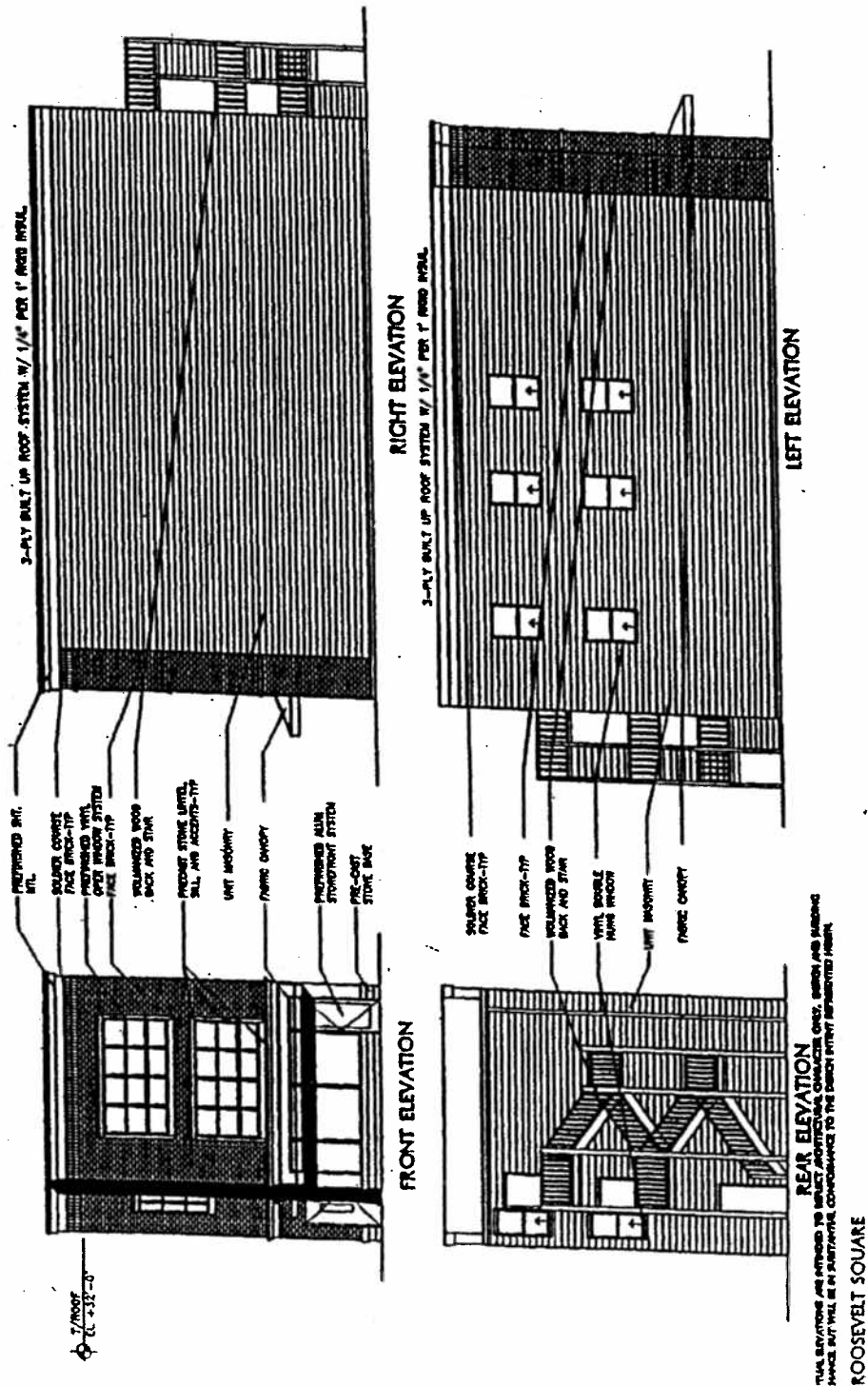
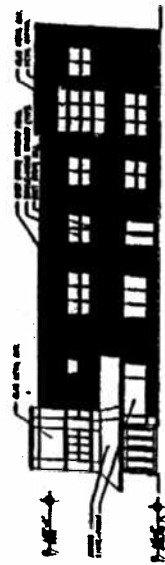


Exhibit 10W.

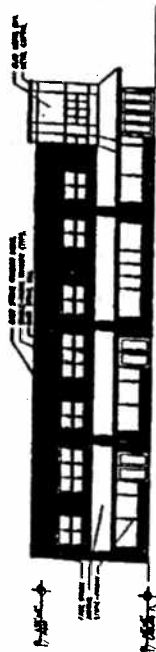
Phase 1 -- Illustrative Taylor Mixed-Use
Building Elevations -- 16.



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION

NOTE: CONCEPTUAL ELEVATIONS ARE INTENDED TO REFLECT ARCHITECTURAL CHARACTER ONLY. DESIGN AND BUILDING HEIGHT MAY CHANGE, BUT WILL BE IN SUBSTANTIAL CONFORMANCE TO THE DESIGN INTENT REPRESENTED HEREIN.

ROOSEVELT SQUARE

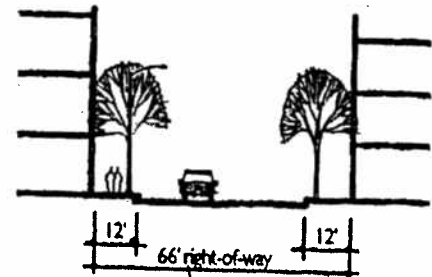
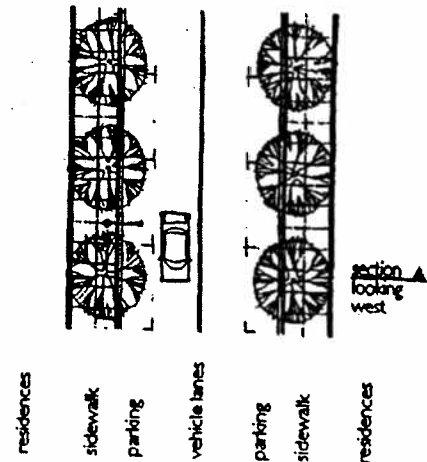
Exhibit 11E.

Street Character Diagram.

The "Residential Loft Street" is a street with a typical 66 foot right-of-way, low-volume and low-speed local traffic, with on-street parallel parking on both sides. Five to ten story residential buildings and high-density development are appropriate on this street type. 15th Street is the sole example of the residential loft street.

- Twelve foot concrete sidewalk.
- Shade trees at 25 foot spacing in 5 x 5 cast-iron tree grates, per City standards.
- Standard City of Chicago "cobra head" street light, per City standards.
- First-floor lobby, common areas, some retail, or indoor parking, with residential above.
- No required setback from front property line.
- New loft type buildings on north side of 15th Street.
- New or rehabbed seven + story loft type buildings on south side of 15th Street.
- Common building entry faces street.
- First floor at grade.
- Masonry construction on street facades.
- Industrial character to architecture.
- Large punched opening windows.
- Limestone, architectural pre-cast concrete, or masonry sills, lintels, and details.

NOTE: Parkway dimensions are for new streets only. Parkway dimensions of existing streets may vary.



ROOSEVELT SQUARE

Sub Area E - Residential Loft (15th Street)

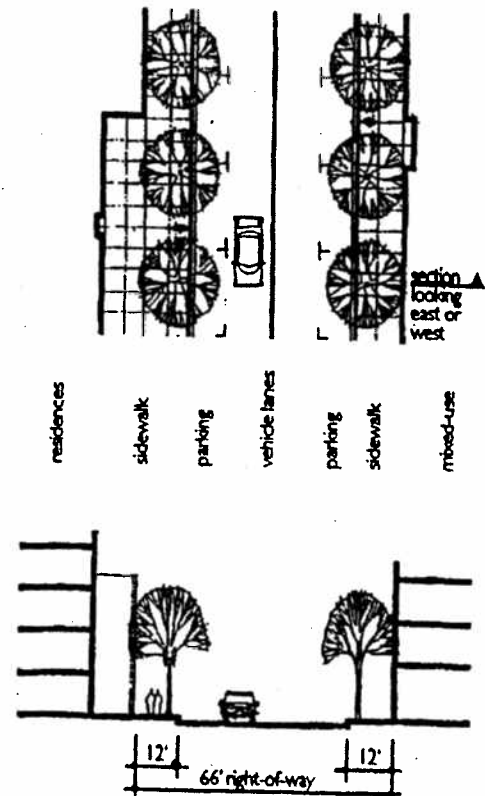
Exhibit 11D.

Street Character Diagram.

The "Mixed-use Pedestrian Retail Street" has a typical 66 foot right-of-way with low-volume and low-speed local traffic with parallel parking on both sides and is shady and tree-lined. Land use is a mix of ground floor restaurants, retail, and services with some ground floor residential and residential on upper floors. Two to four story buildings and medium density development are appropriate on this street type. Taylor Street is the sole example of the mixed-use pedestrian retail street.

- Ten foot concrete sidewalk.
- Shade trees at 25 foot spacing in 5 x 5 cast-iron tree grates, per City standards.
- "Double arm" street light at 50 to 75 foot spacing, per City standards.
- Ground floor commercial (restaurants, retail, and services) with residential above, some ground floor residential.
- Some potential for stand-alone retail.
- Activity from restaurant and retail should be located adjacent to the sidewalk and street. Street cafes may be established along the sidewalk or within building setbacks.
- No required setback from front property line on commercial buildings, modest and variable setbacks on residential buildings, potential to create pockets of green on street.
- Two to four story buildings.
- Front doors face street.
- First floor at grade.
- Retail buildings with taller first floor (10 to 14 feet) and shorter upper floors (8 to 10 feet).
- Masonry construction on street facades and side elevations visible from public rights-of-way.
- Punched opening windows.
- Limestone, architectural pre-cast concrete, or masonry sills, lintels, and details.

NOTE: Parkway dimensions are for new streets only. Parkway dimensions of existing streets may vary.



ROOSEVELT SQUARE

Sub Area D - Mixed-use Pedestrian Retail (Taylor Street)

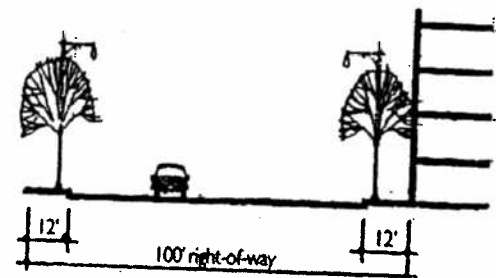
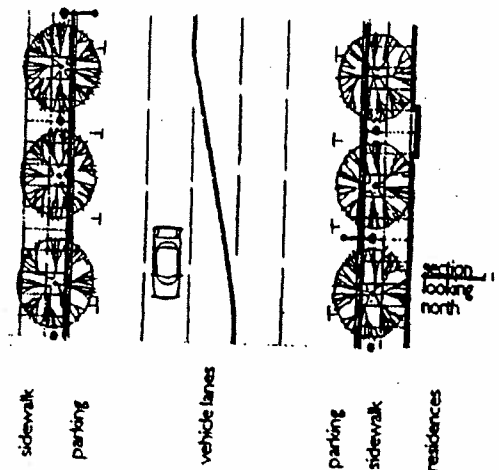
Exhibit 11C.

Street Character Diagram.

The "Commercial Residential Corridor" is an arterial street characterized by a relatively wide right-of-way and high-volume traffic. Because of its width and traffic volume taller buildings and greater density are appropriate on this street type. Ashland Avenue is the sole example of the commercial residential corridor.

- 6 foot concrete sidewalk adjacent to 5 foot parkway planters with low curbs.
- Shade trees at 25 foot spacing in 5 x 5 cast-iron tree grates, per City standards.
- "Gateway 2000" street lights at 100 foot spacing for roadway lighting, per City standards.
- "Single acorn" pedestrian lights at 50 foot spacing for pedestrian lighting, per City standards.
- No required setback from front property line.
- First floor retail mixed in with first floor residential and residential above.
- Three to four story buildings with some five story buildings.
- Front doors visible from street.
- First floor at grade.
- Retail buildings with taller first floor (10 to 14 feet) and shorter upper floors (8 to 10 feet).
- Masonry construction on street facades.
- Punched opening windows.
- Limestone, architectural pre-cast concrete, or masonry sills, lintels, and details.

NOTE Parkway dimensions are for new streets only. Parkway dimensions of existing streets may vary.



ROOSEVELT SQUARE

Sub Area C - Commercial Residential Corridor (Ashland Avenue)

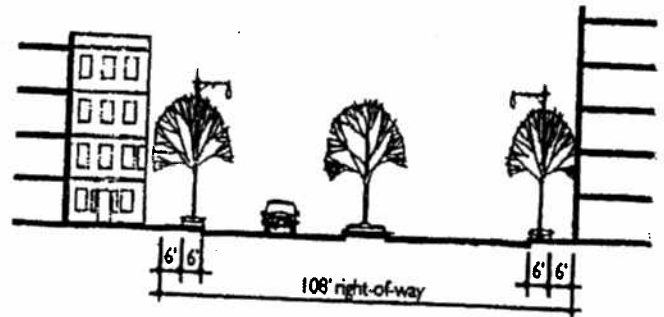
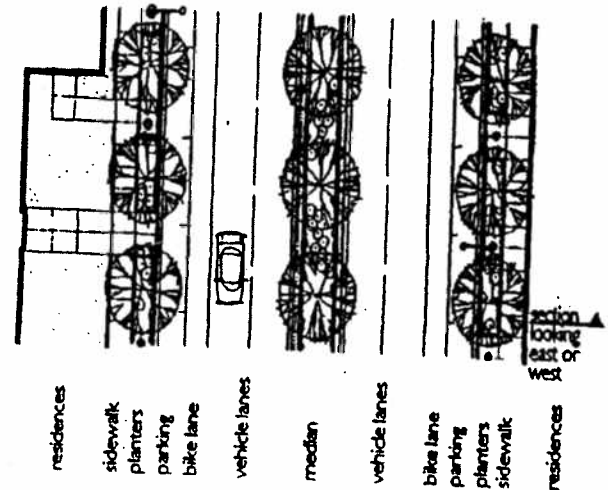
Exhibit 11B.

Street Character Diagram.

The "Residential Boulevard" is a high-volume arterial street characterized by a wide right-of-way and a divided roadway separated by a landscaped median. Because of its width and traffic volume taller buildings and greater density are appropriate on this street type. Roosevelt Road is the sole example of the residential boulevard.

- Boulevard roadway with center median and separated one-way travel lanes.
- Landscaped center median with shade trees and low shrubs.
- Twelve foot parkway including six foot concrete sidewalk adjacent to five foot parkway planters with low curbs.
- Shade trees at twenty-five foot spacing in parkway planters or, where dictated by pedestrian circulation or site constraints, in 5 x 5 cast-iron tree grates, per City standards.
- "Gateway 2000" street lights at 100 foot spacing for roadway lighting, per City standards.
- "Single acorn" pedestrian lights at 50 foot spacing for pedestrian lighting, per City standards.
- No required setback from front property line. Some mid-building courtyard setbacks.
- Principally three and four story buildings with some five story buildings.
- Ground floor or single-story retail use at some corners.
- Front doors visible from street.
- First floor at grade.
- Masonry construction on street facades.
- Punched opening windows.
- Limestone, architectural pre-cast concrete, or masonry sills, lintels, and details.

NOTE Parkway dimensions are for new streets only. Parkway dimensions of existing streets may vary.



ROOSEVELT SQUARE

Sub Area B - Residential Boulevard (Roosevelt Road)

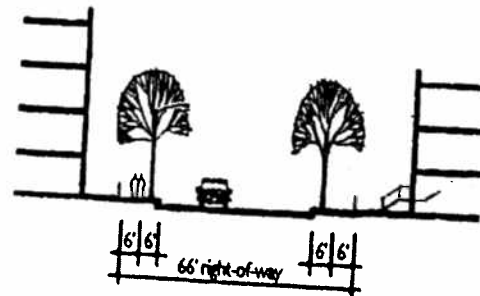
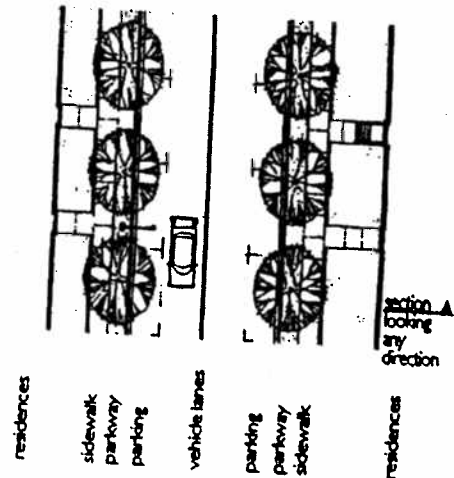
Exhibit 11A.

Street Character Diagram.

The "Traditional Chicago Residential Street" is a street with a typical 66 foot right-of-way, low-volume and low-speed local traffic, shady and tree-lined residential character with on-street parallel parking on both sides. They are often one-way streets. Two to four story residential buildings and low to medium density development are appropriate on this street type. All of the side streets are of this type.

- Six foot concrete sidewalk adjacent to six foot grass parkway.
- Shade trees at 25 foot spacing in parkway, per City standards.
- Standard City of Chicago "cobra head" street light at 75 or 100 foot spacing, per City standards.
- Ornamental metal fence at some front property lines.
- Minimum ten foot required front yard setback with some encroachments such as stairs, porches, and bays.
- Two to four story buildings.
- Front doors visible from street.
- First floor predominantly at grade.
- Masonry construction on street facades.
- Punched opening windows.
- Limestone, architectural pre-cast concrete, or masonry sills, lintels, and details.

NOTE: Parkway dimensions are for new streets only. Parkway dimensions of existing streets may vary.



ROOSEVELT SQUARE

Sub Area A - Traditional Chicago Residential Street (typical side street)